

**Reconstruction of Breezeways  
At  
Oaks at Riverview Apartments**

**Solicitation No. FY22-IFB-05**

Issue Date: **Wednesday, April 5, 2023**  
Pre-Bid Conference: **Tuesday, April 18, 2023 @ 10:00 AM (EST)**  
Deadline for questions: **Tuesday, April 25, 2023 @ 5:00 PM (EST)**  
Submission Deadline: **Tuesday, May 9, 2023 @ 2:00 PM (EST)**

**Board of Commissioners:**

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**Mrs. Tina Washington-Jones, Director of Contracting  
Purchasing & Contracting Office  
5301 W. Cypress Street  
Tampa, FL 33607  
Phone: (813) 341-9101 ext. 3500**

Leroy Moore  
Senior Vice President/COO

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President/CEO

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**INVITATION FOR BID**Bid No. **FY22-IFB-05**Date Issued: **4/5/2023**

The Housing Authority of the City of Tampa (the “Authority”) will receive sealed bids for the **Reconstruction of Breezeways at Oaks at Riverview Apartments located at 7501 North Florida Avenue, Tampa, FL 33604 until 2:00 p.m.** (prevailing Tampa, Florida time), on **Tuesday, May 9, 2023.** All bids are to be submitted and addressed with bid #FY22-IFB-05, Attn: Tina Washington, Contracting Officer, Tampa Housing Authority, 5301 West Cypress Street, Tampa, Florida, 33607. Bids may be submitted to the 1<sup>st</sup> Floor front desk receptionist, who will date, and time stamp the bid package. All bids will be publicly opened and read aloud. Bids received after the above stated time may not be considered.

Qualified Contractors may pick up copies of the bidding documents by visiting THA’s website at <http://www.thafl.com/Departments/Contract-n-Procurement/Default.aspx> or by submitting an email request to [bidderquestions@thafl.com](mailto:bidderquestions@thafl.com).

The Authority will hold a Pre-Bid Conference on **Tuesday, April 18, 2023, at 10:00 A.M.** in the Conference Room located on the first floor of 5301 W. Cypress St. A site visit will follow immediately after the pre-bid conference, if requested.

All questions concerning the bid documents, requiring additional information, or clarification shall be submitted in writing to THA via e-mail at [bidderquestions@thafl.com](mailto:bidderquestions@thafl.com). All questions will be accepted until **Tuesday, April 25, 2023 at 5:00 PM** and responded to in writing with addendum(s) issued to all prospective bidders by visiting the THA’s website at <http://www.thafl.com/Departments/Contract-n-Procurement/Default.aspx>.

A Bid Guarantee in the amount of 5% of the total base bid must accompany each bid that exceeds \$100,000. Bid guarantee shall be a Bid Bond secured by a surety company authorized to do business in the State of Florida and listed in the latest Department of Treasury Circular 570 published in the Federal Register; or as permitted by state law, a certified check, bank draft, or U.S. Government Bond at per value. If bid security is not submitted the Authority will reject the bid. All Bid Guarantees must be made payable to the Housing Authority of the City Tampa. Personal checks will not be accepted. In addition, a Non-Collusive Affidavit must be supplied with each bid that exceeds \$25,000.

For all contracts that exceed \$150,000, the successful bidder will be required to furnish and pay for the satisfactory Performance and Payment bonding in the amount of 100% of the contract price. The successful bidder will be required to furnish certificates of insurance in accordance with the General Conditions and Special Conditions.

Attention is called to the fact that not less than the minimum of salaries and wages, as set forth in the specifications must be paid on this project (Davis-Bacon Wages for local area – Tampa). The Contractor must ensure that employees and applicants for employment are not

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**Invitation to Bid**

discriminated against because of race, color, creed, gender, disability, or national origin. The successful bidder will be required to present a certification of Affidavit Action Compliance.

In accordance with Department of Housing and Urban Development (HUD) regulations, the Authority is required to establish a goal of awarding at least 20 percent of the dollar value of construction contracts to Minority Business Enterprises (MBEs) or General Contractors with MBE participation. In accordance therewith, prime contractors are required to meet or exceed this 20% MBE participation goal by time of bid.

In accordance with Section 3 of the U. S. Department of Housing and Urban Development Act of 1968, the Authority requires all construction Contractors, to the greatest extent feasible, to provide training, contracting and employment opportunities to low-income residents residing in the Authority's public housing communities.

The Authority intends to award a contract on the basis of the lowest and most responsive responsible TOTAL base bid and in a single Contract for all work to be performed in the above referenced project.

No bid shall be withdrawn for a period of sixty (60) days subsequent to the opening of without the prior written consent of the Authority.

Bidders shall carefully examine the documents and construction site to obtain first-hand knowledge of existing conditions. Contractors will not be given an extra payment for conditions that can be determined by examining the site and documents.

The Authority reserves the right to waive irregularities and to reject any or all bids. Failure to submit a bid properly may result in rejection of the Bid.

#### **Documents to be submitted with Bid**

- Complete Bid Form, Section 00 41 00.
- Complete Representation, Certifications and Other Statements of Bidders (HUD 5369A) Section 00 45 00.
- Complete Statement of Bidder's Qualifications, Section 00 45 13.
- Complete Section 3 & MBE Compliance Certification Form Section 00 62 39.
- Complete Non-Collusive Affidavit, Section 00 45 19.
- Complete Bid Bond (for bids over \$25,000.00), Section 00 43 13.
- Sworn Statement Under Section 287.133(3)(A), Florida Statutes, On Public Entity Crimes



**FY22-IFB-05**

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**Questions regarding this solicitation may be directed to the Authority by e-mailing [bidderquestions@thaf1.com](mailto:bidderquestions@thaf1.com).**

THE HOUSING AUTHORITY OF THE CITY OF TAMPA IS AN EQUAL OPPORTUNITY EMPLOYER, BY ORDER OF JEROME D. RYANS, PRESIDENT/CEO.

**END OF INVITATION TO BID**

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**Invitation to Bid**

SECTION 00 11 16-3



Instructions to Bidders for Contracts
Public and Indian Housing Programs

Table of Contents

Table with 2 columns: Clause and Page. Lists clauses 1 through 12 and their corresponding page numbers.

1. Bid Preparation and Submission

(a) Bidders are expected to examine the specifications, drawings, all instructions, and, if applicable, the construction site (see also the contract clause entitled Site Investigation and Conditions Affecting the Work of the General Conditions of the Contract for Construction). Failure to do so will be at the bidders' risk.

(b) All bids must be submitted on the forms provided by the Public Housing Agency/Indian Housing Authority (PHA/IHA). Bidders shall furnish all the information required by the solicitation. Bids must be signed and the bidder's name typed or printed on the bid sheet and each continuation sheet which requires the entry of information by the bidder. Erasures or other changes must be initialed by the person signing the bid. Bids signed by an agent shall be accompanied by evidence of that agent's authority. (Bidders should retain a copy of their bid for their records.)

(c) Bidders must submit as part of their bid a completed form HUD-5369-A, "Representations, Certifications, and Other Statements of Bidders."

(d) All bid documents shall be sealed in an envelope which shall be clearly marked with the words "Bid Documents," the Invitation for Bids (IFB) number, any project or other identifying number, the bidder's name, and the date and time for receipt of bids.

(e) If this solicitation requires bidding on all items, failure to do so will disqualify the bid. If bidding on all items is not required, bidders should insert the words "No Bid" in the space provided for any item on which no price is submitted.

(f) Unless expressly authorized elsewhere in this solicitation, alternate bids will not be considered.

(g) Unless expressly authorized elsewhere in this solicitation, bids submitted by telegraph or facsimile (fax) machines will not be considered.

(h) If the proposed contract is for a Mutual Help project (as described in 24 CFR Part 905, Subpart E) that involves Mutual Help contributions of work, material, or equipment, supplemental information regarding the bid advertisement is provided as an attachment to this solicitation.

2. Explanations and Interpretations to Prospective Bidders

(a) Any prospective bidder desiring an explanation or interpretation of the solicitation, specifications, drawings, etc., must request it at least 7 days before the scheduled time for bid opening. Requests may be oral or written. Oral requests must be confirmed in writing. The only oral clarifications that will be provided will be those clearly related to solicitation procedures, i.e., not substantive technical information. No other oral explanation or interpretation will be provided. Any information given a prospective bidder concerning this solicitation will be furnished promptly to all other prospective bidders as a written amendment to the solicitation, if that information is necessary in submitting bids, or if the lack of it would be prejudicial to other prospective bidders.

(b) Any information obtained by, or provided to, a bidder other than by formal amendment to the solicitation shall not constitute a change to the solicitation.

3. Amendments to Invitations for Bids

(a) If this solicitation is amended, then all terms and conditions which are not modified remain unchanged.

(b) Bidders shall acknowledge receipt of any amendment to this Solicitation

- (1) by signing and returning the amendment,
(2) by identifying the amendment number and date on the bid form, or (3) by letter, telegram, or facsimile, if those methods are authorized in the solicitation. The PHA/IHA must receive acknowledgement by the time and at the place specified for receipt of bids. Bids which fail to acknowledge the bidder's receipt of any amendment will result in the rejection of the bid if the amendment(s) contained information which substantively changed the PHA's/IHA's requirements.

(c) Amendments will be on file in the offices of the PHA/IHA and the Architect at least 7 days before bid opening.

4. Responsibility of Prospective Contractor

(a) The PHA/IHA will award contracts only to responsible prospective Contractors who have the ability to perform successfully under the terms and conditions of the proposed contract. In determining the responsibility of a bidder, the PHA/IHA will consider such matters as the bidder's:

- (1) Integrity;
(2) Compliance with public policy;
(3) Record of past performance; and
(4) Financial and technical resources (including construction and technical equipment).

(b) Before a bid is considered for award, the bidder may be requested by the PHA/IHA to submit a statement or other documentation regarding any of the items in paragraph (a) above. Failure by the bidder to provide such additional information shall render the bidder non-responsible and ineligible for award.

5. Late Submissions, Modifications, and Withdrawal of Bids

(a) Any bid received at the place designated in the solicitation after the exact time specified for receipt will not be considered unless it is received before award is made and it:

- (1) Was sent by registered or certified mail not later than the fifth calendar day before the date specified for receipt of offers (e.g.) an offer submitted in response to a solicitation requiring receipt of offers by the 20th of the month must have been mailed by the 15th.



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- (2) Was sent by mail, or if authorized by the solicitation, was sent by telegram or via facsimile, and it is determined by the PHA/IHA that the late receipt was due solely to mishandling by the PHA/IHA after receipt at the PHA/IHA; or
- (3) Was sent by U.S. Postal Service Express Mail Next Day Service - Post Office to Addressee, not later than 5:00 p.m. at the place of mailing two working days prior to the date specified for receipt of proposals. The term "working days" excludes weekends and observed holidays.

(b) Any modification or withdrawal of a bid is subject to the same conditions as in paragraph (a) of this provision.

(c) The only acceptable evidence to establish the date of mailing of a late bid, modification, or withdrawal sent either by registered or certified mail is the U.S. or Canadian Postal Service postmark both on the envelope or wrapper and on the original receipt from the U.S. or Canadian Postal Service. Both postmarks must show a legible date or the bid, modification, or withdrawal shall be processed as if mailed late. "Postmark" means a printed, stamped, or otherwise placed impression (exclusive of a postage meter machine impression) that is readily identifiable without further action as having been supplied and affixed by employees of the U.S. or Canadian Postal Service on the date of mailing. Therefore, bidders should request the postal clerk to place a hand cancellation bull's-eye postmark on both the receipt and the envelope or wrapper.

(d) The only acceptable evidence to establish the time of receipt at the PHA/IHA is the time/date stamp of PHA/IHA on the proposal wrapper or other documentary evidence of receipt maintained by the PHA/IHA.

(e) The only acceptable evidence to establish the date of mailing of a late bid, modification, or withdrawal sent by Express Mail Next Day Service-Post Office to Addressee is the date entered by the post office receiving clerk on the "Express Mail Next Day Service-Post Office to Addressee" label and the postmark on both the envelope or wrapper and on the original receipt from the U.S. Postal Service. "Postmark" has the same meaning as defined in paragraph (c) of this provision, excluding postmarks of the Canadian Postal Service. Therefore, bidders should request the postal clerk to place a legible hand cancellation bull's eye postmark on both the receipt and Failure by a bidder to acknowledge receipt of the envelope or wrapper.

(f) Notwithstanding paragraph (a) of this provision, a late modification of an otherwise successful bid that makes its terms more favorable to the PHA/IHA will be considered at any time it is received and may be accepted.

(g) Bids may be withdrawn by written notice, or if authorized by this solicitation, by telegram (including mailgram) or facsimile machine transmission received at any time before the exact time set for opening of bids; provided that written confirmation of telegraphic or facsimile withdrawals over the signature of the bidder is mailed and postmarked prior to the specified bid opening time. A bid may be withdrawn in person by a bidder or its authorized representative if, before the exact time set for opening of bids, the identity of the person requesting withdrawal is established and the person signs a receipt for the bid.

### 6. Bid Opening

All bids received by the date and time of receipt specified in the solicitation will be publicly opened and read. The time and place of

opening will be as specified in the solicitation. Bidders and other interested persons may be present.

### 7. Service of Protest

(a) Definitions. As used in this provision: "Interested party" means an actual or prospective bidder whose direct economic interest would be affected by the award of the contract.

"Protest" means a written objection by an interested party to this solicitation or to a proposed or actual award of a contract pursuant to this solicitation.

(b) Protests shall be served on the Contracting Officer by obtaining written and dated acknowledgement from Contracting Officer at designate the official or location where a protest may be served on:

Ms. Tina Washington, Contracting Officer  
THA Purchasing & Contracting Office  
5301 West Cypress Street  
Tampa, Florida 33607

(c) All protests shall be resolved in accordance with the PHA's/IHA's protest policy and procedures, copies of which are maintained at the PHA/IHA.

### 8. Contract Award

(a) The PHA/IHA will evaluate bids in response to this solicitation without discussions and will award a contract to the responsible bidder whose bid, conforming to the solicitation, will be most advantageous to the PHA/IHA considering only price and any price-related factors specified in the solicitation.

(b) If the apparent low bid received in response to this solicitation exceeds the PHA's/IHA's available funding for the proposed contract work, the PHA/IHA may either accept separately priced items (see 8(e) below) or use the following procedure to determine contract award. The PHA/IHA shall apply in turn to each bid (proceeding in order from the apparent low bid to the high bid) each of the separately priced bid deductible items, if any, in their priority order set forth in this solicitation. If upon the application of the first deductible item to all initial bids, a new low bid is within the PHA's/IHA's available funding, then award shall be made to that bidder. If no bid is within the available funding amount, then the PHA/IHA shall apply the second deductible item. The PHA/IHA shall continue this process until an evaluated low bid, if any, is within the PHA's/IHA's available funding. If upon the application of all deductibles, no bid is within the PHA's/IHA's available funding, or if the solicitation does not request separately priced deductibles, the PHA/IHA shall follow its written policy and procedures in making any award under this solicitation.

(c) In the case of tie low bids, award shall be made in accordance with the PHA's/IHA's written policy and procedures.

(d) The PHA/IHA may reject any and all bids, except other than the lowest bid (e.g., the apparent low bid is unreasonably low), and waive informalities or minor irregularities in bids received, in accordance with the PHA's/IHA's written policy and procedures.

(e) Unless precluded elsewhere in the solicitation, the PHA/IHA may accept any item or combination of items bid.

(f) The PHA/IHA may reject any bid as nonresponsive if it is materially unbalanced as to the prices for the various items of work to be performed. A bid is materially unbalanced when it is based on prices significantly less than cost for some work and prices which are significantly overstated for other work.





(g) A written award shall be furnished to the successful bidder within the period for acceptance specified in the bid and shall result in a binding contract without further action by either party.

**9. Bid Guarantee** (applicable to construction and equipment contracts exceeding \$25,000)

All bids must be accompanied by a negotiable bid guarantee which shall not be less than five percent (5%) of the amount of the bid. The bid guarantee may be a certified check, bank draft, U.S. Government

Bonds at par value or a bid bond secured by a surety company acceptable to the U.S. Government and authorized to do business in the state where the work is to be performed. In the case where the work under the contract will be performed on an Indian reservation area, the bid guarantee may also be an irrevocable Letter of Credit (see provision 10, Assurance of Completion, below). Certified checks and bank drafts must be made payable to the order of the PHA/IHA. The bid guarantee shall insure the execution of the contract and the furnishing of a method of assurance of completion by the successful bidder as required by the solicitation. Failure to submit a bid guarantee with the bid shall result in the rejection of the bid. Bid guarantees submitted by unsuccessful bidders will be returned as soon as practicable after bid opening.

**10. Assurance of Completion**

(a) Unless otherwise provided in State law, the successful bidder shall furnish an assurance of completion prior to the execution of any contract under this solicitation. This assurance may be [Contracting Officer check applicable items] —

(1) a performance and payment bond in a penal sum of 100 percent of the contract price; or, as may be required or permitted by State law;

(2) separate performance and payment bonds, each for 50 percent or more of the contract price;

(3) a 20 percent cash escrow;

(4) a 25 percent irrevocable letter of credit; or,

(5) an irrevocable letter of credit for 10 percent of the total contract price with a monitoring and disbursements agreement with the IHA (applicable only to contracts awarded by an IHA under the Indian Housing Program).

(b) Bonds must be obtained from guarantee or surety companies acceptable to the U.S. Government and authorized to do business in the state where the work is to be performed. Individual sureties will not be considered. U.S. Treasury Circular Number 570, published annually in the Federal Register, lists companies approved to act as sureties on bonds securing Government contracts, the maximum underwriting limits on each contract bonded, and the States in which the company is licensed to do business. Use of companies listed in this circular is mandatory. Copies of the circular may be downloaded on the U.S. Department of Treasury website <http://www.fms.treas.gov/c570/index.html>, or ordered for a minimum fee by contacting the Government Printing Office at (202) 512-2168.

(c) Each bond shall clearly state the rate of premium and the total amount of premium charged. The current power of attorney for the person who signs for the surety company must be attached to the bond. The effective date of the power of attorney shall not precede

the date of the bond. The effective date of the bond shall be on or after the execution date of the contract.

(d) Failure by the successful bidder to obtain the required assurance of completion within the time specified, or within such extended period as the PHA/IHA may grant based upon reasons determined adequate by the PHA/IHA, shall render the bidder ineligible for award. The PHA/IHA may then either award the contract to the next lowest responsible bidder or solicit new bids. The PHA/IHA may retain the ineligible bidder's bid guarantee.

**11. Preconstruction Conference** (applicable to construction contracts)

After award of a contract under this solicitation and prior to the start of work, the successful bidder will be required to attend a preconstruction conference with representatives of the PHA/IHA and its architect/engineer, and other interested parties convened by the PHA/IHA. The conference will serve to acquaint the participants with the general plan of the construction operation and all other requirements of the contract (e.g., Equal Employment Opportunity, Labor Standards). The PHA/IHA will provide the successful bidder with the date, time, and place of the conference.

**12. Indian Preference Requirements** (applicable only if this solicitation is for a contract to be performed on a project for an Indian Housing Authority)

(a) HUD has determined that the contract awarded under this solicitation is subject to the requirements of section 7(b) of the Indian Self-Determination and Education Assistance Act (25 U.S.C. 450e(b)). Section 7(b) requires that any contract or subcontract entered into for the benefit of Indians shall require that, to the greatest extent feasible

(1) Preferences and opportunities for training and employment (other than core crew positions; see paragraph (h) below) in connection with the administration of such contracts or subcontracts be given to qualified "Indians." The Act defines "Indians" to mean persons who are members of an Indian tribe and defines "Indian tribe" to mean any Indian tribe, band, nation, or other organized group or community, including any Alaska Native village or regional or village corporation as defined in or established pursuant to the Alaska Native Claims Settlement Act, which is recognized as eligible for the special programs and services provided by the United States to Indians because of their status as Indians; and,

(2) Preference in the award of contracts or subcontracts in connection with the administration of contracts be given to Indian organizations and to Indian-owned economic enterprises, as defined in section 3 of the Indian Financing Act of 1974 (25 U.S.C. 1452). That Act defines "economic enterprise" to mean any Indian owned commercial, industrial, or business activity established or organized for the purpose of profit, except that the Indian ownership must constitute not less than 51 percent of the enterprise; "Indian organization" to mean the governing body of any Indian tribe or entity established or recognized by such governing body; "Indian" to mean any person who is a member of any tribe, band, group, pueblo, or community which is recognized by the Federal Government as eligible for services from the Bureau of Indian Affairs and any "Native" as defined in the Alaska Native Claims Settlement Act; and Indian "tribe" to mean any Indian tribe, band, group, pueblo, or community including Native villages and Native groups (including corporations organized by Kenai, Juneau, Sitka, and Kodiak) as defined in the Alaska Native Claims Settlement Act, which is



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recognized by the Federal Government as eligible for services from the Bureau of Indian Affairs.

(b) (1) The successful Contractor under this solicitation shall comply with the requirements of this provision in awarding all subcontracts under the contract and in providing training and employment opportunities.

(2) A finding by the IHA that the contractor, either (i) awarded a subcontract without using the procedure required by the IHA, (ii) falsely represented that subcontracts would be awarded to Indian enterprises or organizations; or, (iii) failed to comply with the contractor's employment and training preference bid statement shall be grounds for termination of the contract or for the assessment of penalties or other remedies.

(c) If specified elsewhere in this solicitation, the IHA may restrict the solicitation to qualified Indian-owned enterprises and Indian organizations. If two or more (or a greater number as specified elsewhere in the solicitation) qualified Indian-owned enterprises or organizations submit responsive bids, award shall be made to the qualified enterprise or organization with the lowest responsive bid. If fewer than the minimum required number of qualified Indian-owned enterprises or organizations submit responsive bids, the IHA shall reject all bids and readvertise the solicitation in accordance with paragraph (d) below.

(d) If the IHA prefers not to restrict the solicitation as described in paragraph (c) above, or if after having restricted a solicitation an insufficient number of qualified Indian enterprises or organizations submit bids, the IHA may advertise for bids from non-Indian as well as Indian-owned enterprises and Indian organizations. Award shall be made to the qualified Indian enterprise or organization with the lowest responsive bid if that bid is –

(1) Within the maximum HUD-approved budget amount established for the specific project or activity for which bids are being solicited; and

(2) No more than the percentage specified in 24 CFR 905.175(c) higher than the total bid price of the lowest responsive bid from any qualified bidder. If no responsive bid by a qualified Indian-owned economic enterprise or organization is within the stated range of the total bid price of the lowest responsive bid from any qualified enterprise, award shall be made to the bidder with the lowest bid.

(e) Bidders seeking to qualify for preference in contracting or subcontracting shall submit proof of Indian ownership with their bids. Proof of Indian ownership shall include but not be limited to:

(1) Certification by a tribe or other evidence that the bidder is an Indian. The IHA shall accept the certification of a tribe that an individual is a member.

(2) Evidence such as stock ownership, structure, management, control, financing and salary or profit sharing arrangements of the enterprise.

(f) (1) All bidders must submit with their bids a statement describing how they will provide Indian preference in the award of subcontracts. The specific requirements of that statement and the factors to be used by the IHA in determining the statement's adequacy are included as an attachment to this solicitation. Any bid that fails to include the required statement shall be rejected as nonresponsive. The IHA may require that comparable statements be provided by subcontractors to the successful Contractor, and may

require the Contractor to reject any bid or proposal by a subcontractor that fails to include the statement.

(2) Bidders and prospective subcontractors shall submit a certification (supported by credible evidence) to the IHA in any instance where the bidder or subcontractor believes it is infeasible to provide Indian preference in subcontracting. The acceptance or rejection by the IHA of the certification shall be final. Rejection shall disqualify the bid from further consideration.

(g) All bidders must submit with their bids a statement detailing their employment and training opportunities and their plans to provide preference to Indians in implementing the contract; and the number or percentage of Indians anticipated to be employed and trained. Comparable statements from all proposed subcontractors must be submitted. The criteria to be used by the IHA in determining the statement(s)'s adequacy are included as an attachment to this solicitation. Any bid that fails to include the required statement(s), or that includes a statement that does not meet minimum standards required by the IHA shall be rejected as nonresponsive.

(h) Core crew employees. A core crew employee is an individual who is a bona fide employee of the contractor at the time the bid is submitted; or an individual who was not employed by the bidder at the time the bid was submitted, but who is regularly employed by the bidder in a supervisory or other key skilled position when work is available. Bidders shall submit with their bids a list of all core crew employees.

(i) Preference in contracting, subcontracting, employment, and training shall apply not only on-site, on the reservation, or within the IHA's jurisdiction, but also to contracts with firms that operate outside these areas (e.g., employment in modular or manufactured housing construction facilities).

(j) Bidders should contact the IHA to determine if any additional local preference requirements are applicable to this solicitation.

(k) The IHA [ ] does [X] does not [Contracting Officer check applicable box] maintain lists of Indian-owned economic enterprises and Indian organizations by specialty (e.g., plumbing, electrical, foundations), which are available to bidders to assist them in meeting their responsibility to provide preference in connection with the administration of contracts and subcontracts.

**END OF HUD FORM 5369**

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**DETAILED SCOPE OF WORK****RECONSTRUCTION OF BREEZEWAYS AT OAKS AT RIVERVIEW  
(2-THREE STORY WALK-UP APARTMENT BUILDINGS)****Brief Scope:**

This project consists of demolition and reconstruction of the 8 breezeways in the 2-Three Story Walk-Up Apartment Buildings at the Oaks at Riverview Apartments. Work will involve demolition and rebuilding of stair landings, floor framing, roof trusses, walls and ceilings along breezeways, that had sustained water intrusion and termite infestation. Also included are total roof replacement of 2 roofs and replacement of 48 AC Units and AC Compressor stands on the roof.

**ADDRESS:** 7501 North Florida Avenue, Tampa, FL 33604  
110 East Broad Street, Tampa FL 33604

**ATTACHMENTS:** EXHIBIT “A” - Oaks at Riverview Site Map and Pictures  
EXHIBIT “B” - Construction Drawing Package  
EXHIBIT “C” - IBA Consultants Recommendations on Water Proofing  
EXHIBIT “D” - List of Apartments Requiring New AC Units  
EXHIBIT “E” - PliDek Scope of Work for Oaks at Riverview (3/24/2023)  
EXHIBIT “F” – PliDek Inclement Weather Details

The Contractor shall provide the following after receipt of Notice to Proceed:

1. Contractor to demolish and reconstruct each stair landing in the breezeway and adjacent walls along stair landings. Refer to Exhibit “B” – Construction Drawing Package, and Exhibit “C” – IBA Consultants Recommendations on PliDek Water Proofing (or approved equal). Where existing stairs must be removed to allow reconstruction of stair landings, all components of stairs must be safely stored and reattached after reconstruction work is complete. **Waterproofing Contractor must be Certified PliDek Installer** (or approved equal). Contractor to follow all safety code requirements to protect residents during demolition and reconstruction of breezeways.
2. Contractor to reconstruct damaged roof trusses according to specifications from Structural Engineers. Refer to Exhibit “B” – Construction Drawing Package.
3. Contractor to conduct complete tear-off of roofs to replace shingles and underlayment on hip and gable roofs, and TPO and insulation boards on flat roofs.

Contractor to submit a drawing showing the location of all existing roof vents and vent pipe caps and other roofing appurtenances. **No new penetration or cut into existing roof sheathing is allowed. All Fire Rated Enclosures on roofs and walls should be maintained and protected.** Should there be a new code compliance requirement, Contractor should submit these concerns and proposed remediations to **Project Manager** for proper approval in writing prior to start of construction. Roof shingles shall meet manufacturer’s specifications for installation. Roof shingles shall be nailed with 8D (eight penny) ring-shank round head nails at 6” on center to meet Florida Codes approved for required applicable **wind load of 140 mph in Tampa**. Roof shingle color shall be approved by Project Manager before installation. **Roofing Contractor must be a Certified GAF Installer** (or approved equal).

- a. **Timberline HDZ Architectural Roof Shingles by GAF or approved equal with 25-year warranty. GAF Pro Starter Shingles and GAF Seal-A-Ridge® Ridge Cap Shingles.** Submit product Specifications (Miami Dade County NOA).
  - b. **ASTM D1970 complying self-adhering polymer-modified bitumen underlayment, GAF WeatherWatch 73 mil thick leak barrier or approved equal with 25-year warranty.** Submit product Specifications (Miami Dade County NOA).
  - c. **ASTM D6878 complying GAF Everguard TPO 60mil white membrane or approved equal with 20-year warranty.**
  - d. **ASTM C1289 Type II, Class 1, Grade 2 complying GAF EnergyGuard Polyiso-Insulation Boards or approved equal (20 psi and minimum of 1.5 inch thick) with 20-year warranty.**
  - e. **5/8"-4'X8' exterior grade Pressure Treated or Marine Grade Plywood Roof Sheathing.**
  - f. **P.T. 2"X10" Fascia Boards (Replace as needed.)**
  - g. **All new and replacement metal off-ridge roof vents, vent pipe caps, lead pipe boots and metal valleys, flashings and drip edge must comply with Florida Building Code, SMACMA and AAMA 2603 standards.**
  - h. **Any installed product not indicated above but provided for submittal and requiring warranty shall be submitted.**
4. Contractor to remove existing AC compressor units and stands during roofing replacement. Existing stands can be re-used if in good condition. If existing stands are damaged or if additional stands are required, provide pre-engineered/prefabricated aluminum stands that meet Florida Product Approval requirements. Submit Product Approval Number to Engineer of Record for review and approval.
5. Contractor to replace **48 AC units**. New units must meet the following specifications.
- 1) **16-SEER, ENERGY STAR combinations, verification by AHRI required. Carrier 16 SEER or approved equal.**
  - 2) All are "straight cooling" condensing units with vertical AHU.
  - 3) R-410a refrigerant.
  - 4) Install new "Service Disconnect" (as needed)
  - 5) Thermostat to be "Programmable" Regular thermostat.
  - 6) Install liquid line refrigerant drier (3/8")
  - 7) Before startup, evacuation to 500-microns and observe that system "Holds" to no more than 100-micron increase with vacuum pump off.
  - 8) 1" filter in each AHU leave with one spare.
  - 9) New "Hurricane Tie Down" brackets, these to be "Florida Product approved" with engineering supplied to Engineer for verification.
  - 10) Existing stands in good condition can be reused. Damaged or additional stands required. Provide pre-engineered/prefabricated aluminum stands to have Florida Product Approval.
  - 11) Connect to existing refrigeration copper from size existing to appropriate size on AHU or CU.
  - 12) 1-year labor warranty.
  - 13) Equipment warranty 10-years parts only.

### **Division 1 - General Requirements**

1. Contractor shall provide quality assurance in strict accordance with **current Codes** as well as terms, conditions, special Contract requirements, specifications, attachments, and exhibits contained in the General Conditions of Contract.

2. Verification of existing conditions.
  - a. It shall be the Contractor's sole responsibility to verify existing conditions for each individual work item before submitting a bid. The Contractor shall be satisfied that there are no discrepancies between actual conditions and the Final Scope of work as issued. Before ordering materials/products, the Contractor shall verify related conditions to insure proper installation. Notify THA immediately of any hidden condition discovered which might affect the progress of work.
3. Contractor shall secure and pay for all permits, fees, and licenses necessary for the proper execution and completion of the work.
4. The work shall be done during regular THA working hours Monday through Friday 08:00 am - 05:00 pm. The Contractor may be authorized to work weekends or evenings on as requested basis.
5. Contractor shall pull magnet around job area daily to pick up any loose nails or staples.
6. Contractor shall always provide a clean work site, including designated storage areas, free from accumulation of waste materials. Construction materials shall be stored in trailer and not in the building, unless previously authorized by THA. In any case, construction materials shall not block circulation or create obstacles.
7. Contractor shall provide trash dumpster(s) to accommodate proper disposal of demolished materials and related debris. (Provide proper disposal in accordance with waste management).
8. All electrical outlets in all areas are to be tested and properly grounded. The contractor is to notify Tampa Housing Authority about damage findings.
9. When new products are to be installed to replace existing old products, remove, and dispose of old products. Perform cutting and patching or other manufacturer pre-installation requirements as specified in manufacturer's installation manual. Install new products as specified in manufacturer's installation manual. Prepare and paint adjacent walls affected by the installation of new products.
10. Contractor shall prepare and submit to the Project Manager, three copies of a practicable schedule showing the order in which the Contractor proposes to perform the work during the pre-construction meeting.
11. Contractor must always maintain their construction schedule. If the Contractor fails to maintain this construction schedule, he/she will be charged with liquidated damages.
12. Contractor shall maintain documentation of construction to ascertain compliance with the General Requirements of the Contract.
13. Contractor must give residents a minimum of **48 hours advance notice** prior to commencing any work.
14. Contractor to ensure that any spillage or over spray that may get on the floor, windows, cabinets, appliances and on the property is cleaned at the end of every workday.
15. All current applicable OSHA rules and regulations must always be followed at. Security of work site area will be the responsibility of the Contractor.

16. The Contractor shall procure all permits; schedule all inspections with the appropriate Government Agency that has jurisdiction over the THA property. The Contractor is responsible for all re-inspections fees caused by the failure to pass inspections.
17. The Contractor shall ensure that all his employees and the subcontractors scheduled to do work at “The Oaks at Riverview” wear their company shirt with visible company and employee name or employee company name tags.
18. Contractor shall perform a professional final clean-up of the building site at the end of the project.
19. To schedule a site visit, Contractor shall contact **Project Manager**.

### **End of Scope of Work**

#### **\*\*\*\* Close-Out Requirements and Documents \*\*\*\***

At Final Closeout, the Contractor must furnish required documentation as indicated below for approval. All final closeout packages with missing documents and incomplete submittal will not be processed. Prior to the final closeout, Contractors should make sure that all documents are complete and ready for review to avoid unwarranted delays. Consult with the Project Manager if you anticipate any delays with your package.

The Contractor shall ensure that the following documents have been completed or submitted in accordance with the contract:

1. Final Weekly Certified Payroll Reports for the Contractor and all Subcontractors.
2. All Contract Modifications, if any, shall have already been executed by the Contractor and approved by the Authority.
3. Certificate showing approved building permit and inspection.
4. Original copy of product warranties.
5. Contractor’s Letter of Warranty on Construction. Contractor’s 5-year workmanship warranty and 10-year Structural Warranty, with original signature and commencement date. (Commencement date shall be the same date as the completion date of project.)
6. Contractor’s Letter of Warranty for Roof. Contractor’s 5-year workmanship warranty with original signature and commencement date.
7. Manufacturers’ Material Warranties: Shingles (25 years); Leak Barrier Underlayment (25 years); TPO (20 years); Insulation boards (20 years); PliDek or approved equal (10 years).

Any installation products not indicated above but provided for submittal and requiring warranty shall be submitted.

All warranties requiring the Manufacturer’s review prior to the issuance of warranty after job completion must be the Contractor’s responsibility. The Contractor must make sure that warranties have affiliation with referenced project and with specificity to the installed products. Roofing Contractor must be licensed in the State of Florida and must be a Certified Roof Installer by the Manufacturer of the Roofing Materials (Shingle and Underlayment) the Roofing Contractor is installing for this job. Waterproofing Contractor

must be licensed in the State of Florida and must be a Certified Waterproofing Installer by the Manufacturer of the Waterproofing Materials the Waterproofing Contractor is installing for this job. **(Submit Certificates.)**

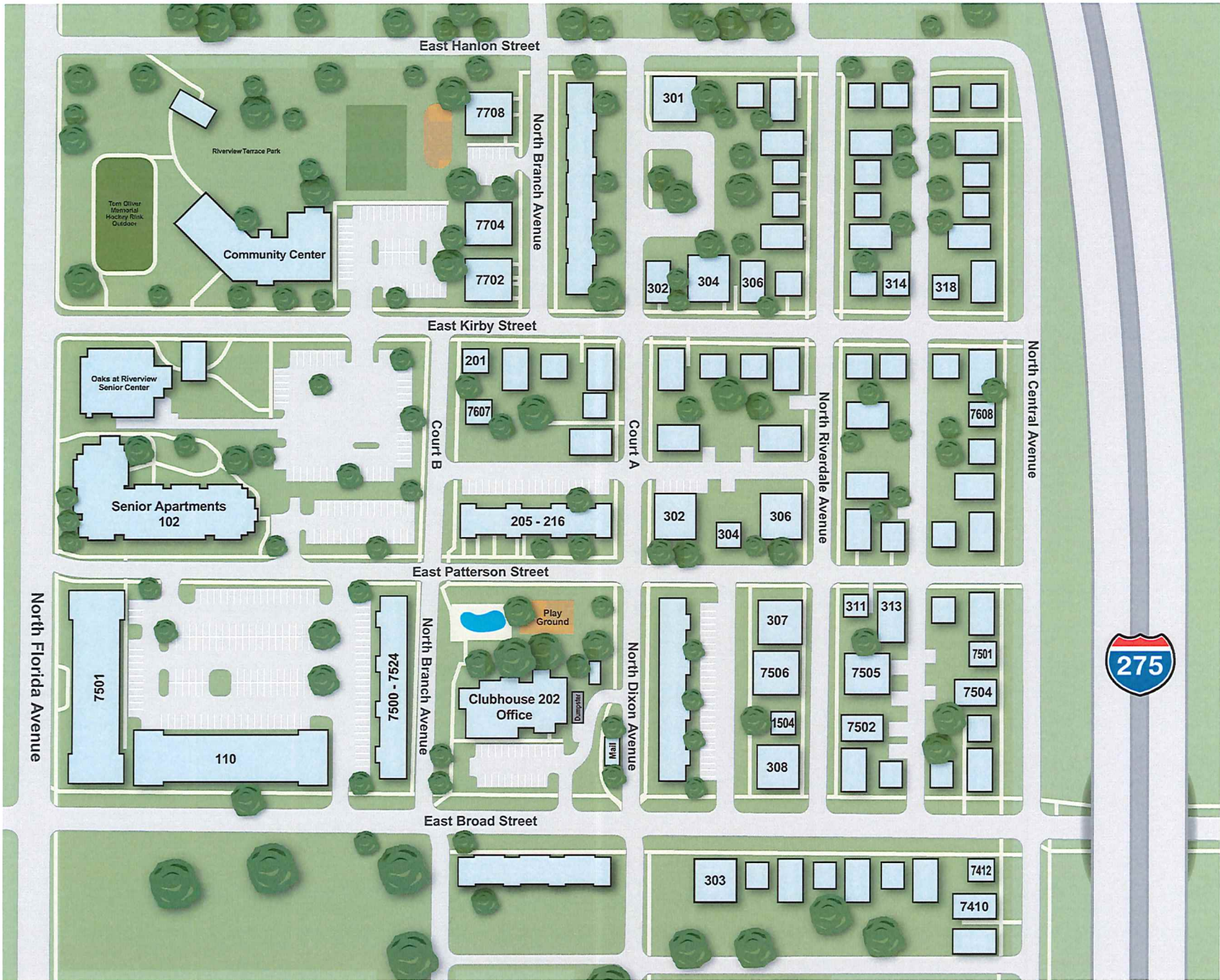
8. Waiver or Release of Lien documents from major subcontractors and suppliers.
9. Substantial Completion Punch List.

**End of Contract Close-Out**

# EXHIBIT A



# EXHIBIT "A"



**The Oaks At Riverview**

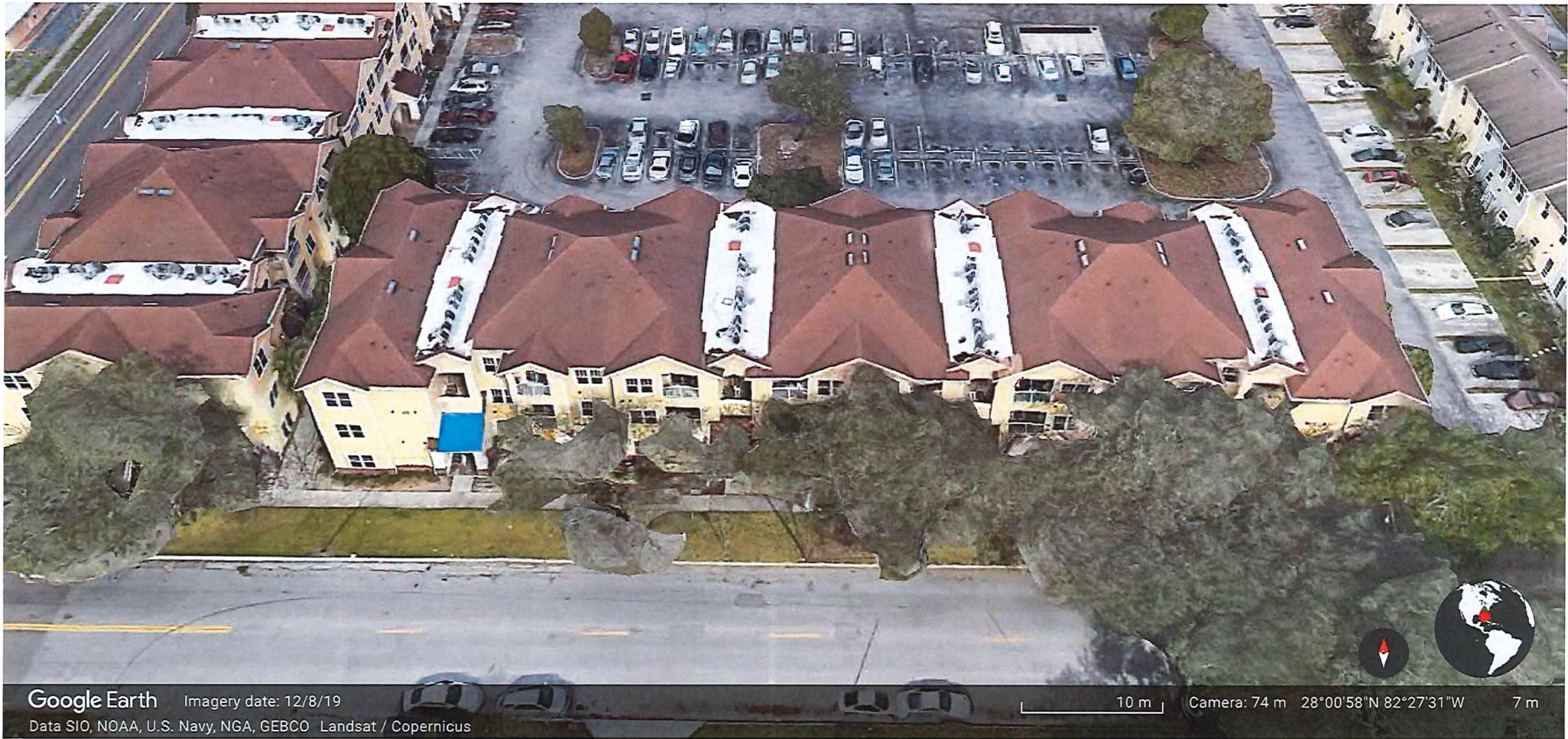


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Edgewood Management  
[www.edgewoodmgmt.com](http://www.edgewoodmgmt.com)





# 7501 NORTH FLORIDA AVENUE (STREET VIEW)



# 110 EAST BROAD STREET (STREET VIEW)

# EXHIBIT B

**KEYED NOTES**

- ① EXISTING ROOF MATCH - PROVIDE ROOF FLASHING PER DETAIL 9/A501. BELOW ROOF FRAME AND PROVIDE STUCCO PER DETAIL 3/A401.
- ② TIMBERLINE HDZ ARCHITECTURAL ROOF SHINGLES BY GAF OR APPROVED EQUAL WITH 25 YEAR WARRANTY.
- ③ ASTM D6878 COMPLYING GAF EVERGUARD TPO 60 MIL WHITE MEMBRANE OR APPROVED EQUAL WITH 20-YEAR WARRANTY.
- ④ EXISTING WALL BELOW

**PROJECT SCOPE**

PROJECT CONSISTS OF FULL TEAR-OUT AND REPLACEMENT OF COMBINATION ASPHALT SHINGLE AND BUILT-UP TPO ROOF - ROOF UNDERLAYMENT - GAF WAETHERWATCH 75 MIL THICK LEAK BARRIER OR APPROVED EQUAL WITH 25 YEAR WARRANTY.

**GENERAL NOTES**

1. CONTRACTOR TO NOTIFY ARCHITECT AND INDICATE ALL EXISTING ROOF VENTS AND VENT PIPE CAPS, DRAINS AND OTHER ROOFING APPURTENANCES. DETAILS ARE PROVIDED ON SHEET A501.
2. NO NEW PENETRATION OR CUT INTO EXISTING ROOF SHEATHING IS ALLOWED.
3. ALL FIRE RATED ENCLOSURES IN ROOFS AND WALLS SHOULD BE MAINTAINED AND PROTECTED.
4. GENERAL CONTRACTOR TO SUBMIT PRODUCT SPECIFICATIONS AND SAMPLES FOR THE ITEMS LISTED BELOW:
  - A. TIMBERLINE HDZ ARCHITECTURAL ROOF SHINGLES BY GAF OR APPROVED EQUAL WITH 25-YEAR WARRANTY.
  - B. ASTM D1970 COMPLYING SELF-ADHERING POLYMER-MODIFIED BITUMEN UNDERLAYMENT - GAF WAETHERWATCH 75 MIL THICK LEAK BARRIER OR APPROVED EQUAL WITH 25 YEAR WARRANTY.
  - C. ASTM D6878 COMPLYING GAF EVERGUARD TPO 60 MIL WHITE MEMBRANE OR APPROVED EQUAL WITH 20 YEAR WARRANTY.
  - D. ASTM C1289 TYPE I, CLASS 1, GRADE 2 COMPLYING GAF ENERGY GUARD POLYINSULATION BOARDS (20 PSI AND MINIMUM OF 1.5 INCH THICK) OR APPROVED EQUAL WITH 20 YEAR WARRANTY. CONTRACTOR TO VERIFY THICKNESS OF INSULATION BOARDS PRIOR TO START OF WORK AND TO NOTIFY PROJECT MANAGER OF ACTUAL THICKNESS.
  - E. 5/8" - 4"x8" EXTERIOR GRADE PRESSURE TREATED FLYWOOD ROOF SHEATHING, (REPLACE AS NEEDED)
  - F. FT 2 X 10 FASGIA BOARDS WITH PREFINISHED FASGIA COVER (REPLACE AS NEEDED)
  - G. ALL NEW REPLACEMENT METAL ROOF VENTS, VENT PIPE CAPS, GUTTERS AND DOWNSPOUTS MUST COMPLY WITH FLORIDA BUILDING CODE, SMACMA AND AAMA 2603 STANDARDS.
5. GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES IN DRAWINGS PRIOR TO COMMENCING WITH ANY WORK.
6. GENERAL CONTRACTOR TO INSTALL ALL PRODUCTS PER MANUFACTURER GUIDELINES AND INSTALLATION INSTRUCTIONS.
7. CONTRACTOR SHALL PROVIDE QUALITY ASSURANCE IN STRICT ACCORDANCE WITH CURRENT CODES AS WELL AS TERMS, CONDITIONS, SPECIAL CONTRACT REQUIREMENTS, SPECIFICATIONS, ATTACHMENTS, AND EXHIBITS CONTAINED IN THE GENERAL CONDITIONS OF CONTRACT.
8. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY EXISTING CONDITIONS FOR EACH INDIVIDUAL WORK ITEM BEFORE SUBMITTING A BID. THE CONTRACTOR SHALL BE SATISFIED THAT THERE ARE NO DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THE DRAWINGS ISSUED. BEFORE ORDERING MATERIALS/PRODUCTS, THE CONTRACTOR SHALL VERIFY RELATED CONDITION TO INSURE PROPER INSTALLATION. NOTIFY TAMPA HOUSING AUTHORITY AND DESIGN TEAM OF ANY HIDDEN CONDITION DISCOVERED WHICH MIGHT AFFECT THE PROGRESS OF WORK.
9. CONTRACTOR SHALL SECURE AND PAR FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
10. THE WORK SHALL BE DONE DURING REGULAR TAMPA HOUSING AUTHORITY WORKING HOURS MONDAY THRU FRIDAY 800AM - 500PM. THE CONTRACTOR MAY BE AUTHORIZED TO WORK WEEKENDS OR EVENINGS ON A REQUESTED BASIS.
11. CONTRACTOR SHALL FULL MAGNET AROUND JOB AREA DAILY TO PICK UP ANY LOOSE NAILS OR STAPLES.
12. CONTRACTOR SHALL ALWAYS PROVIDE A CLEAN WORK SITE, INCLUDING DESIGNATED STORAGE FEES, FREE FROM ACCUMULATION OF WASTE MATERIALS. CONSTRUCTION MATERIALS SHALL BE STORED IN TRAILER AND NOT IN THE BUILDING, UNLESS PREVIOUSLY AUTHORIZED BY THA. IN ANY CASE, CONSTRUCTION MATERIALS SHALL NOT BLOCK CIRCULATION OR CREATE OBSTACLES.
13. CONTRACTOR SHALL PROVIDE TRASH DUMPSTERS TO ACCOMMODATE PROPER DISPOSAL OF DEMOLISHED MATERIALS AND RELATED DEBRIS. (PROVIDE A PROPER DISPOSAL IN ACCORDANCE WITH WASTE MANAGEMENT)
14. WHEN NEW PRODUCTS ARE TO BE INSTALLED TO REPLACE EXISTING OLD PRODUCTS, REMOVE, AND DISPOSE OF OLD PRODUCTS. PERFORM CUTTING AND PATCHING OR OTHER MANUFACTURER PRE-INSTALLATION REQUIREMENTS AS SPECIFIED IN MANUFACTURER'S INSTALLATION MANUAL. INSTALL NEW PRODUCTS AS SPECIFIED IN MANUFACTURER'S INSTALLATION MANUAL. PREPARE AND PAINT ADJACENT WALLS AFFECTED BY THE INSTALLATION OF NEW PRODUCTS.
15. CONTRACTOR TO ENSURE THAT ANY SPILLAGE OR OVER SPRAY THAT MAY GET ON THE FLOOR, WINDOWS, CABINETS, APPLIANCES AND ON THE PROPERTY IS CLEANED AT THE END OF EVERY WORKDAY.
16. CONTRACTOR SHALL PERFORM A PROFESSIONAL FINAL CLEAN-UP OF THE BUILDING SITE AT THE END OF THE PROJECT.
17. SEE "DETAILED SCOPE OF WORK" DOCUMENT PROVIDED BY TAMPA HOUSING AUTHORITY FOR ADDITIONAL INFORMATION REGARDING LOCATIONS OF NEW GUTTERS AND DOWNSPOUTS.
18. GENERAL CONTRACTOR TO FOLLOW RECOMMENDATIONS FROM ASSESSMENT REPORT BY IBA CONSULTANTS DATED FEBRUARY 16, 2023. PROVIDE QUESTIONS TO TAMPA HOUSING AUTHORITY AND DESIGN TEAM FOR CLARIFICATIONS WHILE BIDDING.

No.	Date	Description
1	3/12/23	REPAIRS

**PAVALIS ARCHITEKTON**  
 417 South Pineles Avenue  
 Tarpon Springs, Florida 34689  
 email: andrew@pavalis.com

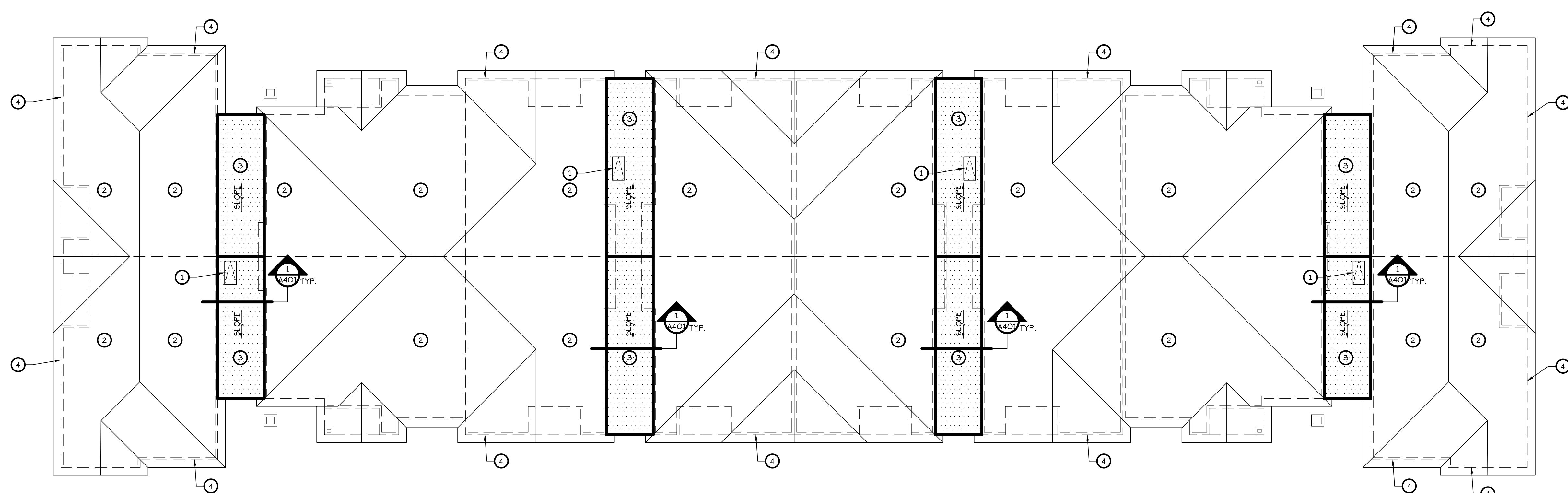
**FSG** FULLONE STRUCTURAL GROUP, INC  
 2253 CENTRAL AVENUE, UNIT #105  
 ST. PETERSBURG, FLORIDA 33713  
 PHONE: (727) 577-2222  
 FAX: (727) 577-2221  
 EB: #28152  
 Project No.: 1236-001

Issued for:	Date:
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<input type="checkbox"/> PRICING	
<input type="checkbox"/> BIDDING	
<input type="checkbox"/> PERMIT	
<input type="checkbox"/> CONSTRUCTION	

**Project Info:**  
 Oaks at Riverview Apartments  
 Project Street Address:  
 7501 N. Florida Ave Tampa, FL 33604

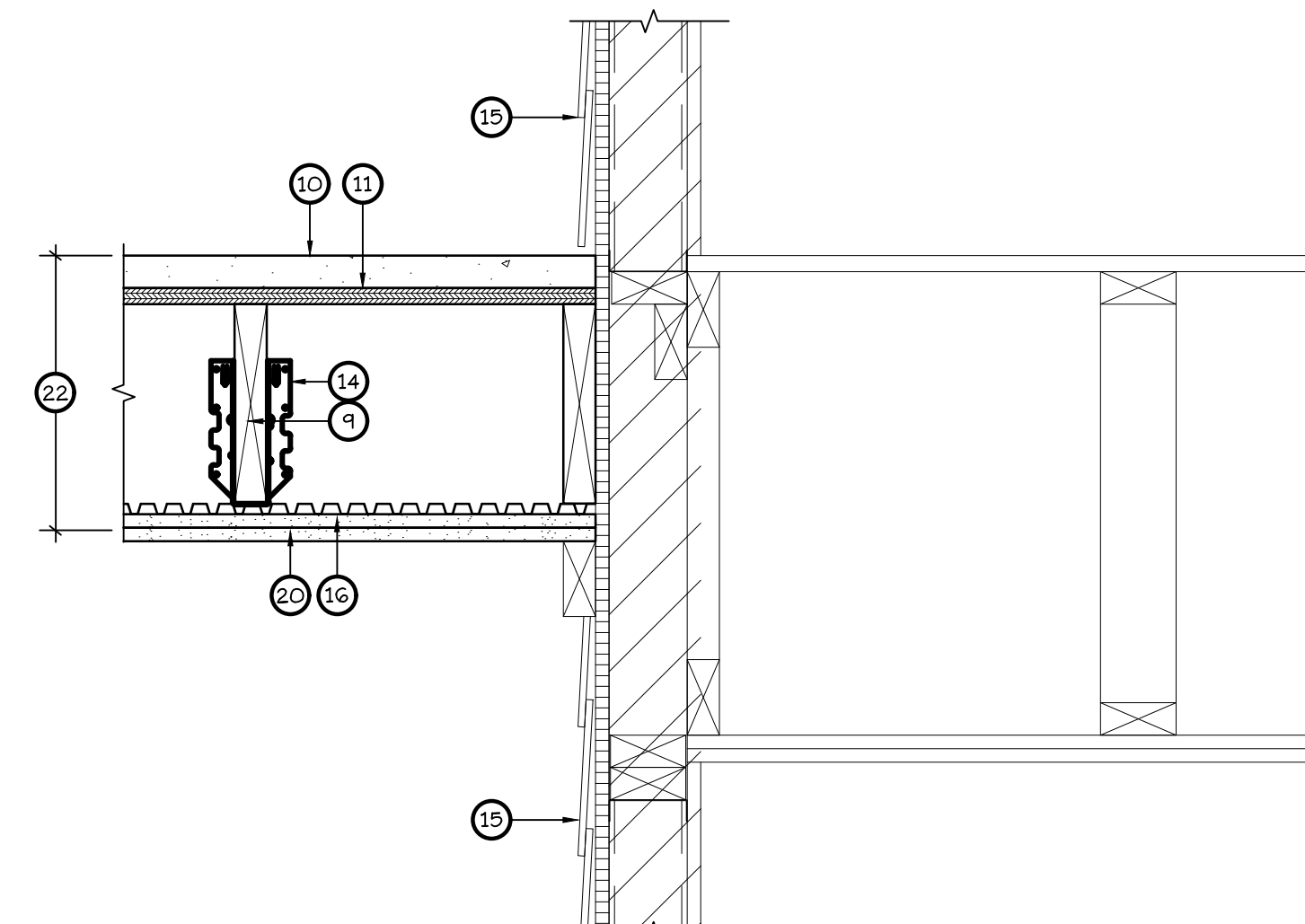
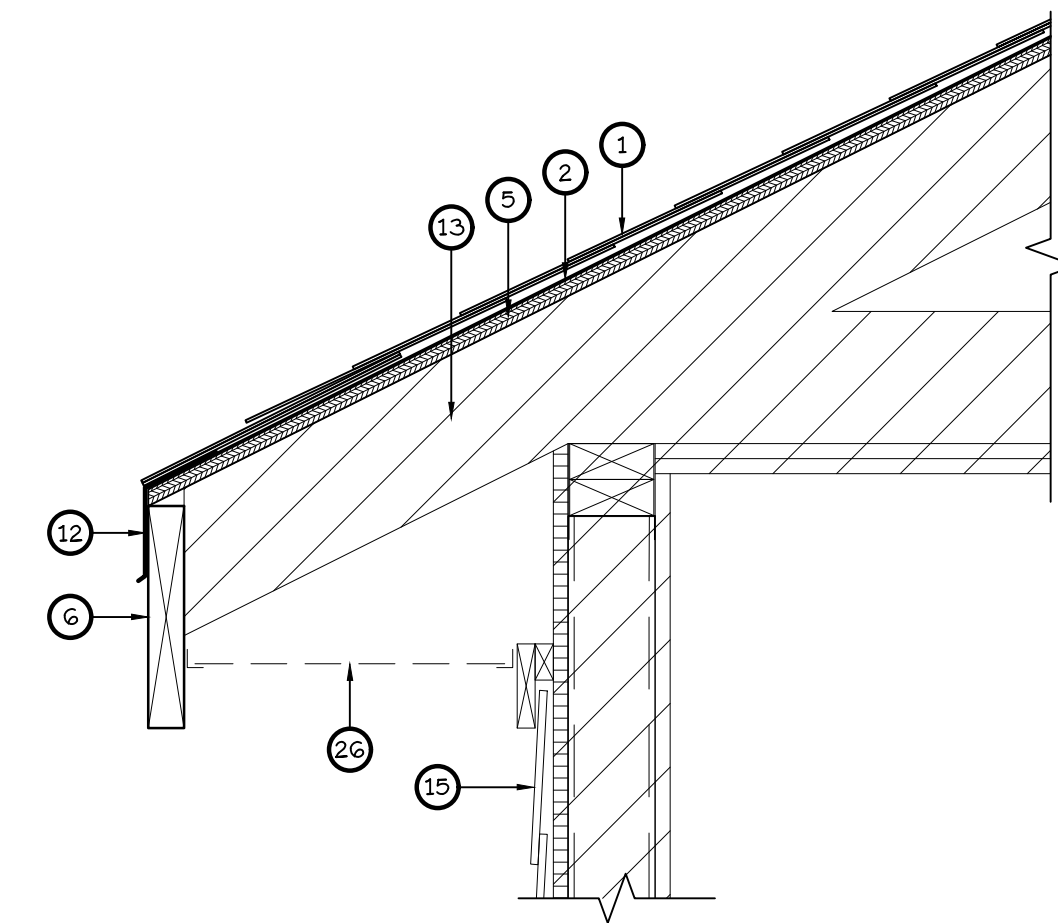
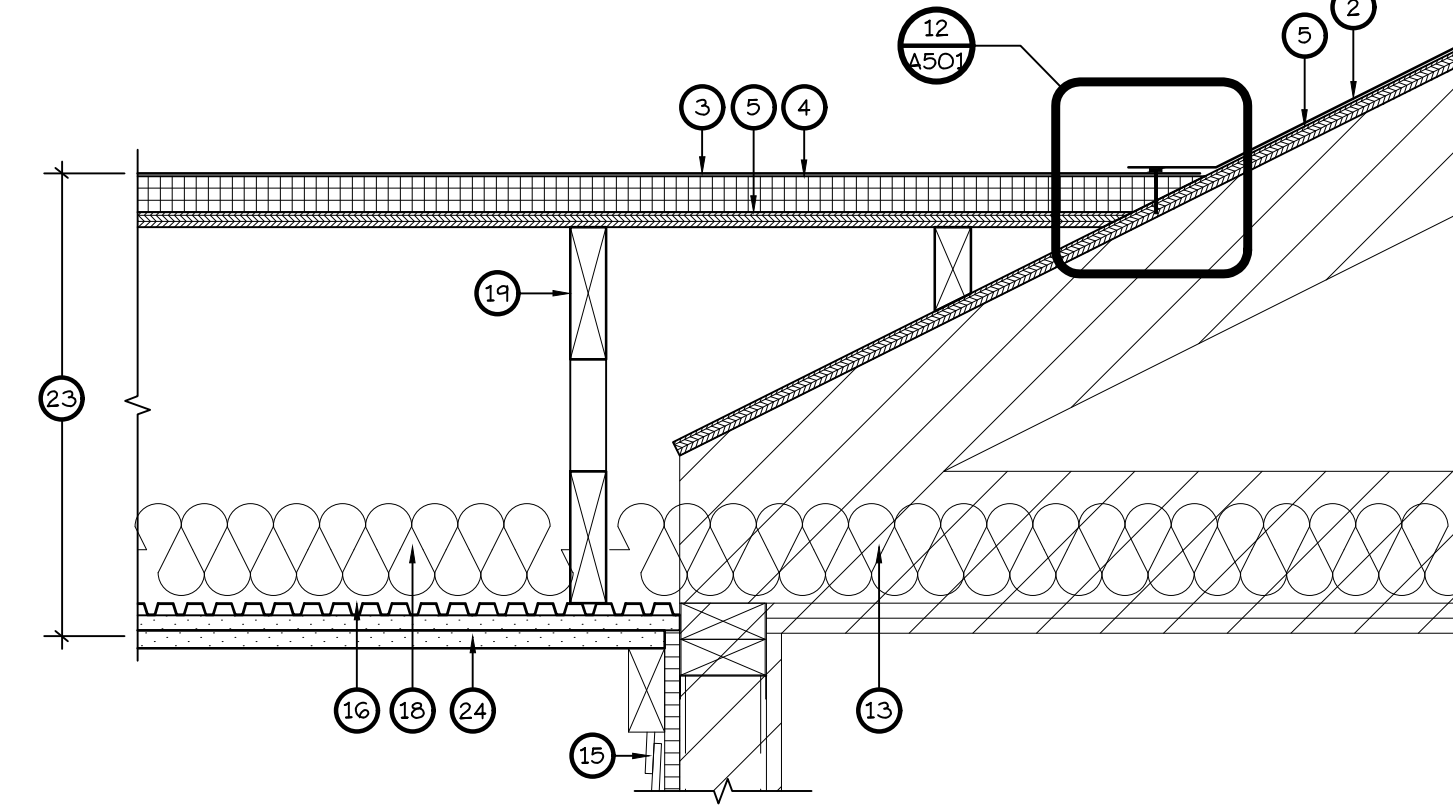
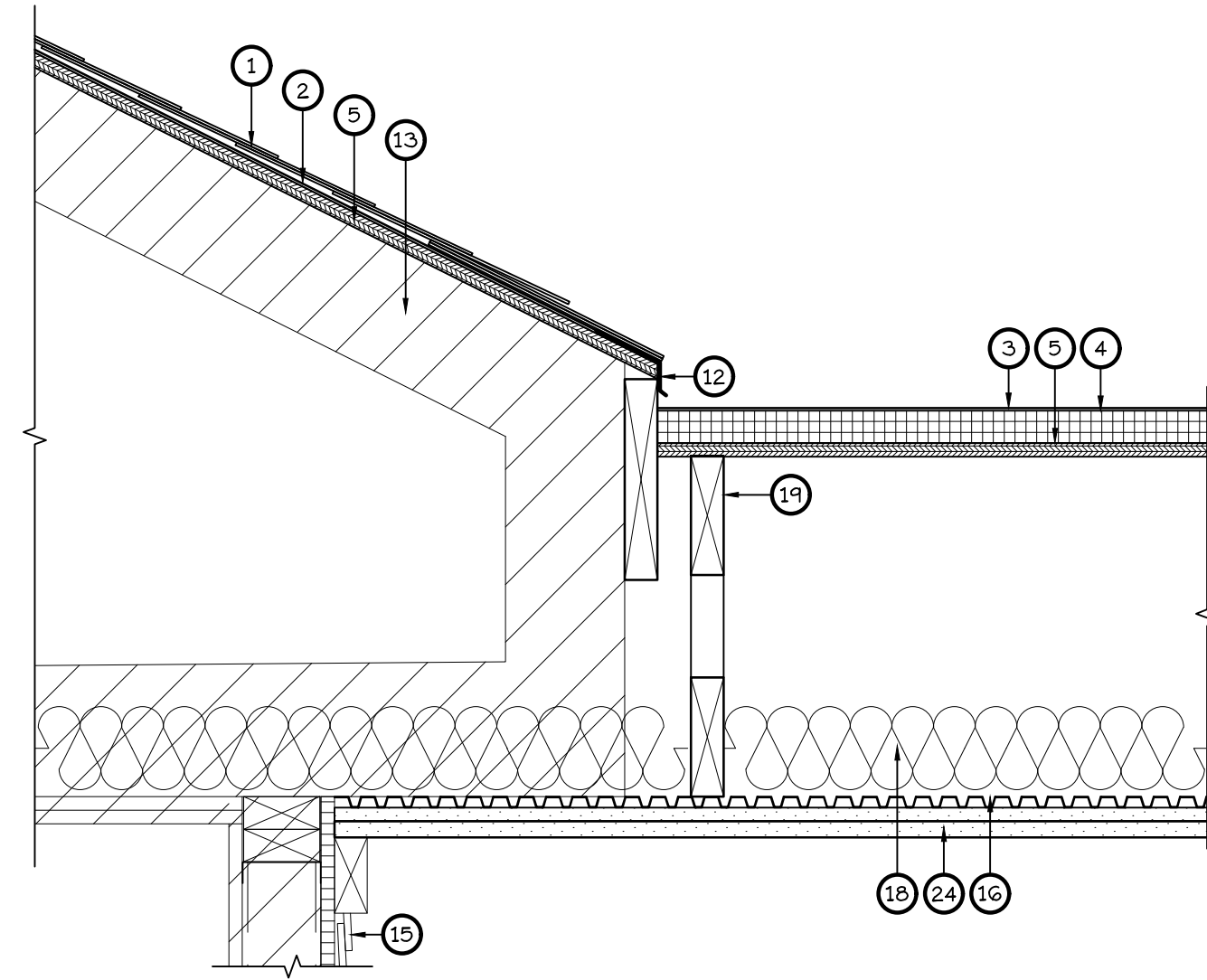
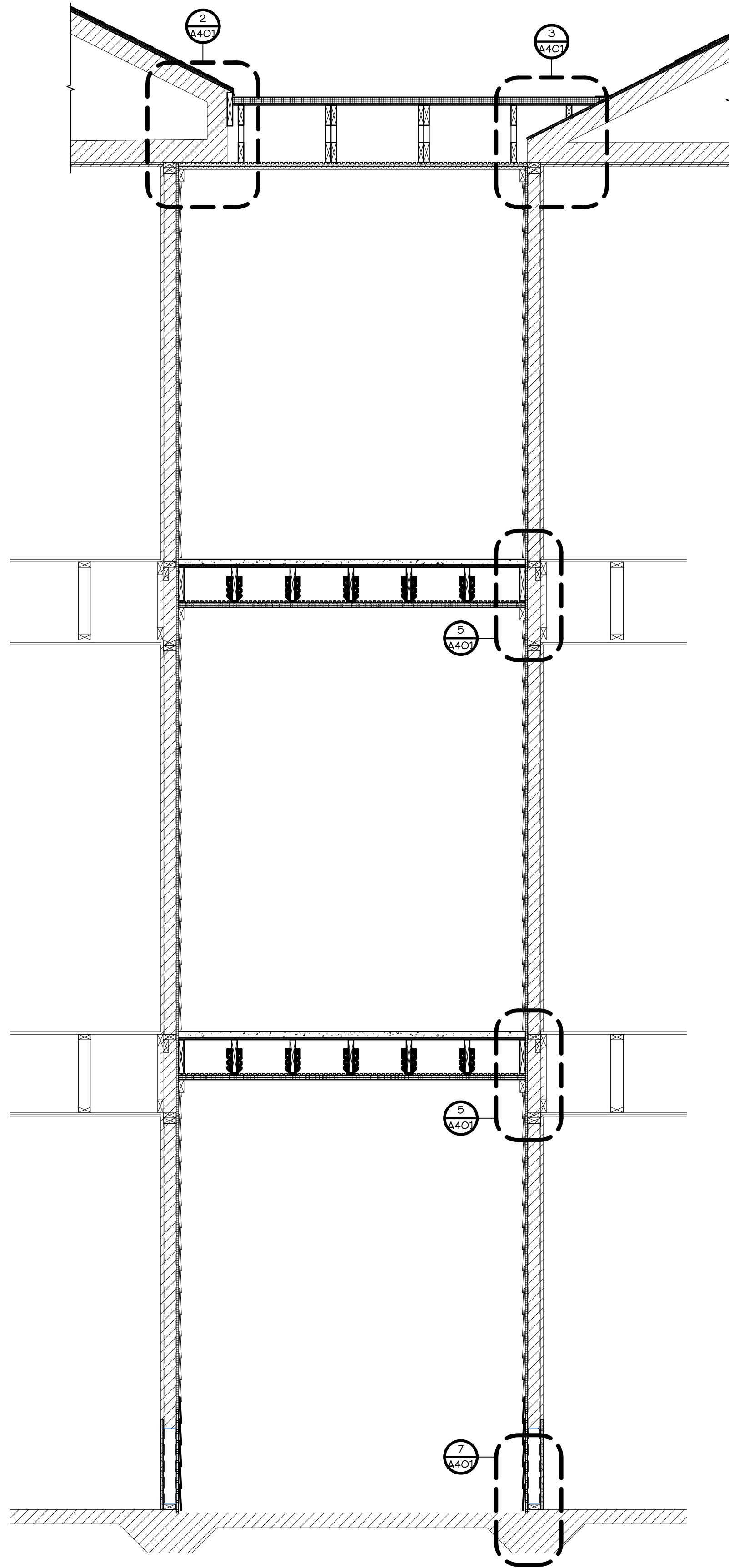
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Project No.: 1236-001  
 Drawing No:  
**A101**  
 Drawn by: MH Checked by: AZP



① **ROOF/BUILDING KEYPLAN**  
 SCALE: 3/32" = 1'-0"

DATE ISSUED: 12/22/2022  
 PERMIT SET

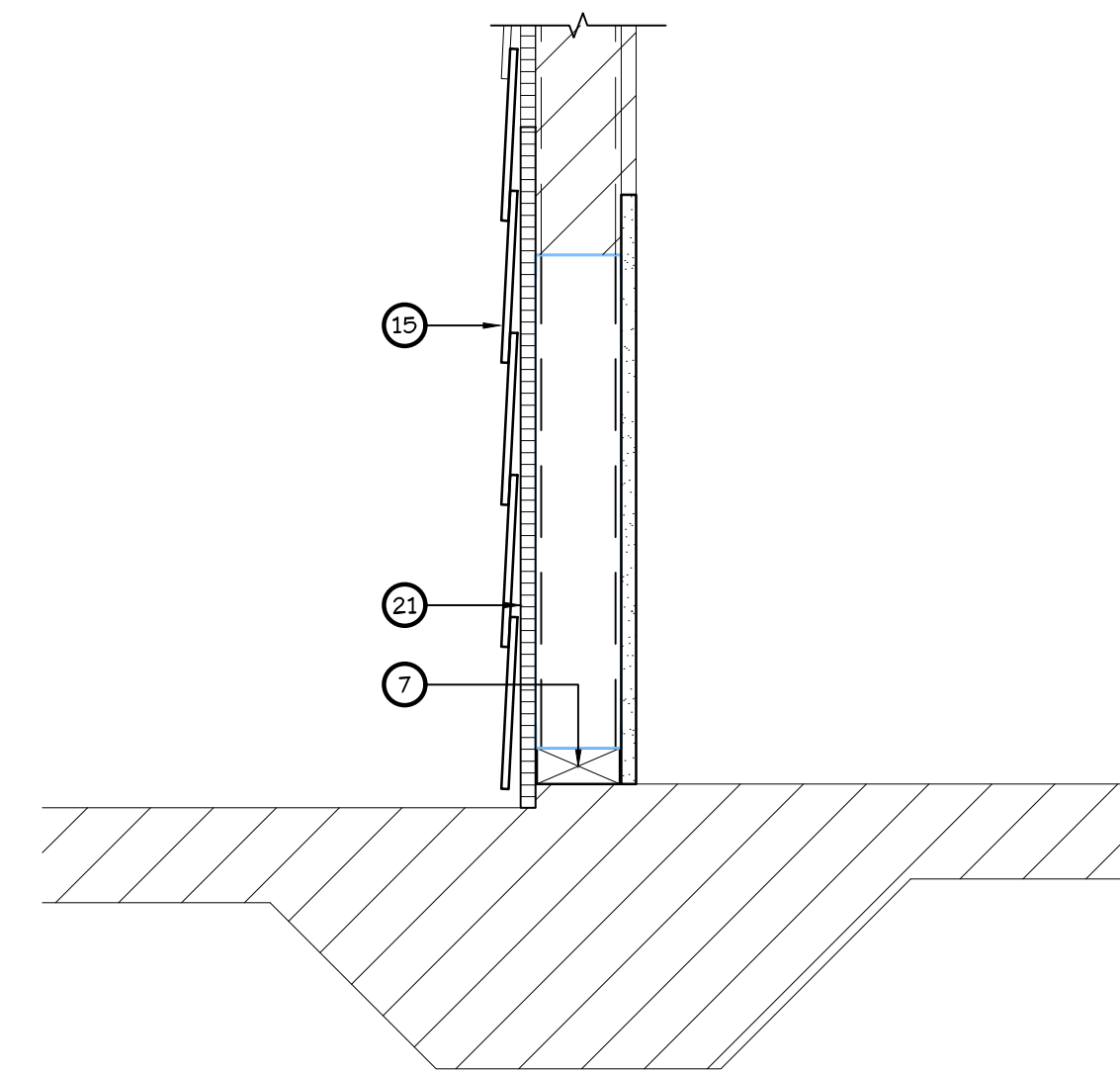
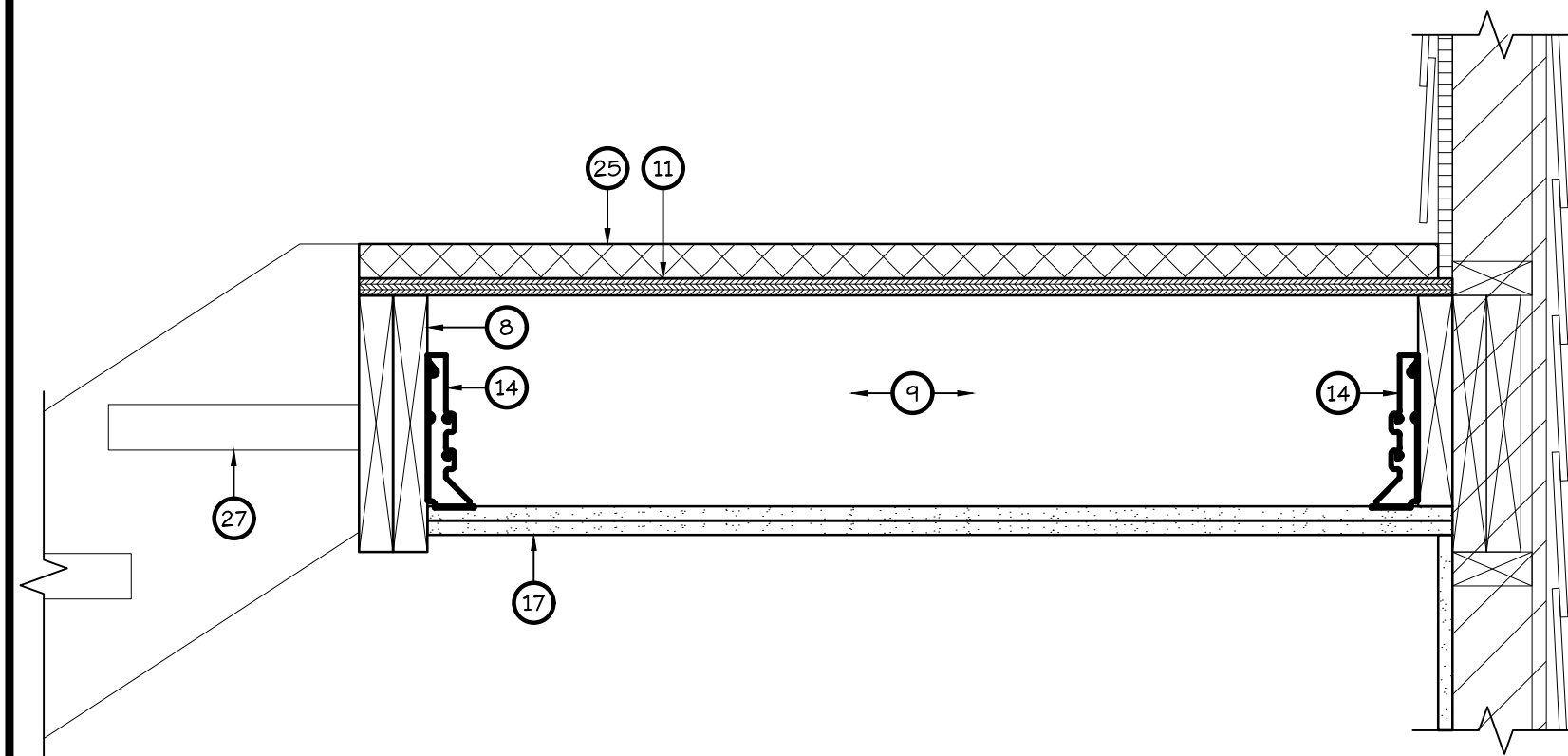


2 ENLARGED DETAIL  
SCALE: 1 1/2" = 1'-0"

3 ENLARGED DETAIL  
SCALE: 1 1/2" = 1'-0"

4 TYPICAL FASCIA/OVERHANG  
SCALE: 1 1/2" = 1'-0"

5 ENLARGED DETAIL  
SCALE: 1 1/2" = 1'-0"



6 STAIR LANDING DETAIL  
SCALE: 1 1/2" = 1'-0"

7 ENLARGED DETAIL  
SCALE: 1 1/2" = 1'-0"

1 PARTIAL BUILDING SECTION  
SCALE: 1/2" = 1'-0"

KEYED NOTES

- 1 TIMBERLINE HDZ ARCHITECTURAL ROOF SHINGLES BY GAF OR APPROVED EQUAL WITH 25 YEAR WARRANTY.
- 2 ASTM D1970 COMPLYING SELF-ADHERING POLYMER-MODIFIED BITUMEN UNDERLAYMENT - GAF WEATHERWATCH 73 ML THICK LEAK BARRIER OR APPROVED EQUAL WITH 25-YEAR WARRANTY.
- 3 ASTM D6878 COMPLYING GAF EVERGUARD TPO 60 ML WHITE MEMBRANE OR APPROVED EQUAL WITH 20-YEAR WARRANTY.
- 4 ASTM C1289 TYPE I, CLASS 1, GRADE 2 COMPLYING GAF ENERGYGUARD POLYISO-INSULATION BOARDS (20 PSI AND MINIMUM OF 1.5 INCHES THICK) OR APPROVED WITH 20-YEAR WARRANTY. CONTRACTOR TO VERIFY THICKNESS OF INSULATION BOARD BOARDS PRIOR TO START OF WORK AND TO NOTIFY PROJECT MANAGER OF ACTUAL THICKNESS.
- 5 5/8" x 4' x 8' EXTERIOR GRADE PRESSURE TREATED PLYWOOD ROOF SHEATHING. (REPLACE AS NEEDED)
- 6 P.T. 2x10 FASCIA BOARD WITH PREFINISHED ALUMINUM FASCIA COVER (REPLACE AS NEEDED).
- 7 NEW P.T. 2x BASE PLATE (REPLACE AS NEEDED)
- 8 (2) 2x12'S - SEE STRUCTURAL DRAWINGS
- 9 2x10'S @ 16' O.C. - SEE STRUCTURAL DRAWINGS
- 10 EXISTING 1 1/2" TO 3 3/4" LIGHTWEIGHT CONCRETE OVER EXISTING SINGLE PLY WATERPROOFING MEMBRANE. (PART OF 1-HR RATED FLOOR SYSTEM - UL DESIGN L528 - PROVIDE PLI-DEK WATERPROOFING SYSTEM OVER CONCRETE IN CORRIDORS)
- 11 EXISTING FLOOR SHEATHING (PART OF 1-HR RATED FLOOR SYSTEM - UL DESIGN L528)
- 12 NEW GALVANIZED STEEL EAVE DRIP EDGE.
- 13 EXISTING WOOD TRUSS
- 14 SIMPSON LUS28 - SEE STRUCTURAL DRAWINGS
- 15 EXISTING HARDI-BOARD (REPLACE AS NEEDED)
- 16 NEW RESILIENT CHANNELS AT 16' O.C. (PART OF 1-HR RATED FLOOR SYSTEM - UL DESIGN L528)
- 17 (2) LAYERS OF 5/8" FIRE RATED GYPSUM BOARD (1 HR RATED - FACTORY MUTUAL FC-172)
- 18 R-30 BLOWN INSULATION
- 19 REPAIRED/MODIFIED GIRDER TRUSS - SEE STRUCTURAL FOR MORE INFORMATION
- 20 1 LAYER 5/8" EXTERIOR GRADE FIRE RATED GYPSUM BOARD (PART OF 1-HR RATED FLOOR SYSTEM - UL DESIGN L528)
- 21 5/8" CEMENT BOARD (REPLACE AS NEEDED)
- 22 1-HR FIRE RATED FLOOR ASSEMBLY (UNWRITERS LABORATORY DESIGN L528)
- 23 1-HR FIRE RATED ROOF ASSEMBLY (UNWRITERS LABORATORY DESIGN L528)
- 24 5/8" FIBER REINFORCED CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER TYVEK STUCCO WRAP ON 1 LAYER 5/8" EXTERIOR GRADE FIRE RATED GYPSUM BOARD.
- 25 NEW PLI-DEK SYSTEM OVER WOOD SHEATHING AT STAIR LANDINGS - SEE DETAILS ON SHEET A501. ENSURE THE TOP OF LANDING MATCHES THE PREVIOUS TOP OF LANDING SO RISE OF LAST STAIR TREAD TO LANDING IS SAME AS EXISTING WAS.
- 26 NEW CONT. PERFORATED VINYL SOFFIT BY KAYCAN LTD (PRODUCT APPROVAL 1219B.2) OR EQUAL.
- 27 EXISTING CONCRETE STAIR TREAD

REVISIONS	
No.	Description
1	3/1/23 REPAIRS

**PAVALIS ARCHITEKTON**  
417 South Pinalis Avenue  
Tarpon Springs, Florida 34689  
email: andrew@pavalis.com

**FSG** FULLONE STRUCTURAL GROUP, INC.  
2253 CENTRAL AVENUE, UNIT #105  
ST. PETERSBURG, FLORIDA 33713  
PHONE: (727) 577-2222  
FAX: (727) 577-2222  
EB: #28152  
Project No.: 1236-001

Issued for:	Date:
<input type="checkbox"/> PRELIMINARY	
<input type="checkbox"/> PRICING	
<input type="checkbox"/> BIDDING	
<input type="checkbox"/> PERMIT	
<input type="checkbox"/> CONSTRUCTION	

Building Section and Details  
**Project Info:**  
Oaks at Riverview Apartments  
Project Street Address:  
7501 N. Florida Ave Tampa, FL 33604

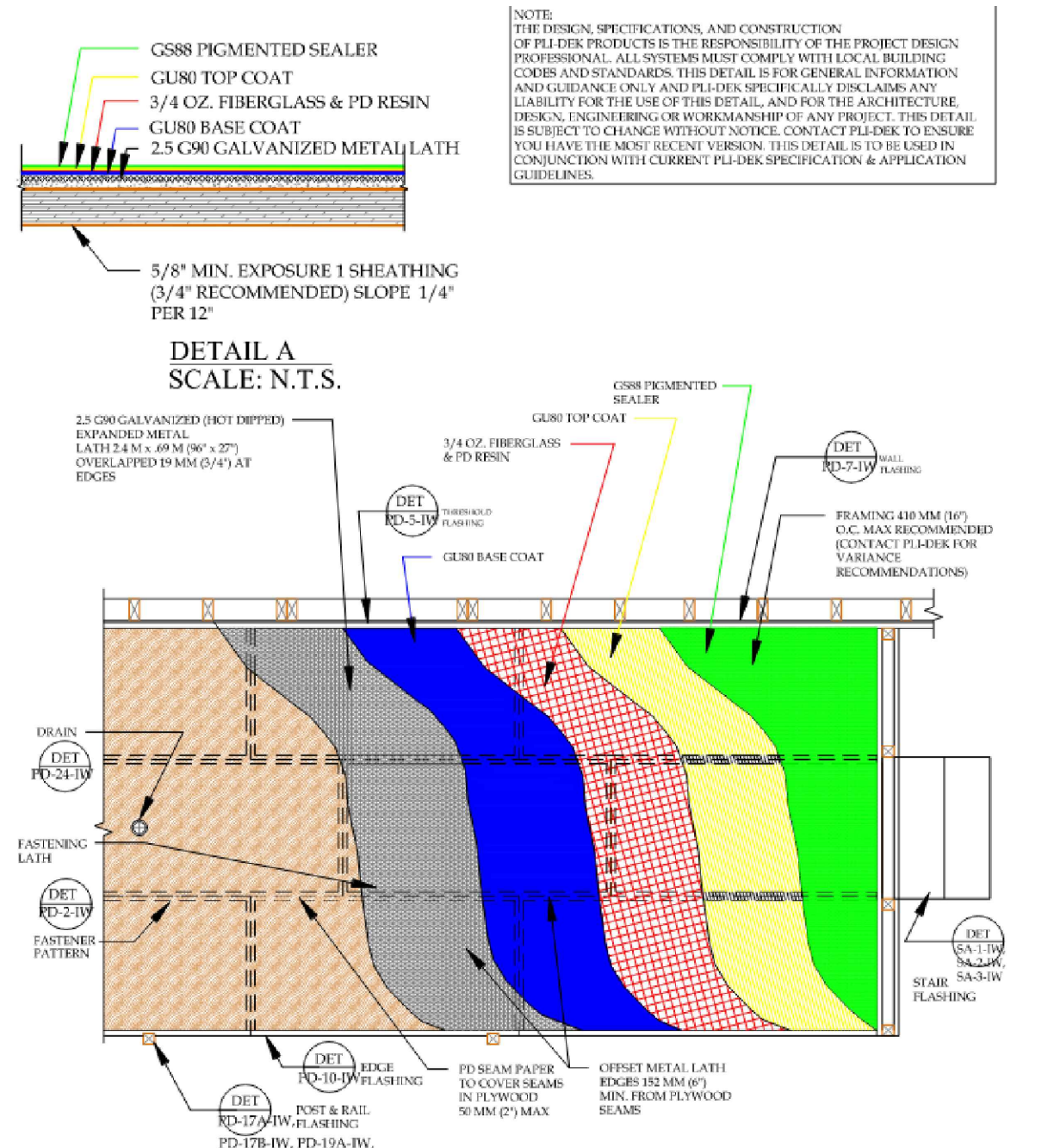
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Project No.: 1236-001

Drawing No:  
**A401**

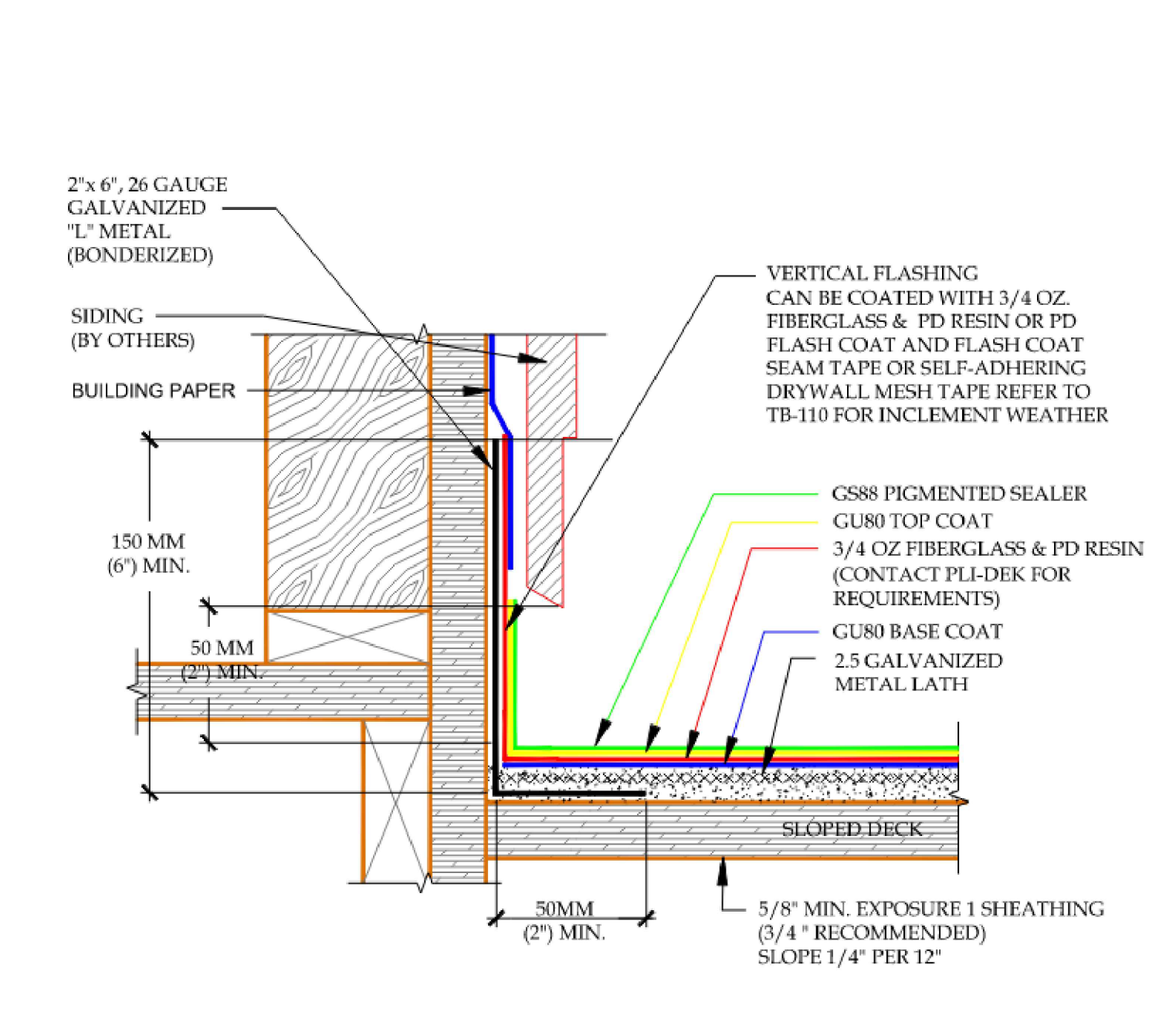
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PERMIT SET DATE ISSUED: 12/22/2022

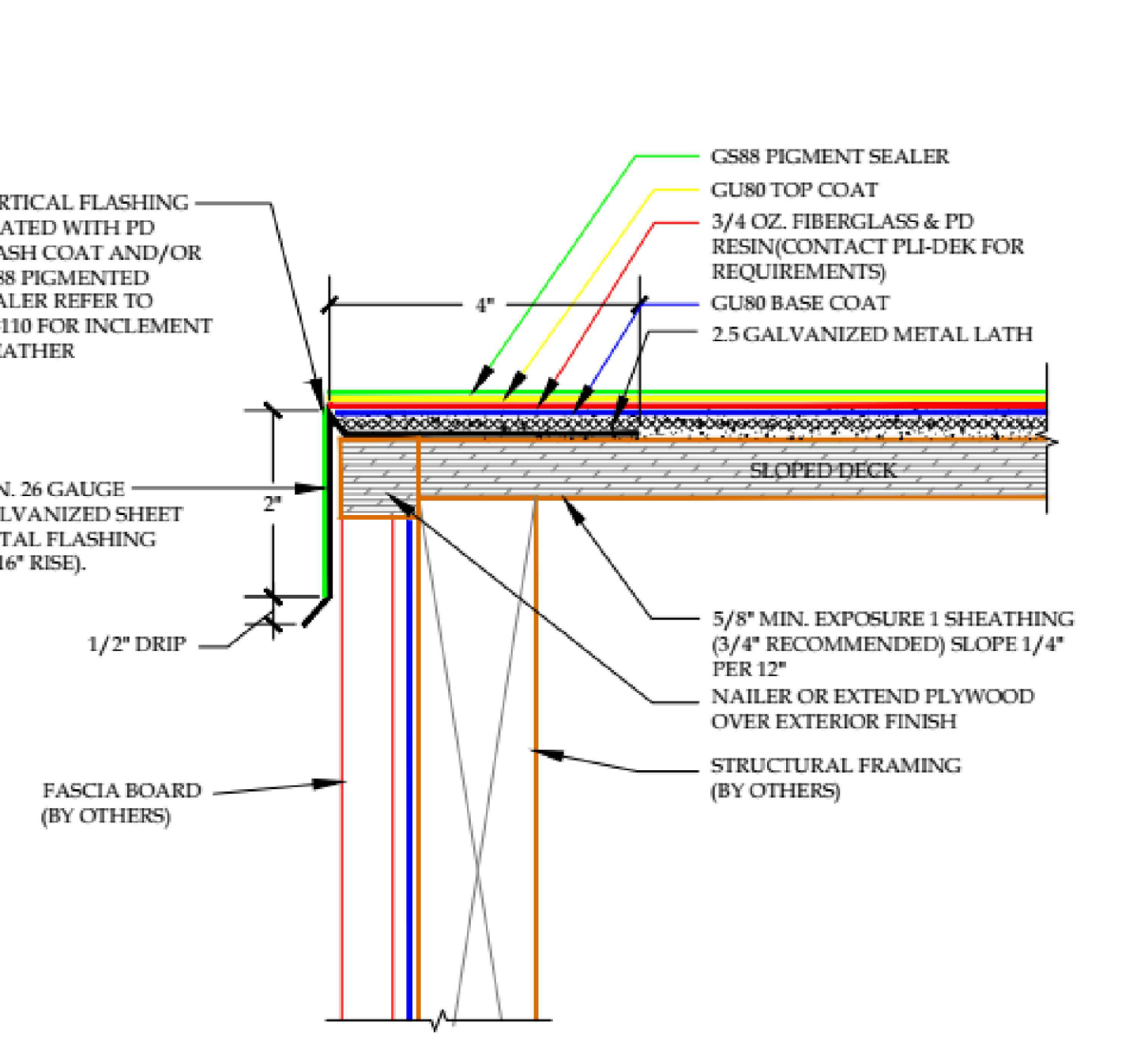


NOTE: THE DESIGN, SPECIFICATIONS, AND CONSTRUCTION OF THE DECK SYSTEM IS THE RESPONSIBILITY OF THE PROJECT DESIGN PROFESSIONAL. ALL SYSTEMS MUST COMPLY WITH LOCAL BUILDING CODES AND STANDARDS. THIS DETAIL IS GENERAL INFORMATION AND INTENDED ONLY AS A GUIDE. SPECIFIC INSTALLATION AND LIABILITY FOR THE USE OF THIS DETAIL AND ANY PRODUCTS, BRANDS, OR WORKMANSHIP OF ANY PROJECT, THIS DETAIL IS SUBJECT TO CHANGE WITHOUT NOTICE. CONTACT PLI-DEK IF YOU HAVE THE MOST RECENT VERSION. THIS DETAIL IS TO BE USED IN CONJUNCTION WITH CURRENT PLI-DEK SPECIFICATIONS & APPLICATION GUIDELINES.

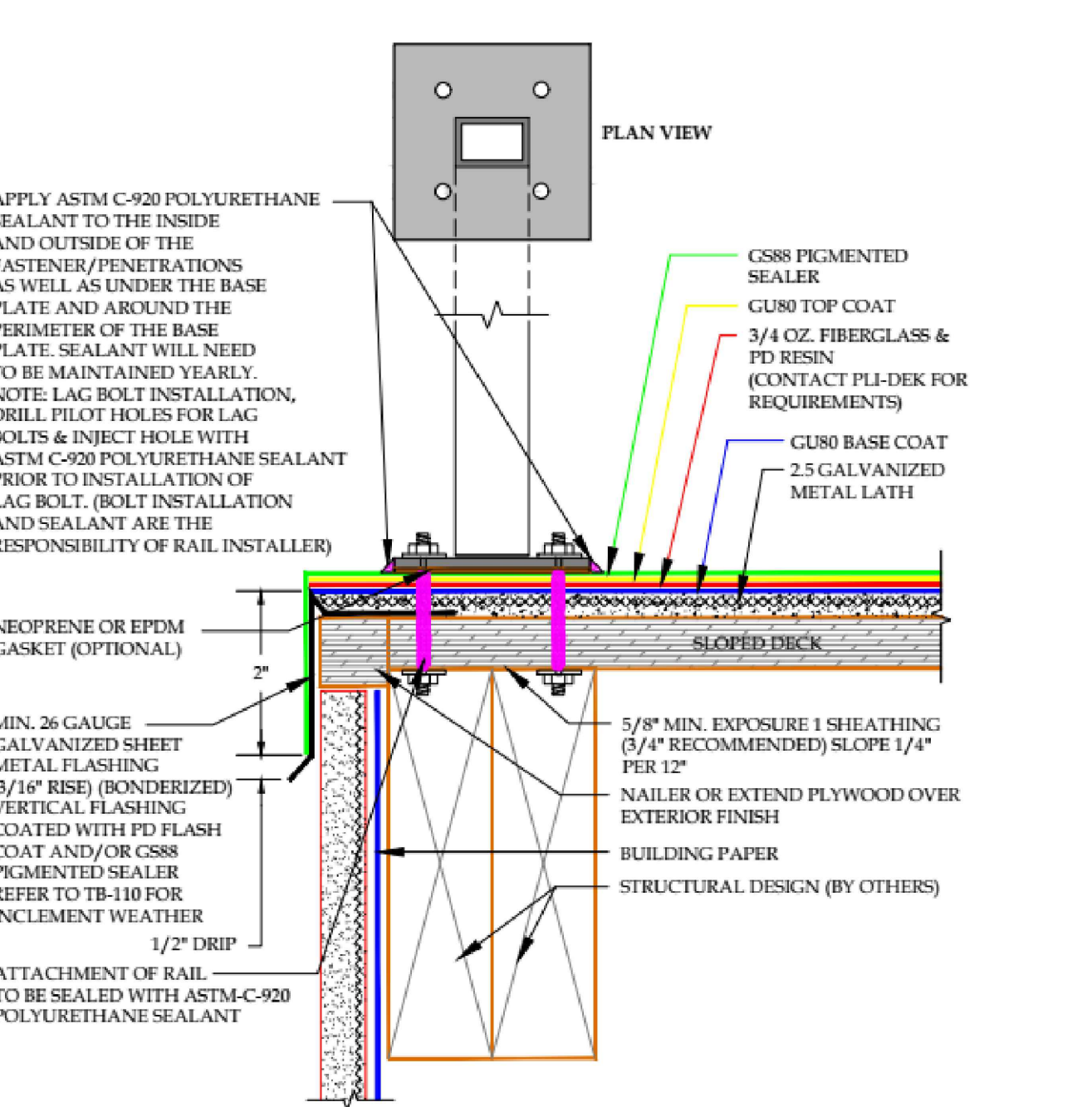
1 PLI-DEK SYSTEM - DECK PLAN VIEW  
SCALE: N.T.S.



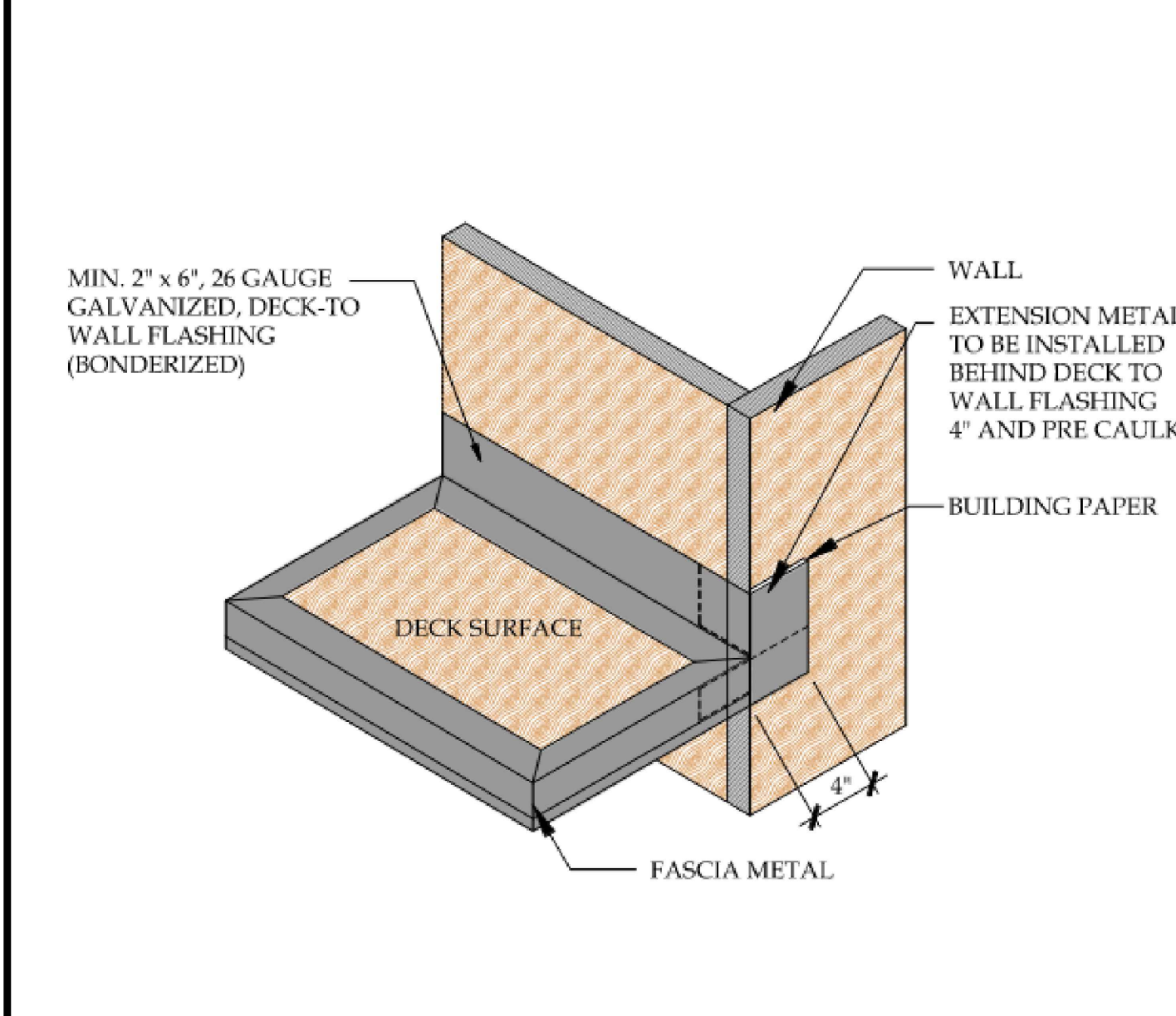
2 DECK TO WALL FLASHING - SIDING  
SCALE: N.T.S.



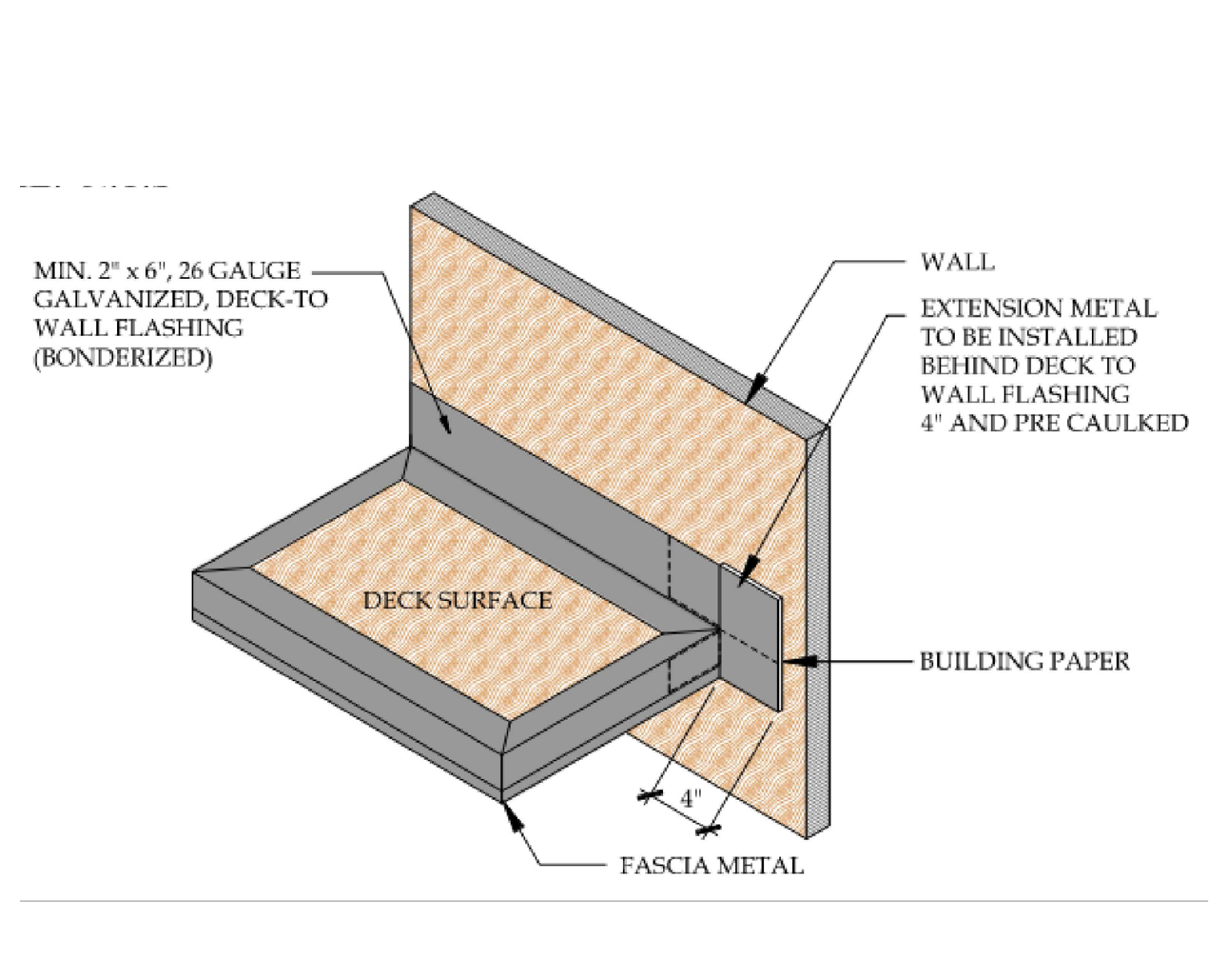
3 EDGE METAL FLASHING  
SCALE: N.T.S.



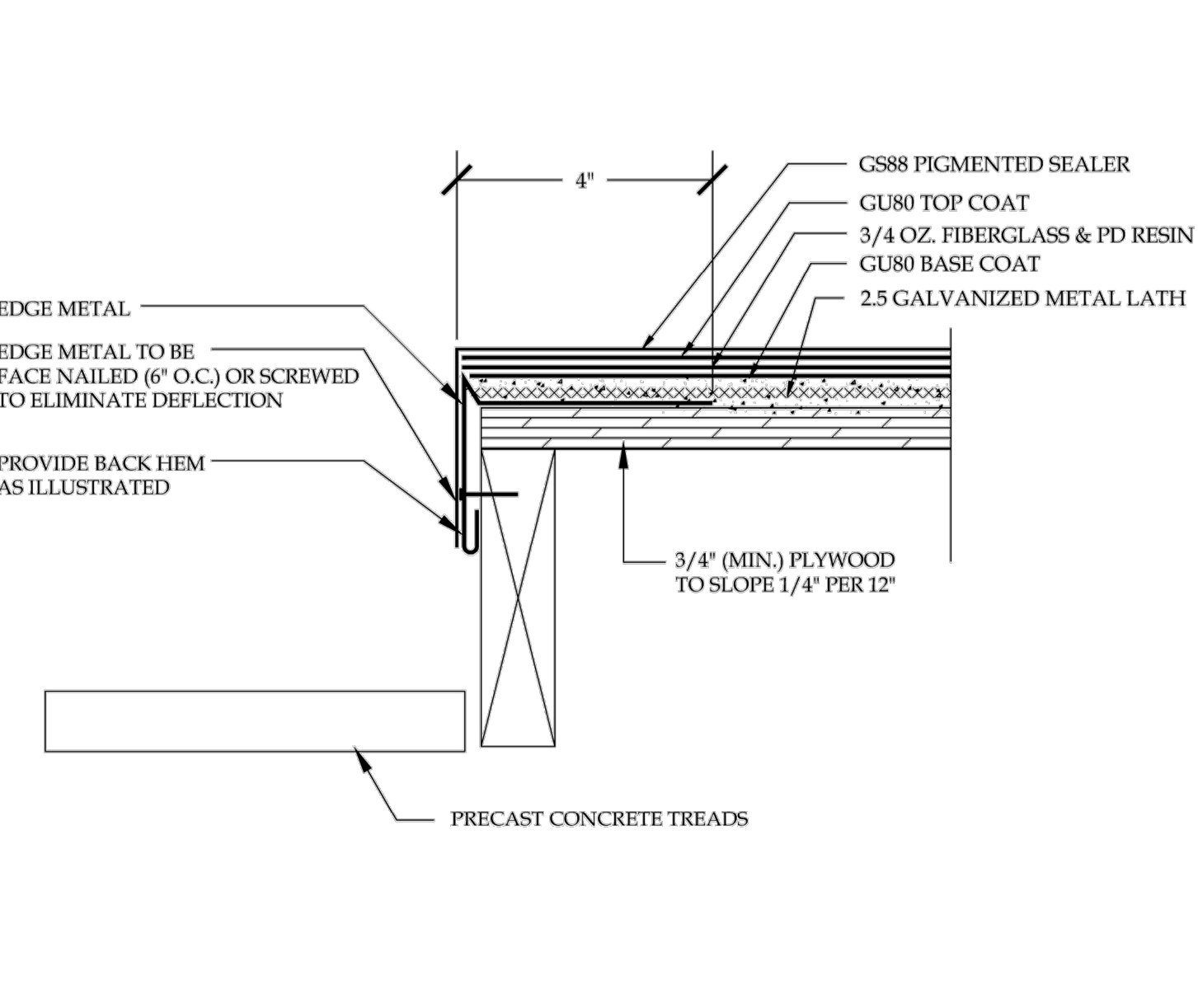
4 METAL DECK - SURFACE MOUNTED  
SCALE: N.T.S.



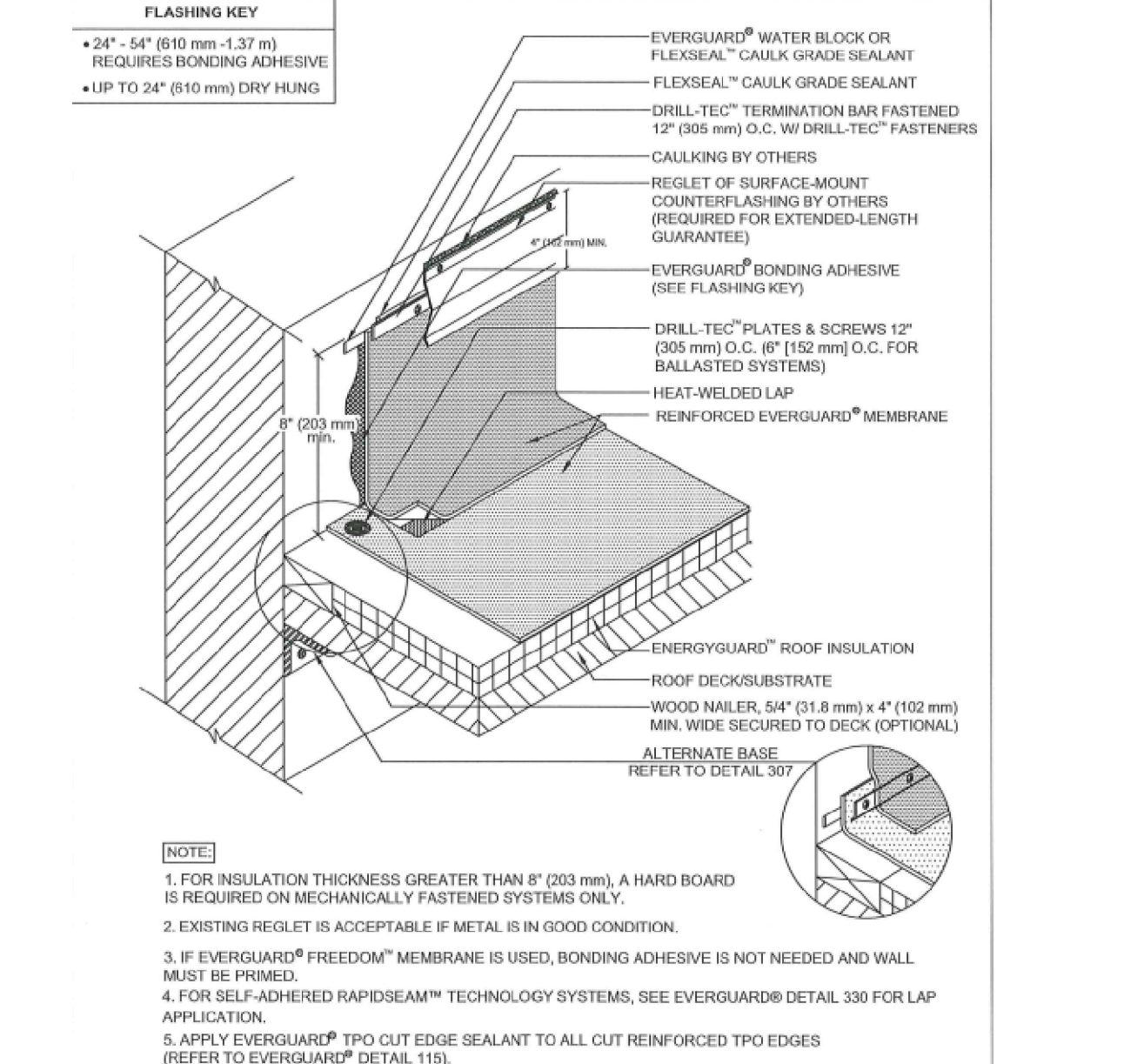
5 FASCIA TO WALL TO DECK FLASHING - CORNER  
SCALE: N.T.S.



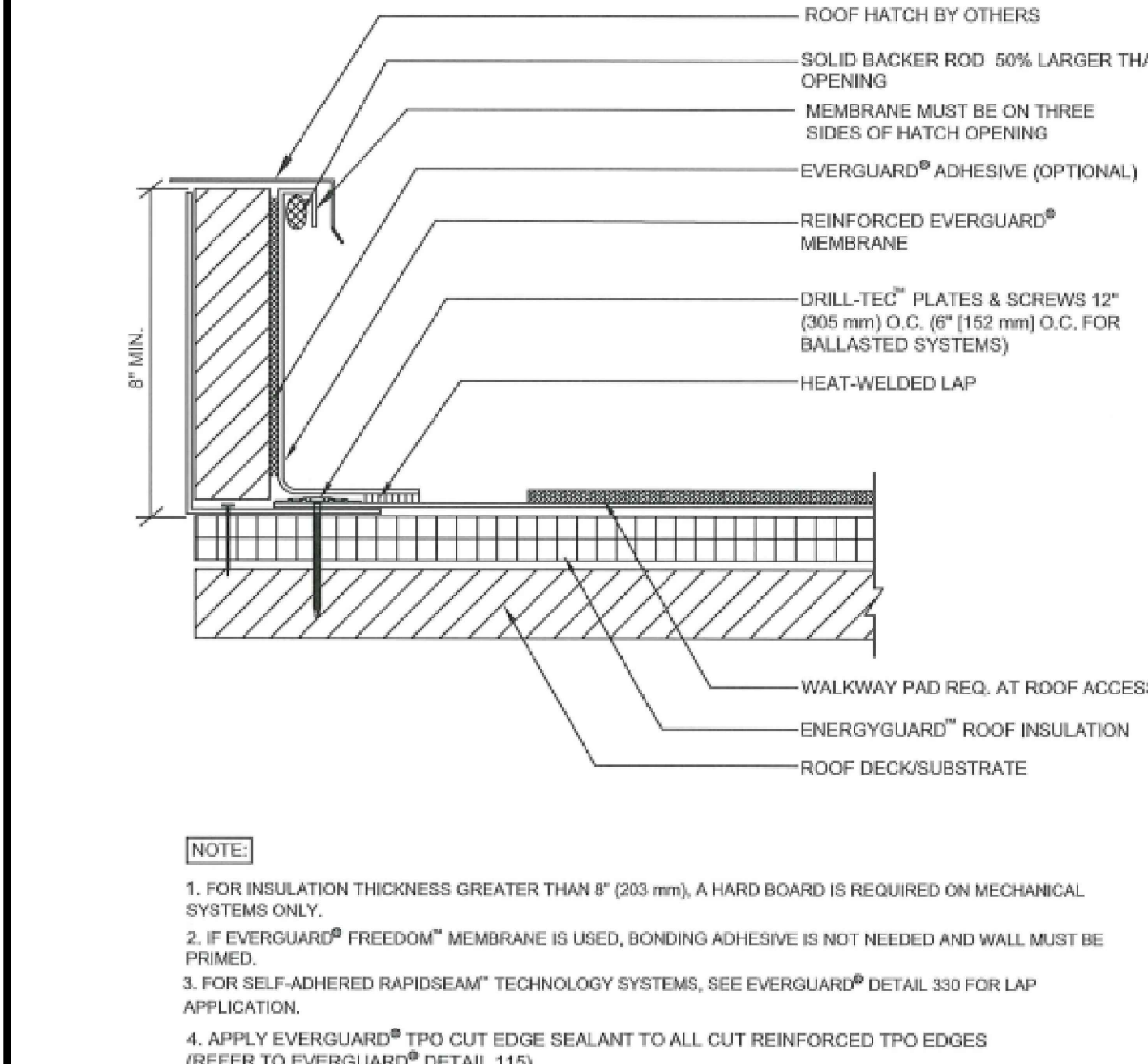
6 FASCIA TO WALL TO DECK FLASHING - INTERSECTION  
SCALE: N.T.S.



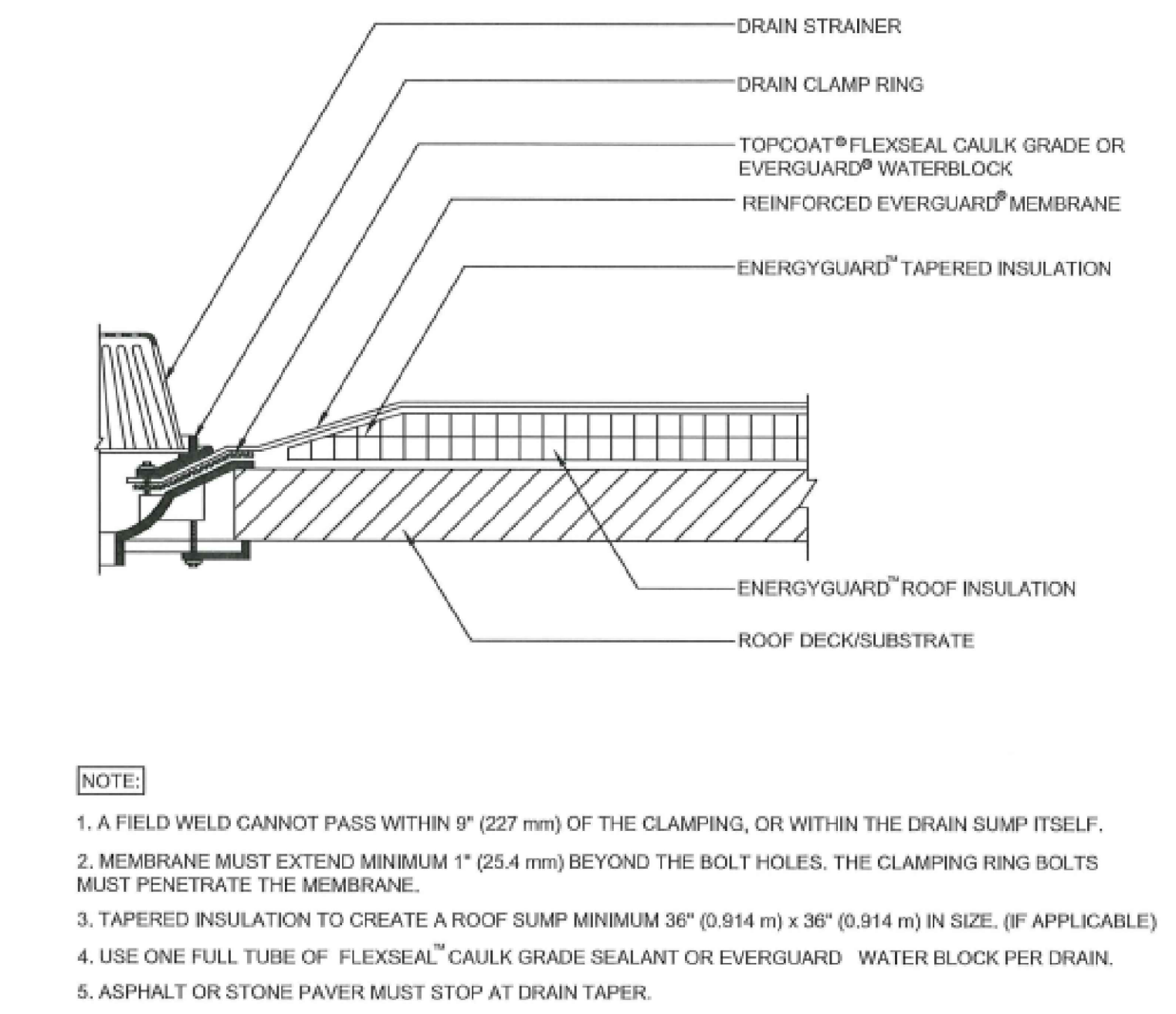
7 EDGE METAL AT LANDING  
SCALE: N.T.S.



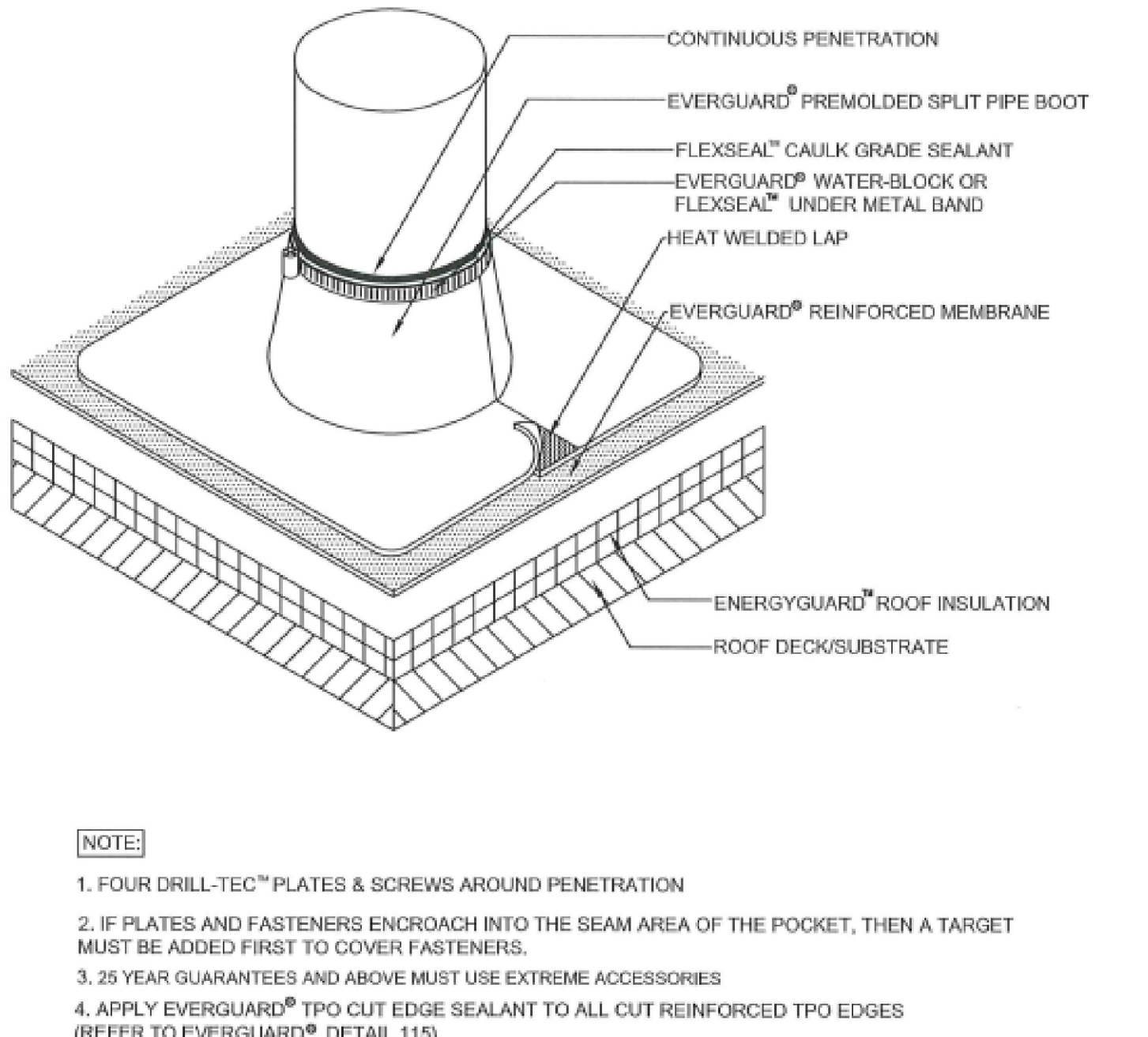
8 PARAPET WALL FLASHING W/COUNTERFLASHING  
SCALE: 1 1/2\"/>



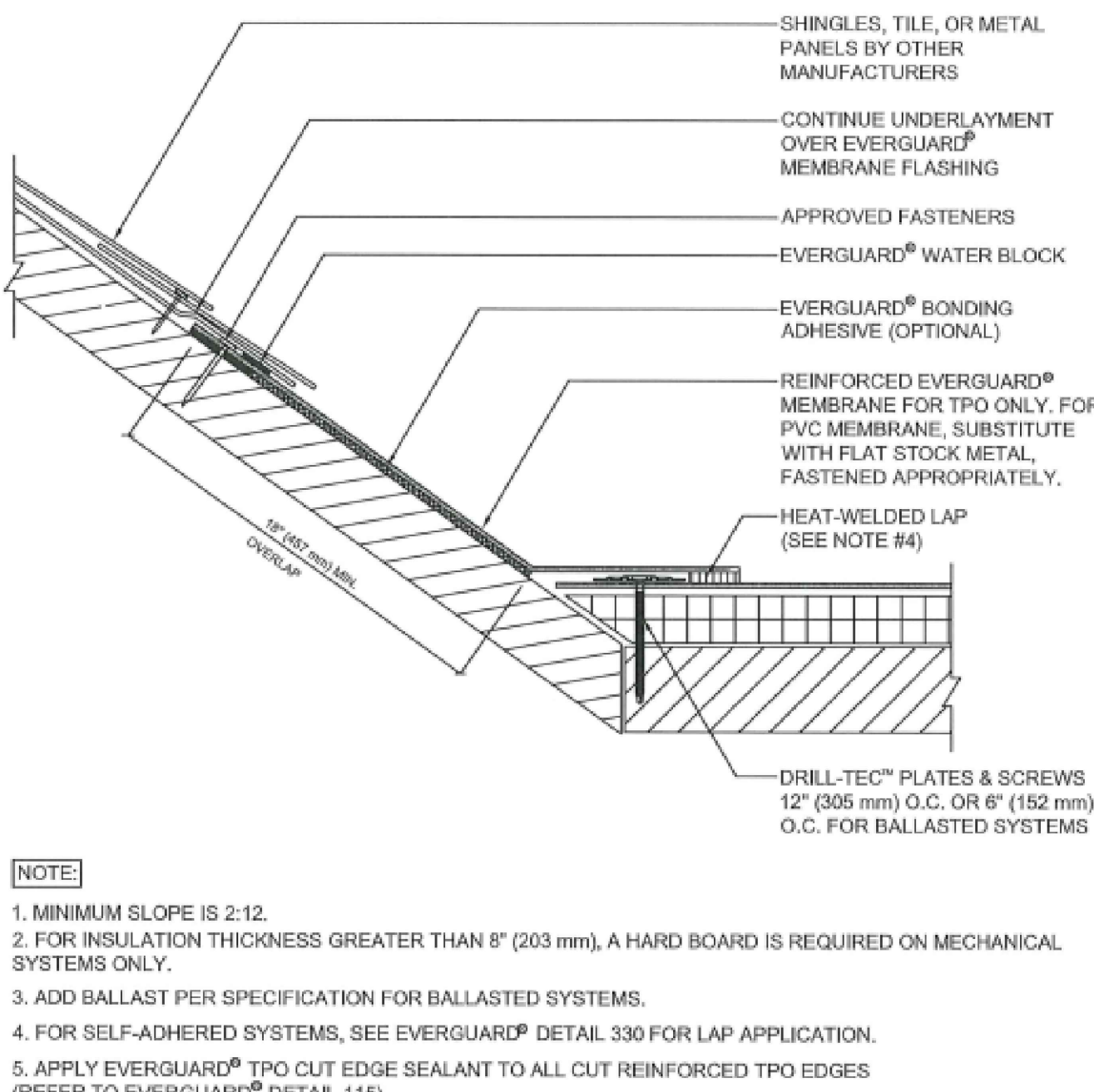
9 ROOF HATCH DETAIL  
SCALE: 1 1/2\"/>



10 STANDARD ROOF DRAIN FLASHING DETAIL  
SCALE: 1 1/2\"/>



11 SPLIT PIPE BOOT DETAIL  
SCALE: 1 1/2\"/>



12 STEEP SLOPE TIE-IN DETAIL  
SCALE: 1 1/2\"/>

REVISIONS	
No.	Description
1	3/1/23 REPAIRS

**PAVALIS ARCHITECTON**  
417 South Pines Avenue  
Tarpon Springs, Florida 34689  
email: andrew@pavallis.com

**FSG** FULLONE STRUCTURAL GROUP, INC.  
2253 CENTRAL AVENUE, UNIT #105  
ST. PETERSBURG, FLORIDA 33713  
PHONE: (727) 577-2222  
FAX: (727) 577-2221  
EB: #28152

Issued for:	Date:
<input type="checkbox"/> PRELIMINARY	
<input type="checkbox"/> PRICING	
<input type="checkbox"/> BIDDING	
<input type="checkbox"/> PERMIT	
<input type="checkbox"/> CONSTRUCTION	

**Project Info:**  
Oaks at Riverview Apartments  
Project Street Address:  
7501 N. Florida Ave Tampa, FL 33604

Project No.: 1236-001  
Drawing No: **A501**  
Drawn by: MH Checked by: AZP

DATE ISSUED: 12/22/2022 PERMIT SET

# STRUCTURAL SPECIFICATIONS:

## STRUCTURAL SPECIFICATIONS:

- GENERAL CONTRACTOR (G.C.) IS RESPONSIBLE TO VERIFY AND COORDINATE ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH WORK. ANY DISCREPANCIES MUST BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ALL ENGINEERS OF RECORD. THE CONTRACTOR IS ALSO SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. FULLONE STRUCTURAL GROUP, L.L.C. IS NOT RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION OR FOR RELATED SAFETY PRECAUTIONS AND PROGRAMS. TYPICAL DETAILS AND WALL SECTIONS SHOWN APPLY TO ALL SIMILAR SECTIONS AND CONDITIONS UNLESS NOTED OTHERWISE.
- CONTRACTOR MUST FULLY BRACE AND PROTECT ALL WORK IN PROGRESS UNTIL THE STRUCTURE IS COMPLETED.
- THE STRUCTURE AND ALL APPLICABLE COMPONENTS FOR THIS PROJECT HAVE BEEN DESIGNED IN ACCORDANCE WITH APPROPRIATE PROVISIONS OF EACH OF THE FOLLOWING:
  - THE 7th EDITION (2020) FLORIDA BUILDING CODE.
  - ACI STANDARD 318-14 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE.
  - ANSI STANDARD A41.1 BUILDING CODE REQUIREMENTS FOR MASONRY.
  - ADDITIONAL BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (TMS 402-16 & TMS 602-16).
  - AISC MANUAL OF STEEL CONSTRUCTION, LATEST EDITION.
- THE FOLLOWING STRUCTURAL CONSTRUCTION DOCUMENTS MUST BE USED IN CONJUNCTION WITH ALL APPLICABLE SPECIFICATIONS AND THE ARCHITECTURAL AND MECHANICAL CONSTRUCTION DOCUMENTS. IF THERE IS A DISCREPANCY BETWEEN DOCUMENTS, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT PRIOR TO PERFORMING ANY AND ALL CONSTRUCTION. IN CASE OF CONFLICT THE MOST STRINGENT CONDITION MUST **ALWAYS** APPLY. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING STRUCTURAL AND MECHANICAL CONSTRUCTION DOCUMENTS AND WITH ANY AND ALL APPLICABLE EQUIPMENT MANUFACTURER'S (I.E. WINDOW, DOOR, AIR HANDLER, ETC.). IF THERE ARE ANY CONFLICTS THE GENERAL CONTRACTOR IS REQUIRED TO REQUEST AND RECEIVE AN ARCHITECTURAL DIRECTIVE PRIOR TO PERFORMING WORK.
- IF THERE ARE ANY DIMENSIONS NOT SHOWN ON THE STRUCTURAL CONSTRUCTION DOCUMENTS REQUIRED FOR CONSTRUCTION THE GENERAL CONTRACTOR MAY REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND/OR CONTACT THE STRUCTURAL ENGINEER OF RECORD FOR ADDITIONAL INFORMATION.

## ROUGH CARPENTRY - STRUCTURAL WOOD FRAMING AND SHEATHING

- APPLICABLE PUBLICATIONS:
  - WESTERN WOOD PRODUCTS ASSOCIATION PUBLICATION: **STANDARD GRADING RULES FOR WESTERN LUMBER**
  - AMERICAN WOOD PRESERVERS INSTITUTE STANDARDS: **PRESERVATIVE TREATMENT OF WOOD BY PRESSURE METHODS**
  - NATIONAL FOREST PRODUCTS ASSOCIATION PUBLICATION: **NATIONAL DESIGN SPECIFICATION FOR STRESS GRADED LUMBER AND ITS FASTENINGS**
  - WEST COAST LUMBER INSPECTION BUREAU STANDARDS: **STANDARD GRADING AND DRESSING RULES FOR DOUGLAS FIR, WEST COAST HEMLOCK, SITKA SPRUCE, WHITE FIR, AND WESTERN RED CEDAR LUMBER, NO. 16**
  - SOUTHERN PINE INSPECTION BUREAU: **STANDARD GRADING RULES FOR SOUTHERN PINE LUMBER**
  - SOUTHERN FOREST PRODUCTS ASSOCIATION
  - NATIONAL BOARD OF FIRE UNDERWRITERS
- LUMBER SHALL COMPLY WITH PS 20 (AMERICAN SOFTWOOD LUMBER STANDARD; NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY) AND APPROVED GRADING RULES AND INSPECTION AGENCIES
- COVER WOOD PRODUCTS TO PROTECT AGAINST MOISTURE. SUPPORT STACKED PRODUCTS TO PREVENT DEFORMATION AND TO ALLOW CIRCULATION.
- DIMENSION LUMBER
  - GRADING AGENCY: SOUTHERN PINE INSPECTION BUREAU, INC. (SPIB)
  - SIZES, NOMINAL SIZES AS INDICATED ON DRAWINGS, S4S
  - MOISTURE CONTENT: S-DRY OR MC19
  - LUMBER: S4S, SOUTHERN PINE NO. 2
- PLYWOOD SHEATHING
  - PS 1 (CONSTRUCTION AND INDUSTRIAL PLYWOOD; NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY.
  - APA RATED SHEATHING EIP
- ALL FASTENERS TO BE HOT-DIPPED GALVANIZED STEEL FOR HIGH-HUMIDITY AND TREATED WOOD LOCATIONS.
- PRESSURE TREATMENT OF LUMBER ABOVE GRADE SHALL BE AHPA TREATMENT U1 USING WATERBORNE PRESERVATIVE 0.25 LB/CU FT RETENTION. FOR REQUIRED USE CATEGORY DESIGNATIONS BASED ON SERVICE CONDITIONS. SEE THE AHPA STANDARD U1, TABLE 2-1.
- FASTENINGS (GENERAL): THE NUMBER AND SIZE OF NAILS CONNECTING WOOD MEMBERS SHALL NOT BE LESS THAN THOSE SPECIFIED IN TABLE 2304.10.1 OF THE 7th EDITION (2020) FLORIDA BUILDING CODE WITH ALL CURRENT REVISIONS.
- ALL PRESSURE TREATED WINDOW AND DOOR BUCKS SHALL BE LESS THAN 1-1/2 INCHES. WINDOW AND DOOR ANCHORS SPECIFIED BY MANUFACTURER SHALL BE SECURELY FASTENED INTO THE MASONRY SUBSTRATE.
- ALL WOOD RAFTERS SHALL BE FASTENED TO THEIR SUPPORTS WITH APPROVED HURRICANE CLIPS OR STRAPS.
- CONTRACTOR SHALL ORDER AND INSTALL HURRICANE CLIPS OR STRAPS FOR THE UPLIFT AND LATERAL FORCES SHOWN ON THE SUBMITTED WOOD RAFTER DESIGN CALCULATIONS.
- ALL CONNECTION HARDWARE SHALL BE GALVANIZED AND SUPPLIED BY SIMPSON STRONG-TIE CO. OR APPROVED EQUIVALENT MANUFACTURE.
- ALL CONNECTION HARDWARE IS TO BE FULLY FASTENED PER MANUFACTURER REQUIREMENTS WITH THE MAXIMUM NUMBER AND SIZE OF NAILS OR BOLTS UNLESS OTHERWISE NOTED.

## COLD-FORM STEEL FRAMING:

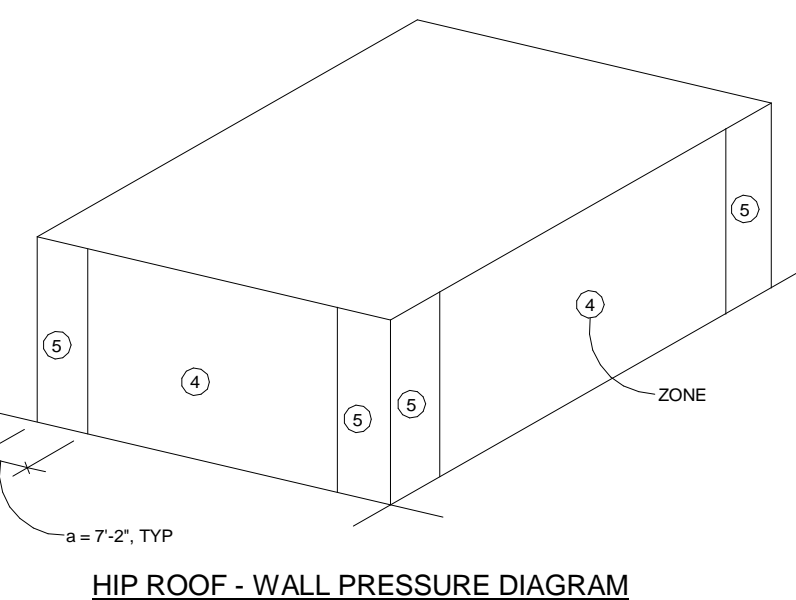
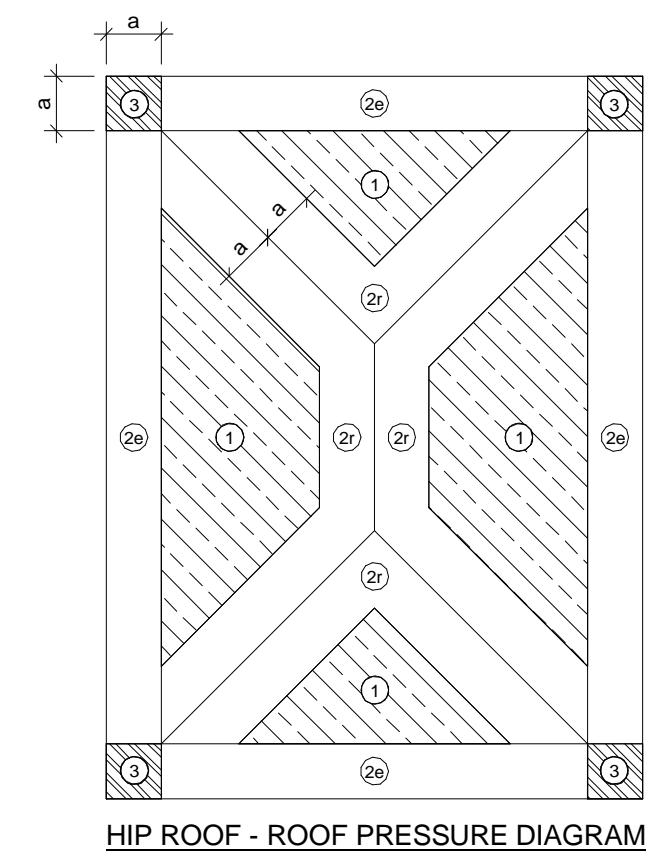
- ALL STEEL FRAMING SHALL CONFORM TO "THE SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS", LATEST EDITION, BY THE AISI.
- WELDED CONNECTIONS SHALL CONFORM TO "CODE FOR WELDING IN BUILDING CONSTRUCTION, D1.0", BY THE AWS.
- ASTM A-568 STANDARD SPECIFICATION FOR GENERAL REQUIREMENTS FOR STEEL CARBON AND HIGH-STRENGTH LOW-ALLOY HOT ROLLED SHEET AND COLD ROLLED SHEET.
- ALL STEEL FRAMING SHALL BE INSTALLED BY PERSONNEL EXPERIENCED IN LIGHT GAUGE STEEL FRAMING INSTALLATION.
- WHERE STEEL FRAMING MEMBERS ARE COMPONENTS OF ASSEMBLIES INDICATED FOR A FIRE-RESISTANCE RATING, INCLUDING THOSE REQUIRED FOR COMPLIANCE WITH GOVERNING REGULATIONS, PROVIDE MEMBERS WHICH HAVE BEEN APPROVED BY GOVERNING AUTHORITIES HAVING JURISDICTION.
- PROTECT LIGHT GAUGE STEEL FRAMING MEMBERS FROM RUSTING AND DAMAGE. DELIVER TO PROJECT SITE IN BUNDLES, FULLY IDENTIFIED WITH NAME, BRAND, TYPE, AND GRADE. STORE OFF GROUND IN A DRY VENTILATED SPACE OR PROTECT WITH SUITABLE WATERPROOF COVERINGS.
- WITH EACH TYPE OF STEEL FRAMING REQUIRED, PROVIDE MANUFACTURER'S STANDARD STEEL RUNNERS (TRACKS), BLOCKING, UNTELS, CLIP ANGLES, BRACING, REINFORCEMENTS, FASTENERS, AND ACCESSORIES AS RECOMMENDED BY MANUFACTURER FOR APPLICATIONS INDICATED, AS NEEDED TO PROVIDE A COMPLETE STEEL FRAMING SYSTEM.
- FABRICATE METAL FRAMING COMPONENTS OF STRUCTURAL QUALITY SHEET STEEL WITH A MINIMUM YIELD POINT OF 50,000 PSI FOR STUDS, AND 33,000 PSI FOR RUNNERS, ASTM A653, L1/C.
- SCREWS SHALL BE AS RECOMMENDED BY MANUFACTURER.
- PROVIDE GALVANIZED FINISH TO METAL FRAMING COMPONENTS COMPLYING WITH ASTM A626 WITH A G60 COATING.
- PROVIDE MANUFACTURER'S STANDARD STRUCTURAL "C" SHAPED STEEL STUDS OF SIZE, SHAPE, AND GAUGE INDICATED, WITH A NOMINAL 1-5/8" FLANGE AND MINIMUM 1/2" FLANGE RETURN LIP BY UNIMAST, INC. OR PRIOR APPROVED EQUIVALENT.
- FRAMING COMPONENTS MAY BE PRE-FABRICATED INTO PANELS PRIOR TO ERECTION. FABRICATE PANELS PLUMB, SQUARE, TRUE-TO-LINE, AND BRACED AGAINST RACKING WITH JOINTS WELDED. PERFORM LIFTING OF PRE-FABRICATED PANELS IN A MANNER TO PREVENT DAMAGE OR DISTORTION.
- INSTALL METAL FRAMING SYSTEMS IN ACCORDANCE WITH MANUFACTURER'S PRINTED OR WRITTEN INSTRUCTIONS AND RECOMMENDATIONS, UNLESS OTHERWISE INDICATED.
- INSTALL CONTINUOUS TRACKS SIZED TO MATCH STUD DEPTH. ALIGN TRACKS ACCURATELY TO LAYOUT AT BASE AND TOPS OF STUDS. SECURE TRACKS AS SHOWN IN DRAWINGS, EXCEPT DO NOT EXCEED 24" ON CENTER SPACING FOR NAIL OR POWER-DRIVEN FASTENERS, OR 16" ON CENTER FOR OTHER TYPES OF ATTACHMENT. PROVIDE FASTENERS AT CORNERS AND ENDS OF TRACKS.
- FRAME BOTH SIDES OF EXPANSION AND CONTROL JOINTS, AS SHOWN FOR THE WALL SYSTEM, WITH SEPARATE STUDS, AND DO NOT BRIDGE THE JOINT WITH COMPONENTS OF THE STUD SYSTEM.
- WHERE REQUIRED, TEMPORARY BRACING SHALL BE PROVIDED UNTIL ERECTION IS COMPLETED.
- RESISTANCE TO BENDING AND ROTATION ABOUT THE MINOR AXIS SHALL BE PROVIDED BY MECHANICAL LATERAL BRACING WHERE REQUIRED.
- ATTACHMENTS OF SIMILAR COMPONENTS SHALL BE DONE BY WELDING, SCREW ATTACHMENT, OR BOLTING. WIRE TYING OF FRAMING COMPONENTS SHALL NOT BE PERMITTED.
- WELDING OF MEMBERS LIGHTER THAN 18 GAUGE SHALL NOT BE PERMITTED. SPLICES SHALL NOT BE PERMITTED.
- MINIMUM NUMBER OF EQUALLY SPACED HORIZONTAL WALL BRIDGING FOR THE HEIGHTS SHOWN:
  - UP TO 10' - 1 ROW
  - 10 TO 14' - 2 ROWS
  - ABOVE 14' - AT 4 CENTERS
- FULLY INSTALL ALL BRIDGING BEFORE APPLYING LOADS.
- FOR WELDED CONNECTIONS, FUSION WELDING IS RECOMMENDED WITH A DIRECT CURRENT WELDER OF 200 OR MORE AMPERE CAPACITY. USE A HEAT OF 60 TO 90 AMPERES (DEPENDING ON THE GAUGE OF METAL) ALONG WITH ASTM E60 ELECTRODES.

## LOAD SCHEDULE:

ROOF:	DEAD LOAD		
	ROOFING	=	7 PSF
	PLYWOOD SHEATHING	=	3 PSF
	ROOF TRUSSES	=	4 PSF
	MECH / ELEC / PLUMBING	=	4 PSF
	MISCELLANEOUS	=	7 PSF
	<b>TOTAL ROOF DEAD LOAD</b>	=	<b>25 PSF</b>
ROOF:	LIVE LOAD	=	20 PSF
BREEZEWAY / STAIR LANDING:	DEAD LOAD		
	2 1/2" (MAX.) L/W CONC. TOPPING	=	24 PSF
	PLYWOOD SHEATHING	=	3 PSF
	FLOOR TRUSSES / FRAMING	=	4 PSF
	MECH / ELEC / PLUMBING	=	3 PSF
	MISCELLANEOUS	=	1 PSF
	<b>TOTAL FLOOR DEAD LOAD</b>	=	<b>35 PSF</b>
BREEZEWAY / STAIR LANDING:	LIVE LOAD	=	40 PSF

## WIND DESIGN DATA:

- CODE USED:**
- 7th EDITION (2020) FLORIDA BUILDING CODE
  - EXPOSURE CLASSIFICATION: "B"
  - BUILDING RISK CATEGORY: "I"
  - ULTIMATE WIND SPEED (Vult): 140 MPH
  - DESIGN WIND SPEED (Vasd): 108.5 MPH
  - INTERNAL PRESSURE COEFFICIENT: ±0.18 - FULLY ENCLOSED
  - ALL WINDOWS AND DOORS MUST HAVE IMPACT RESISTANT PROTECTION AS PER THE 7th EDITION (2020) FLORIDA BUILDING CODE.



HIP ROOF - ROOF PRESSURE DIAGRAM				
GROSS UPLIFT SCHEDULE COMPONENTS AND CLADDING				
EFFECTIVE WIND AREA				
ZONE	10 SF	20 SF	50 SF	100 SF
1	+27 / -62 PSF	+24 / -62 PSF	+18 / -46 PSF	+15 / -37 PSF
2	+27 / -81 PSF	+24 / -73 PSF	+18 / -62 PSF	+15 / -52 PSF
2a 3	+27 / -87 PSF	+24 / -77 PSF	+18 / -67 PSF	+15 / -59 PSF

HIP ROOF - ROOF OVERHANG PRESSURE DIAGRAM				
GROSS UPLIFT SCHEDULE COMPONENTS AND CLADDING				
EFFECTIVE WIND AREA				
ZONE	10 SF	20 SF	50 SF	100 SF
1	-77 PSF	-77 PSF	-71 PSF	-68 PSF
2	-96 PSF	-91 PSF	-87 PSF	-82 PSF
2a	-102 PSF	-98 PSF	-91 PSF	-87 PSF
3	-121 PSF	-109 PSF	-91 PSF	-77 PSF

HIP ROOF - WALL PRESSURE DIAGRAM				
DESIGN COMPONENTS AND CLADDING WIND PRESSURE FOR WALLS, DOORS, & WINDOWS				
EFFECTIVE WIND AREA				
ZONE	10 SF	20 SF	50 SF	100 SF
4	+37 / -40 PSF	+35 / -38 PSF	+32 / -37 PSF	+32 / -35 PSF
5	+37 / -49 PSF	+35 / -46 PSF	+32 / -42 PSF	+31 / -38 PSF

**NOTE:** ALL EXTERIOR DOOR & WINDOW ASSEMBLIES SHALL SATISFY THE REQUIREMENTS IN THE 7th EDITION (2020) FLORIDA BUILDING CODE WITH ANY AND ALL REVISIONS. ALL CONNECTIONS TO THE BUILDING STRUCTURE SHALL HAVE THE CAPACITY TO WITHSTAND THE PRESSURES INDICATED IN THIS SCHEDULE.

**NOTE:** THIS TABLE IS BASED ON THE ULTIMATE WIND SPEED (Vult) FOUND IN THE WIND DESIGN DATA TABLE.

THESE STRUCTURAL DRAWINGS ARE BASED UPON FIELD OBSERVED AS-BUILT CONDITIONS WHERE ACCESS WAS AVAILABLE. AS MORE EXISTING STRUCTURE IS EXPOSED, IF ANY DISCREPANCIES ARE FOUND NOTIFY THE ENGINEER OF RECORD.

REFER TO IBA CONSULTANTS, INC. OAKS AT RIVERVIEW ASSESSMENT REPORT AND RECOMMENDATIONS DATED FEBRUARY 16, 2023 FOR ADDITIONAL INFORMATION REGARDING EXTERIOR STAIR LANDINGS, CORRIDORS, EXTERIOR WALLS AND ROOFING.

No.	Date	Description
1	03/01/2024	Revisions

**FSG** FULLONE STRUCTURAL GROUP, INC.

2253 CENTRAL AVENUE, UNIT #105  
ST. PETERSBURG, FLORIDA 33713  
PHONE: (727) 577-2222  
FAX: (727) 577-2221  
EB: #28152

Project No.: 1236-001

Issued for:	Date:
<input type="checkbox"/> PRELIMINARY	
<input type="checkbox"/> PRICING	
<input type="checkbox"/> BIDDING	
<input type="checkbox"/> PERMIT	
<input type="checkbox"/> CONSTRUCTION	

**STRUCTURAL SPECIFICATIONS**

Project Info:  
Oaks at Riverview Apartments  
Project Street Address:  
7501 N. Florida Ave Tampa, FL 33604

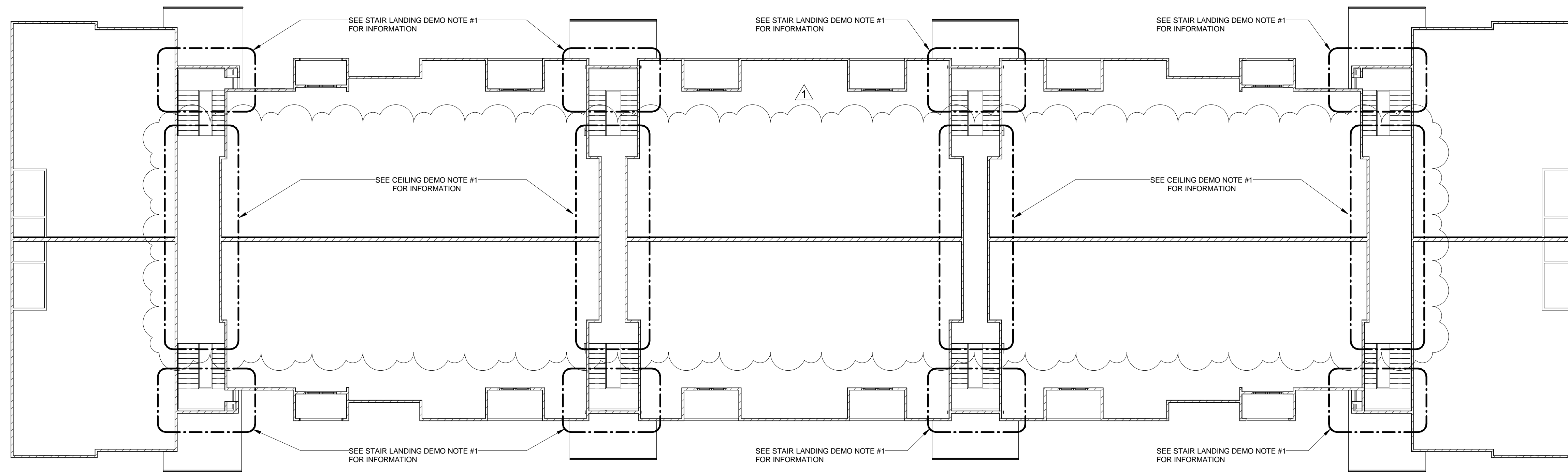
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Project No.: 1236-001

Drawng No:  
**S-101**

Drawn by: AM Checked by:MDB





**P1** SECOND FLOOR CEILING REFLECTIVE DEMOLITION PLAN  
SCALE: 3/32" = 1'-0"

**CEILING DEMO NOTE:**

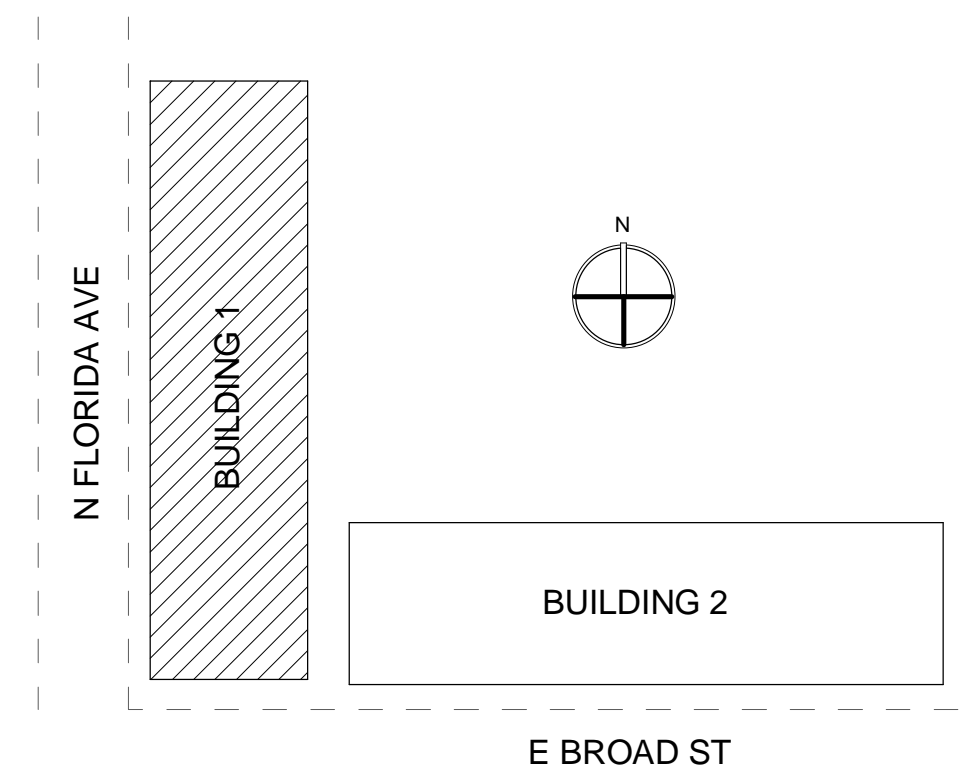
- CONTRACTOR TO FULLY REMOVE EXISTING CEILING FINISH AT ALL FLOORS TO EXPOSE TRUSSES IN BREEZEWAY AND CONTACT E.O.R. TO SURVEY EXISTING STRUCTURE.

**STAIR LANDING DEMO NOTE:**

- CONTRACTOR TO FULLY REMOVE LANDING. FINISH TO EXPOSE EXISTING FRAMING AND CONTACT E.O.R. TO SURVEY EXISTING STRUCTURE.

**DEMOLITION PLAN NOTES:**

- THE DEMOLITION DRAWINGS HAVE BEEN DEVELOPED FROM EXISTING DRAWINGS PROVIDED TO THE ENGINEER OF RECORD BY THE OWNER AND MAY NOT REFLECT ALL ACTUAL FIELD CONDITIONS. PRIOR TO PROCEEDING WITH WORK, THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE DRAWINGS WITH EXISTING FIELD CONDITIONS.
- GENERAL CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES OR STRUCTURAL INTERFERENCE DUE TO EXISTING FIELD CONDITIONS THAT WOULD AFFECT THE EXECUTION OF NEW WORK. CONTRACTOR TO MAINTAIN INTEGRITY OF ALL EXISTING STRUCTURAL ELEMENTS DURING CONSTRUCTION.
- ALL DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL BRACE AND/OR SHORE EXISTING STRUCTURE AND STRUCTURAL ELEMENTS AS NECESSARY PRIOR TO AND DURING DEMOLITION. ALL REQUIRED SHORING IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- AFTER DEMOLITION WORK IS COMPLETED, ALL STRUCTURE TO REMAIN WHICH IS AFFECTED DURING DEMOLITION SHALL BE REPAIRED TO ORIGINAL STRUCTURAL INTEGRITY.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFE AND LAWFUL DISPOSAL OF ALL MATERIALS REMOVED DURING DEMOLITION.



THESE STRUCTURAL DRAWINGS ARE BASED UPON FIELD OBSERVED AS-BUILT CONDITIONS WHERE ACCESS WAS AVAILABLE. AS MORE EXISTING STRUCTURE IS EXPOSED, IF ANY DISCREPANCIES ARE FOUND NOTIFY THE ENGINEER OF RECORD.

REFER TO IBA CONSULTANTS, INC. OAKS AT RIVERVIEW ASSESSMENT REPORT AND RECOMMENDATIONS DATED FEBRUARY 16, 2023 FOR ADDITIONAL INFORMATION REGARDING EXTERIOR STAIR LANDINGS, CORRIDORS, EXTERIOR WALLS AND ROOFING.

No.	Date	Description
1	03/01/2023	Revisions

**FULLONE STRUCTURAL GROUP, INC**  
**FSG**  
 2253 CENTRAL AVENUE, UNIT #105  
 ST. PETERSBURG, FLORIDA 33713  
 PHONE: (727) 577-2222  
 FAX: (727) 577-2221  
 EB: #28152  
 Project No.: 1236-001

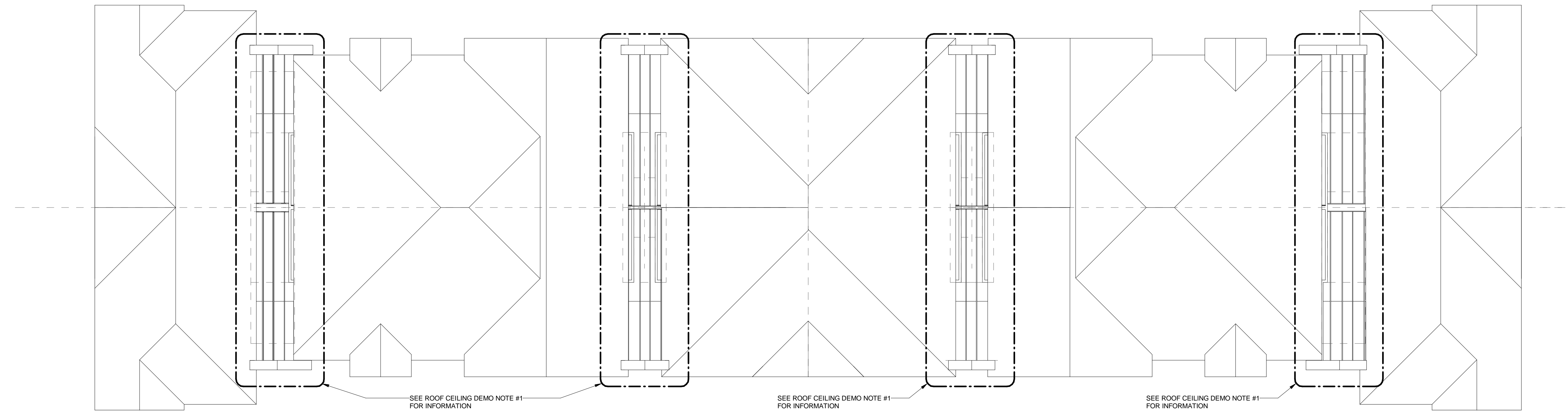
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SECOND FLOOR REFLECTIVE CEILING DEMOLITION PLAN  
**Project Info:**  
 Oaks at Riverview Apartments  
 Project Street Address:  
 7501 N. Florida Ave Tampa, FL 33604

Seal

Project No.: 1236-001  
 Drawing No:  
**S-201**  
 Drawn by: AM Checked by: MDB

BID SET DATE ISSUED: 03/03/2023



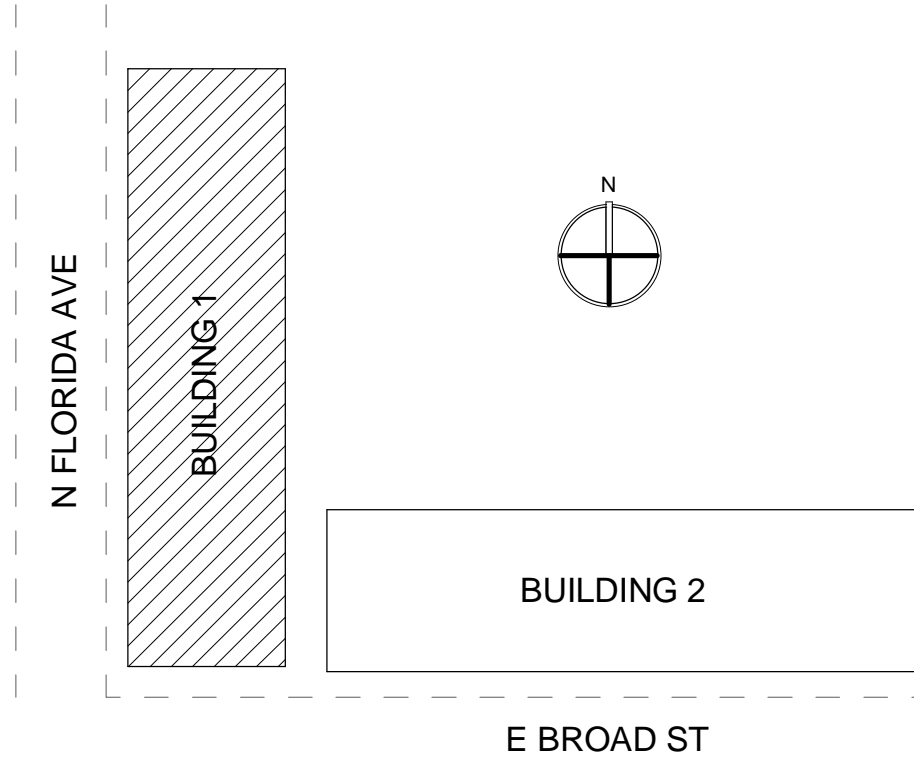
**P2** THIRD FLOOR REFLECTED CEILING  
DEMOLITION PLAN  
SCALE: 3/32" = 1'-0"

**ROOF CEILING DEMO NOTE:**

1. CONTRACTOR TO FULLY REMOVE EXISTING CEILING FINISH TO EXPOSE ROOF TRUSSES IN BREEZEWAY AND CONTACT E.O.R. TO SURVEY EXISTING STRUCTURE.

**DEMOLITION PLAN NOTES:**

1. THE DEMOLITION DRAWINGS HAVE BEEN DEVELOPED FROM EXISTING DRAWINGS PROVIDED TO THE ENGINEER OF RECORD BY THE OWNER AND MAY NOT REFLECT ALL ACTUAL FIELD CONDITIONS. PRIOR TO PROCEEDING WITH WORK, THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE DRAWINGS WITH EXISTING FIELD CONDITIONS.
2. GENERAL CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES OR STRUCTURAL INTERFERENCE DUE TO EXISTING FIELD CONDITIONS THAT WOULD AFFECT THE EXECUTION OF NEW WORK. CONTRACTOR TO MAINTAIN INTEGRITY OF ALL EXISTING STRUCTURAL ELEMENTS DURING CONSTRUCTION.
3. ALL DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL AUTHORITIES HAVING JURISDICTION.
4. THE CONTRACTOR SHALL BRACE AND/OR SHORE EXISTING STRUCTURE AND STRUCTURAL ELEMENTS AS NECESSARY PRIOR TO AND DURING DEMOLITION. ALL REQUIRED SHORING IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
5. AFTER DEMOLITION WORK IS COMPLETED, ALL STRUCTURE TO REMAIN WHICH IS AFFECTED DURING DEMOLITION SHALL BE REPAIRED TO ORIGINAL STRUCTURAL INTEGRITY.
6. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFE AND LAWFUL DISPOSAL OF ALL MATERIALS REMOVED DURING DEMOLITION.



THESE STRUCTURAL DRAWINGS ARE BASED UPON FIELD OBSERVED AS-BUILT CONDITIONS WHERE ACCESS WAS AVAILABLE. AS MORE EXISTING STRUCTURE IS EXPOSED, IF ANY DISCREPANCIES ARE FOUND NOTIFY THE ENGINEER OF RECORD.

REFER TO IBA CONSULTANTS, INC. OAKS AT RIVERVIEW ASSESSMENT REPORT AND RECOMMENDATIONS DATED FEBRUARY 16, 2023 FOR ADDITIONAL INFORMATION REGARDING EXTERIOR STAIR LANDINGS, CORRIDORS, EXTERIOR WALLS AND ROOFING.

No.	Date	Description
1	03/01/2023	Revisions

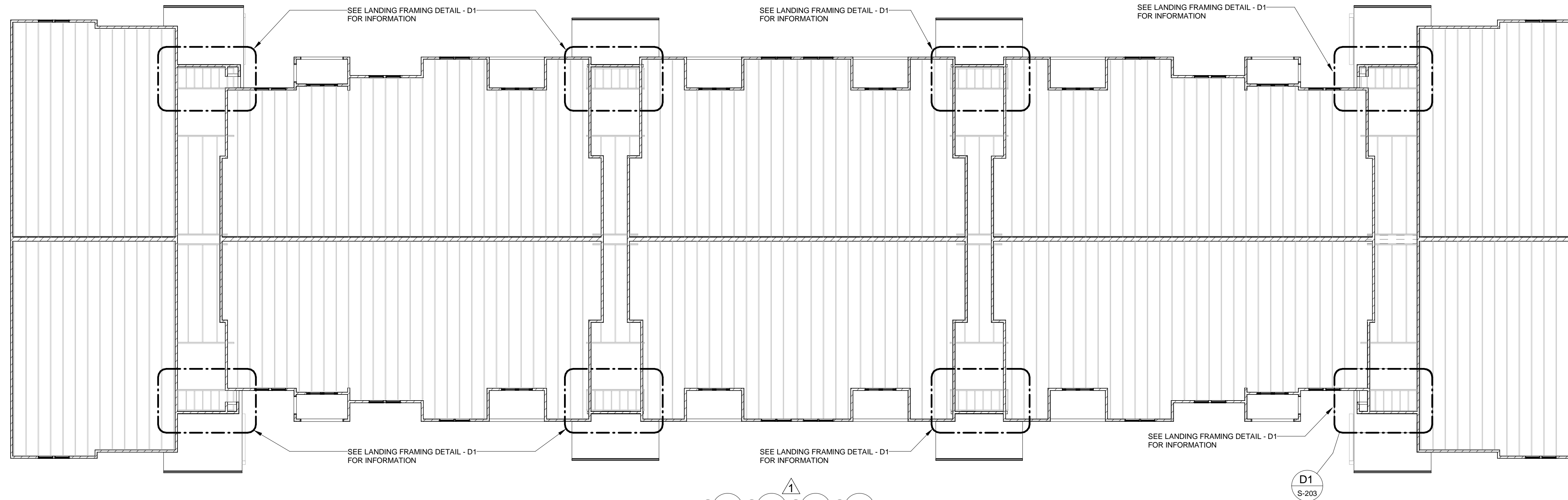
**FSG** FULLONE STRUCTURAL GROUP, INC.  
2253 CENTRAL AVENUE, UNIT #105  
ST. PETERSBURG, FLORIDA 33713  
PHONE: (727) 577-2222  
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EB: #28152  
Project No.: 1236-001

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<input type="checkbox"/> CONSTRUCTION	

Drawing Title: **THIRD FLOOR REFLECTED CEILING DEMOLITION PLAN**  
**Project Info:**  
Oaks at Riverview Apartments  
**Project Street Address:**  
7501 N. Florida Ave Tampa, FL 33604

Seal

Project No.: 1236-001  
Drawing No.: **S-202**  
Drawn by: AM Checked by: MDB

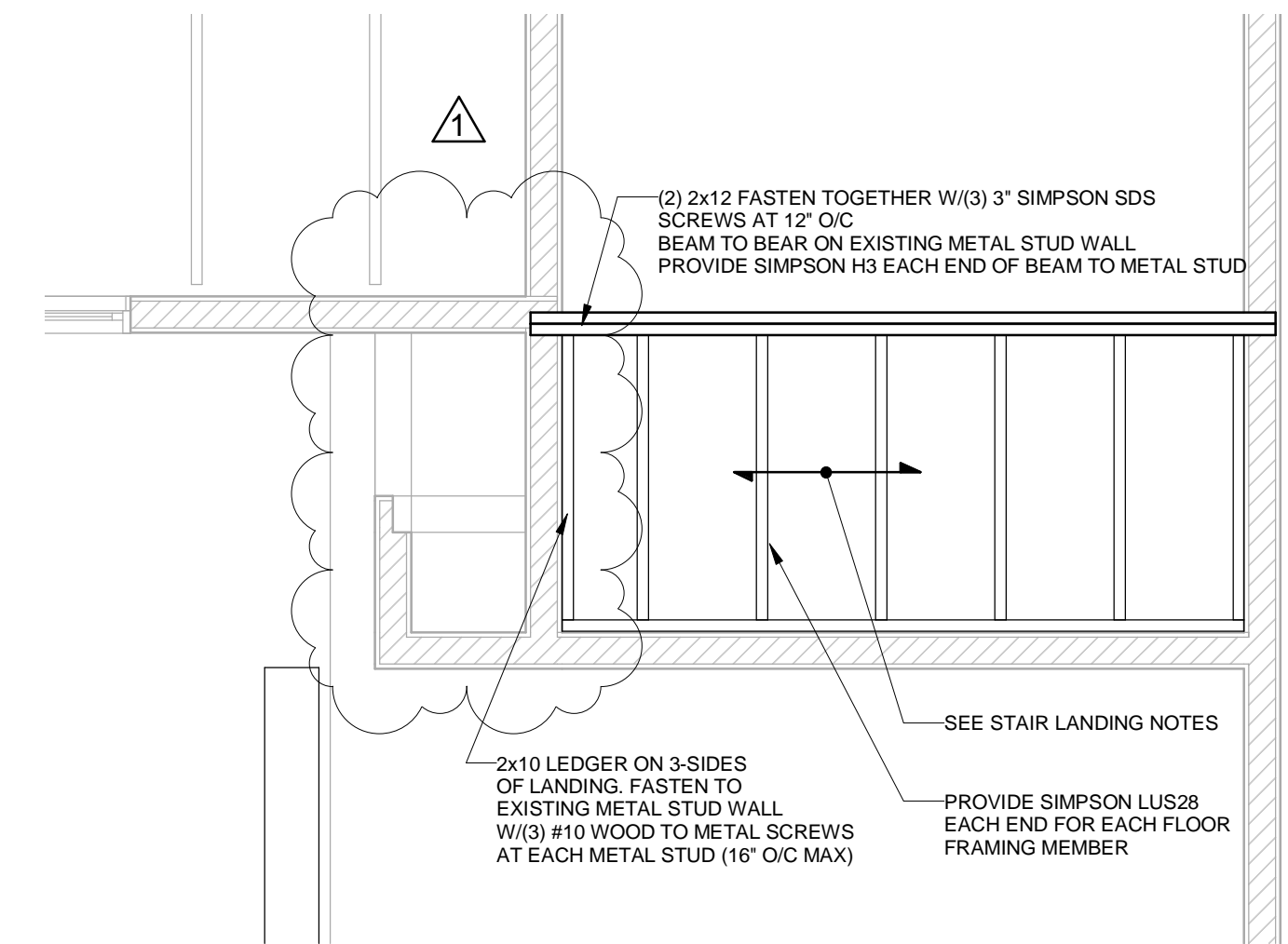


**P3** THIRD FLOOR FRAMING PLAN  
SCALE: 3/32" = 1'-0"

FOR CEILING REPLACEMENT INFORMATION  
SEE ARCHITECTURAL DRAWINGS

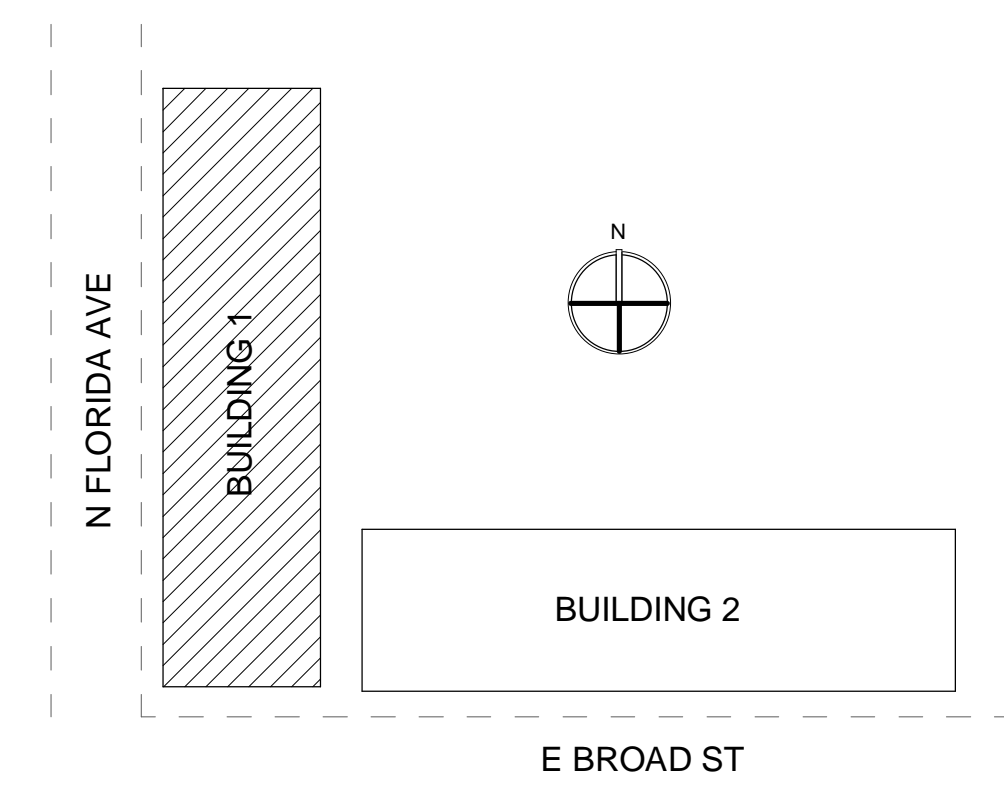
**NOTE:**  
LANDING FRAMING DETAIL D1 SHALL NOT BE USED UNTIL APPROVED BY E.O.R. AFTER A VISUAL SURVEY OF EACH EXPOSED LANDING IS COMPLETED.

- STAIR LANDING NOTES:**
- STAIR LANDING FLOOR FRAMING SHALL BE 2x10 FLOOR MEMBERS SPACED AT 16" O/C WITH 3/4" THICK (CDX) EXTERIOR GRADE PLYWOOD SHEATHING GLUED AND SCREWED TO TOP CHORD OF FLOOR MEMBERS. PROVIDE PLI-DECK TOPPING FINISH. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - PLYWOOD TO BE FASTENED TO FLOOR MEMBERS WITH 10D COMMON NAILS AT 4" O/C. SEE TYPICAL DETAIL ON S-301.
  - ALL STRUCTURAL WOOD FRAMING EXPOSED TO WEATHER SHALL BE PRESSURE TREATED SOUTHERN YELLOW PINE NO. 2 OR BETTER, UNLESS NOTED OTHERWISE.



**D1** LANDING FRAMING DETAIL  
SCALE: 1/2" = 1'-0"

FINISHED SURFACE OF NEW LANDING TO MATCH ELEVATION OF EXISTING LANDING FINISHED SURFACE.



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REFER TO IBA CONSULTANTS, INC. OAKS AT RIVERVIEW ASSESSMENT REPORT AND RECOMMENDATIONS DATED FEBRUARY 16, 2023 FOR ADDITIONAL INFORMATION REGARDING EXTERIOR STAIR LANDINGS, CORRIDORS, EXTERIOR WALLS AND ROOFING.

No.	Date	Description
1	03/01/2023	Revised

**FSG** FULLONE STRUCTURAL GROUP, INC.  
2253 CENTRAL AVENUE, UNIT #105  
ST. PETERSBURG, FLORIDA 33713  
PHONE: (727) 577-2222  
FAX: (727) 577-2221  
EB: #28152  
Project No.: 1236-001

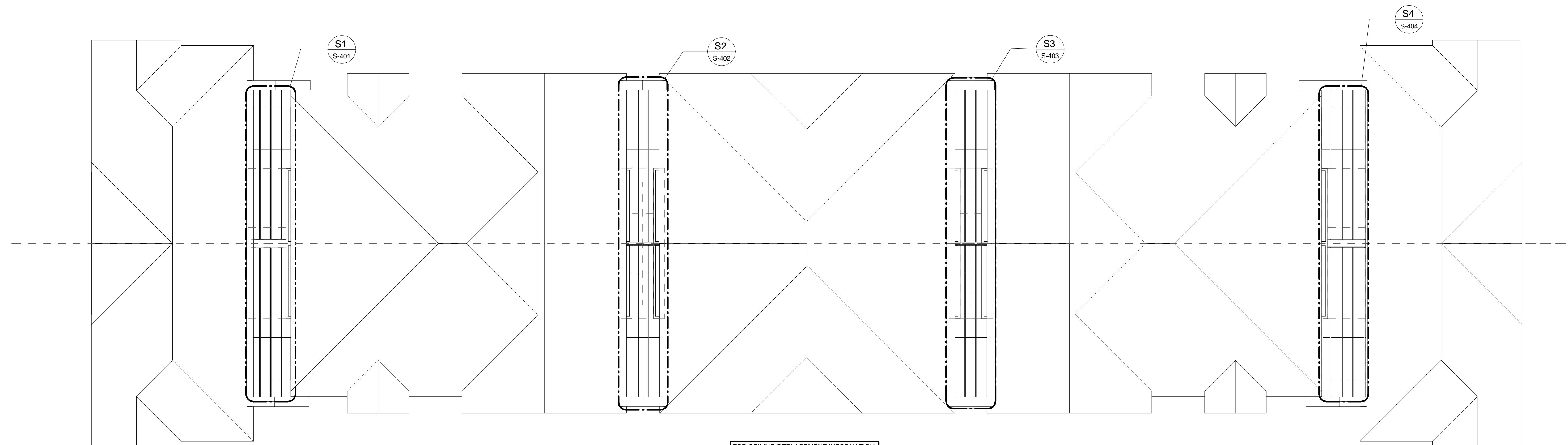
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<input type="checkbox"/> CONSTRUCTION	

Project Info:  
Oaks at Riverview Apartments  
Project Street Address:  
7501 N. Florida Ave Tampa, FL 33604

Seal

Project No.: 1236-001  
Drawing No.: **S-203**  
Drawn by: AM Checked by: MDB

BID SET DATE ISSUED: 03/03/2023



EXISTING ROOF TOP UNITS AND STANDS ON THE FLAT ROOF AREA NOT SHOWN FOR CLARITY. REFER TO TAMPA HOUSING AUTHORITY FOR REQUIREMENTS FOR REPLACEMENT OF ANY UNITS. DURING ROOFING REPLACEMENT REMOVE EXISTING UNITS AND STANDS. EXISTING STANDS CAN BE RE-USED IF IN GOOD CONDITION. IF EXISTING STANDS ARE DAMAGED OR IF ADDITIONAL STANDS ARE REQUIRED PROVIDE PRE-ENGINEERED/PRE-FABRICATED ALUMINUM STANDS THAT HAVE A FLORIDA PRODUCT APPROVAL.

FOR CEILING REPLACEMENT INFORMATION SEE ARCHITECTURAL DRAWINGS

**P3** THIRD FLOOR REFLECTED CEILING/ROOF PLAN  
SCALE: 3/32" = 1'-0"

**ROOF PLAN NOTES:**

1. DURING RE-ROOFING, IF DAMAGE TO THE ROOF SHEATHING IS DISCOVERED ON THE SLOPED ROOF AREAS OF THE BUILDING, REMOVE AND REPLACE WITH 5/8"(CDX) EXTERIOR GRADE EXPOSURE 1 PLYWOOD SHEATHING. FOR NAILING PATTERN SEE "HIP ROOF SHEATHING - NAILING SCHEDULE" ON SHEET S-301.
2. AT SLOPED ROOF AREAS, EXISTING DRAWINGS CALL FOR 7/16" SHEATHING. PER CURRENT CODE 5/8" SHEATHING IS REQUIRED. IF THERE ARE ISSUES WITH THICKNESS DIFFERENCES IN THE FIELD, ADDITIONAL EXISTING SHEATHING MAY NEED TO BE REMOVED AND REPLACED WITH THE NEW 5/8" SHEATHING.
3. AT FLAT ROOF AREAS OVER BREEZEWAYS, PROVIDE (2) LAYERS OF 3/4" (CDX) EXTERIOR GRADE EXPOSURE 1 PLYWOOD SHEATHING. FOR NAILING PATTERN SEE "FLAT ROOF SHEATHING - NAILING SCHEDULE" ON SHEET S-301.
4. PLYWOOD IS TO BE NAILED TO NEW REPAIR MEMBERS AT REPAIRED TOP CHORD LOCATIONS.

- IF IT IS DETERMINED THAT IN-FIELD REPAIRS OF TRUSSES IS NOT POSSIBLE PER THESE DRAWINGS DUE TO SPACE RESTRICTIONS OR ANY OTHER REASON, THEN A REMOVAL OF THE EXISTING ROOF TRUSS AND THE INSTALLATION OF A NEW ROOF TRUSS WILL BE REQUIRED.

- IF DURING DEMOLITION AND/OR TRUSS REPAIR ANY ADDITIONAL DAMAGE (WATER/INSECT) IS FOUND THAT IS NOT WITHIN AN AREA OF REPAIR PER THESE DRAWINGS, NOTIFY THE E.O.R. TO PERFORM A SITE VISIT TO SURVEY THE DAMAGE.

- CONTRACTOR TO SHORE ROOF AS NEEDED TO REMOVE ANY SAG/DEFLECTION FROM EXISTING ROOF TRUSSES PRIOR TO INSTALLING TRUSS REPAIRS.

- AFTER REPAIRS ARE COMPLETE, CONTACT THE E.O.R. TO PERFORM A SITE VISIT TO VIEW REPAIRS PRIOR TO COVERING.

THESE STRUCTURAL DRAWINGS ARE BASED UPON FIELD OBSERVED AS-BUILT CONDITIONS WHERE ACCESS WAS AVAILABLE. AS MORE EXISTING STRUCTURE IS EXPOSED, IF ANY DISCREPANCIES ARE FOUND NOTIFY THE ENGINEER OF RECORD.

REFER TO IBA CONSULTANTS, INC. OAKS AT RIVERVIEW ASSESSMENT REPORT AND RECOMMENDATIONS DATED FEBRUARY 16, 2023 FOR ADDITIONAL INFORMATION REGARDING EXTERIOR STAIR LANDINGS, CORRIDORS, EXTERIOR WALLS AND ROOFING.

No.	Date	Description
1	03/01/2023	Revisions

**FSG** FULLONE STRUCTURAL GROUP, INC.  
2253 CENTRAL AVENUE, UNIT #105  
ST. PETERSBURG, FLORIDA 33713  
PHONE: (727) 577-2222  
FAX: (727) 577-2221  
EB: #28152  
Project No.: 1236-001

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<input type="checkbox"/> BIDDING	
<input type="checkbox"/> PERMIT	
<input type="checkbox"/> CONSTRUCTION	

THIRD FLOOR REFLECTED CEILING/ROOF PLAN  
**Project Info:**  
Oaks at Riverview Apartments  
**Project Street Address:**  
7501 N. Florida Ave Tampa, FL 33604

Seal

Project No.: 1236-001

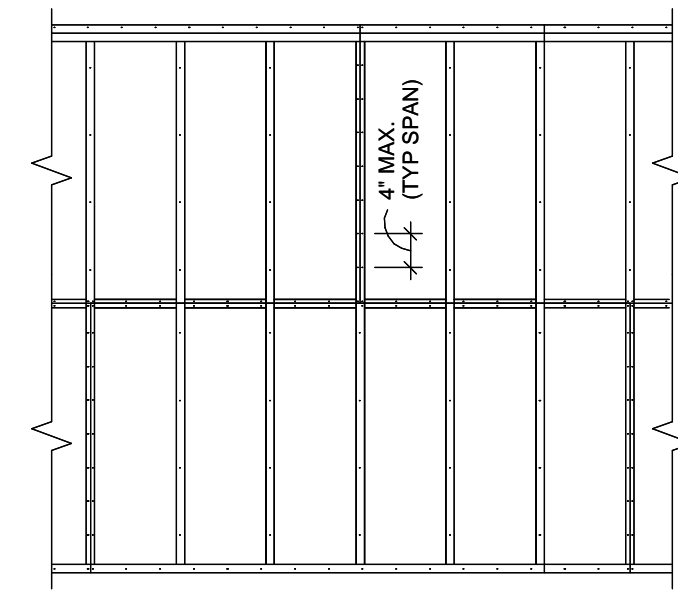
Drawing No. **S-204**  
Drawn by: AM Checked by: MDB

BID SET DATE ISSUED: 03/03/2023

FASTENER SCHEDULE		
CONNECTION	FASTENER	NO. OR SPACING
BAND JOIST TO SILL OR TOP PLATE, TOE NAIL	8d	6 IN. O.C.
JOIST TO BAND JOIST, FACE NAIL	16d COMMON	3
JOIST TO SILL OR GRIDER, TOE NAIL	8d COMMON	3
BRIDGING TO JOIST, TOE NAIL EACH END	8d COMMON	2
LEDGER STRIP	16d COMMON	3 @ EACH JOIST
1x6 OR LESS SUBFLOOR TO EACH JOIST, FACE NAIL	8d COMMON	2
OVER 1x6 SUBFLOOR TO EACH JOIST, FACE NAIL	8d COMMON	3
2-INCH SUBFLOOR TO JOIST OR GRIDER, BLIND & FACE NAIL	16d COMMON	2
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d COMMON	16 IN. O.C.
TOP OR SOLE PLATE TO STUD, END NAIL	16d COMMON	2
STUD TO SOLE PLATE, TOE NAIL	8d COMMON	4
DOUBLE STUDS, FACE NAIL	10d COMMON	24 IN. O.C.

FASTENER SCHEDULE (CONT.)		
CONNECTION	FASTENER	NO. OR SPACING
DOUBLE TOP PLATES, FACE NAIL	10d COMMON	16 IN. O.C.
TOP PLATES, LAP & INTERSECTIONS FACE NAIL	--	2-16d OR 3-10d COMMON
CONTINUOUS HEADER, TWO PIECES	16d COMMON	16 IN. O.C. ALONG EA. EDGE
CEILING JOIST TO PLATE, TOE NAIL	8d COMMON	3
CONTINUOUS HEADER TO STUD, TOE NAIL	8d COMMON	3
CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL	--	3-16d OR 4-10d COMMON
CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL	--	3-16d OR 4-10d COMMON
RAFTER TO PLATE, TOE NAIL	8d COMMON	3
1-INCH BRACE TO EACH STUD & PLATE, FACE NAIL	8d COMMON	2
5:1 RATIO PROVIDE BLOCKING AT END BAYS, TYPICAL	--	--
OVER 1x8 SHEATHING TO EACH BEARING, FACE NAIL	8d COMMON	3
BUILT-UP CORNER STUDS	16d COMMON	24 IN. O.C.

FASTENER SCHEDULE (CONT.)		
CONNECTION	FASTENER	NO. OR SPACING
BUILT-UP GRIDERS & BEAMS OF THREE MEMBERS	20d COMMON	32 IN. O.C. @ TOP & BOTTOM AND STAGGERED 2 ENDS & @ EACH SPLICE
LAP JOIST 3" ON BEAMS	--	--
STUDS TO SOLE PLATE, END NAIL	16d COMMON	2 EACH END
SHEATHING - SUBFLOORING	8d COMMON	6d OR 12d COMMON
SHEATHING - WALL	8d COMMON	6d OR 12d COMMON
SHEATHING - ROOF	8d COMMON	6d COMMON

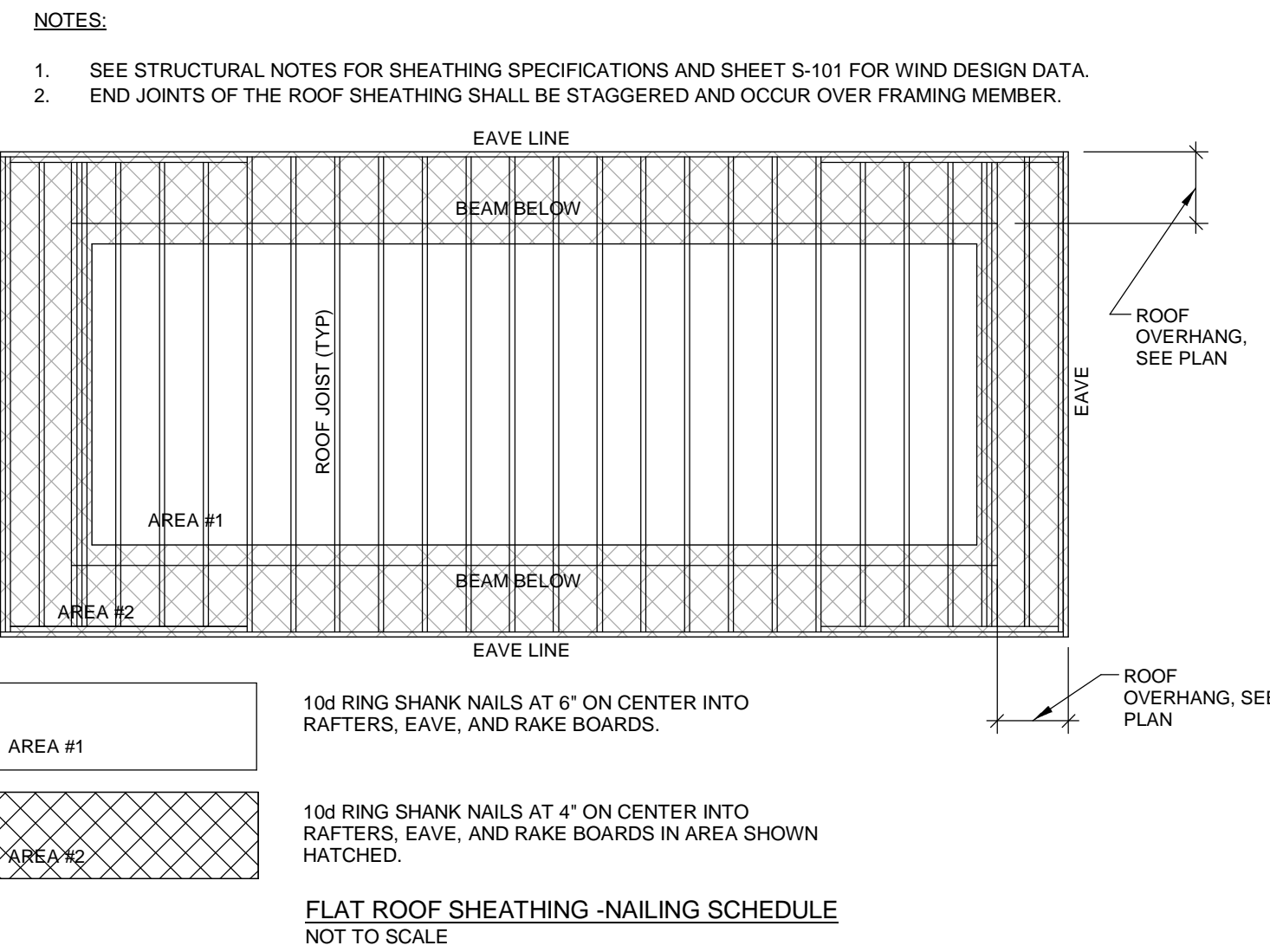


- NOTES:
- SEE STRUCTURAL NOTES FOR DECKING SPECIFICATIONS.
  - END JOINTS OF THE WALL SHEATHING SHALL BE STAGGERED AND OCCUR OVER FRAMING MEMBER.
  - PROVIDE INTERMEDIATE BLOCKING AT JOINT LOCATIONS WHERE NO FRAMING OCCURS.
  - CONTINUOUSLY GLUE DECKING TO FLOOR TRUSS.
  - DECKING & NAILING SCHEDULE:
- 15/32" 10d COMMON NAILS @ 4" OC @ PANEL EDGES.  
19/32" 10d COMMON NAILS @ 4" OC @ INTERMEDIATE SUPPORT.

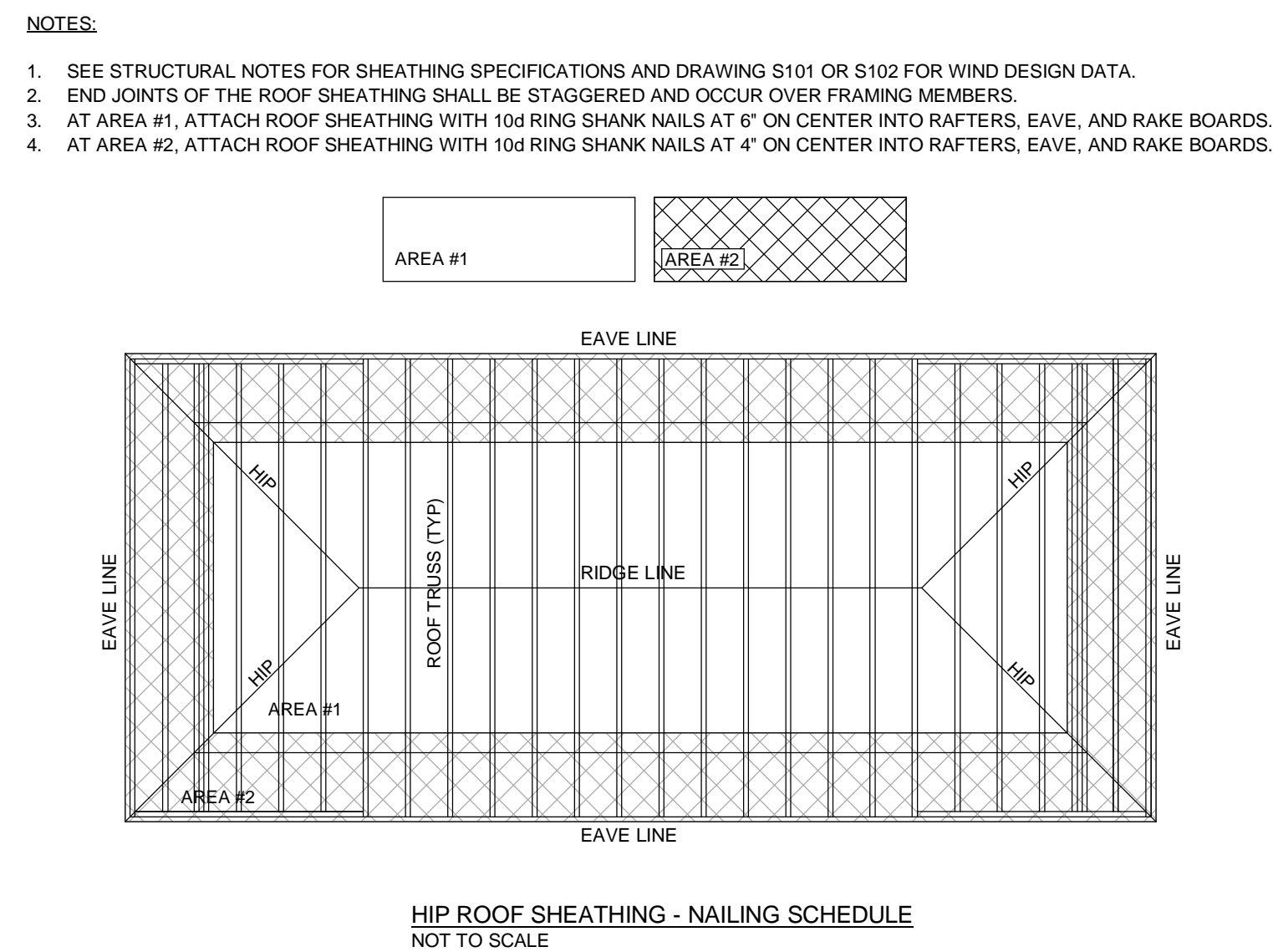
FLOOR DECKING ATTACHMENT SCHEDULE:  
NOT TO SCALE

NOTE:  
IN CASE OF CONFLICT BETWEEN INFORMATION SHOWN ON THIS DRAWING, SECTION DRAWINGS, OR ARCHITECTURAL DRAWINGS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO INFORM THE ARCHITECT AND ENGINEER OF SUCH CONFLICT IN ORDER TO RECEIVE A CLARIFICATION BEFORE PROCEEDING TO WORK. DIMENSIONS, SIZES, AND REINFORCEMENT OF STRUCTURAL ELEMENTS SHOWN IN THIS DRAWING ARE MINIMUM TO BE USED UNLESS NOTED OTHERWISE (U.N.O.) IN PLANS.

FLAT ROOF SHEATHING - NAILING SCHEDULE



HIP ROOF SHEATHING - NAILING SCHEDULE



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No.	Date	Description
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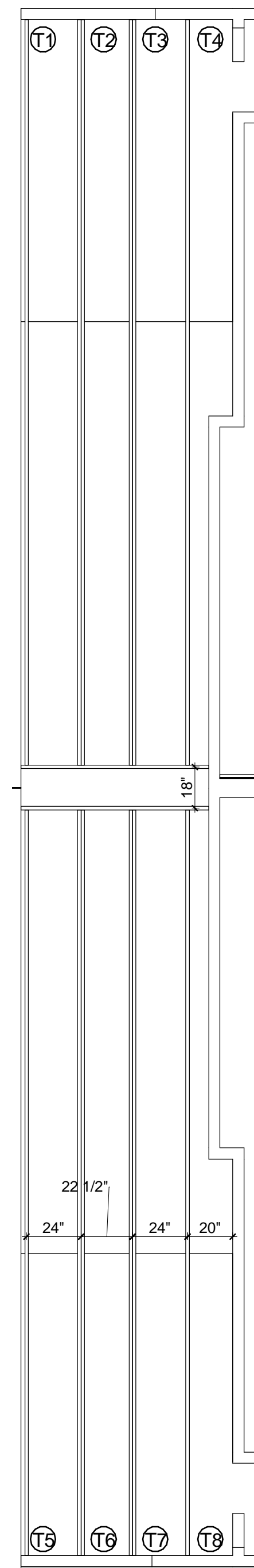
**FSG** FULLONE STRUCTURAL GROUP, INC.  
2253 CENTRAL AVENUE, UNIT #105  
ST. PETERSBURG, FLORIDA 33713  
PHONE: (727) 577-2222  
FAX: (727) 577-2221  
EB: #28152  
Project No.: 1236-001

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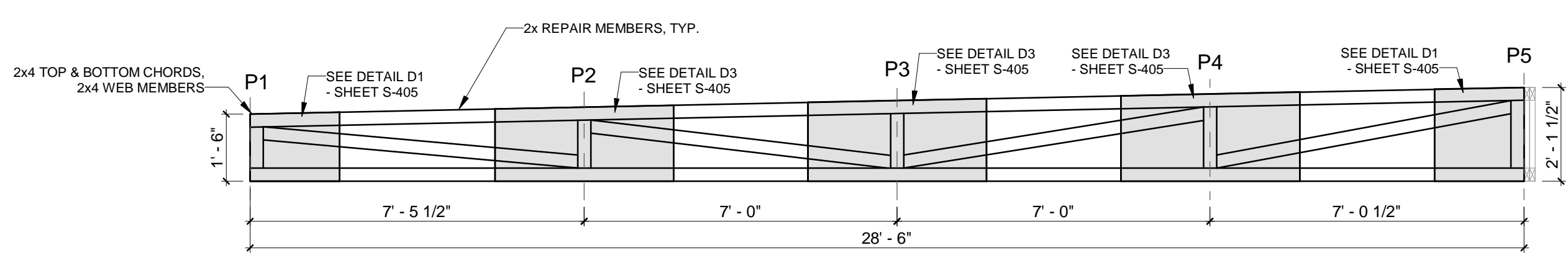
TYPICAL DETAILS  
Project Info:  
Oaks at Riverview Apartments  
Project Street Address:  
7501 N. Florida Ave Tampa, FL 33604

Seal

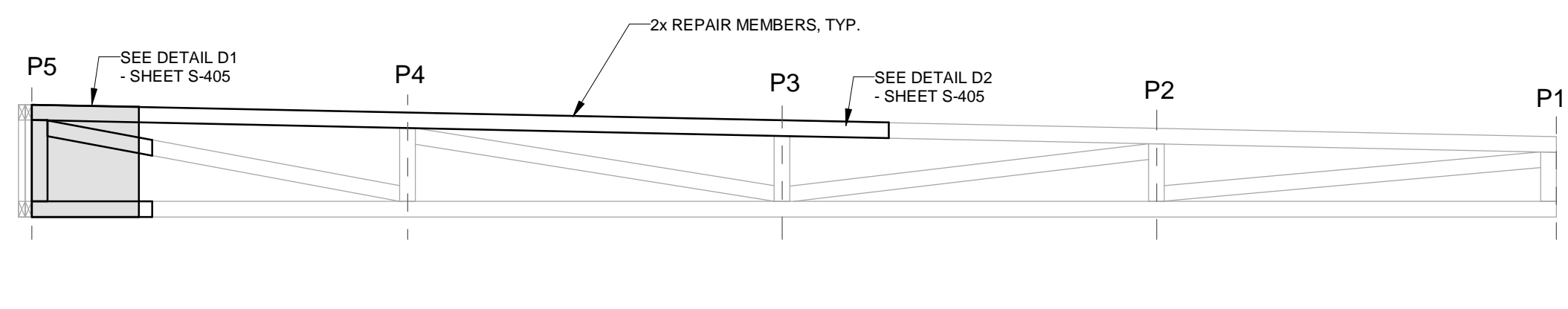
Project No.: 1236-001  
Drawing No:  
**S-301**  
Drawn by: AM Checked by: MDB



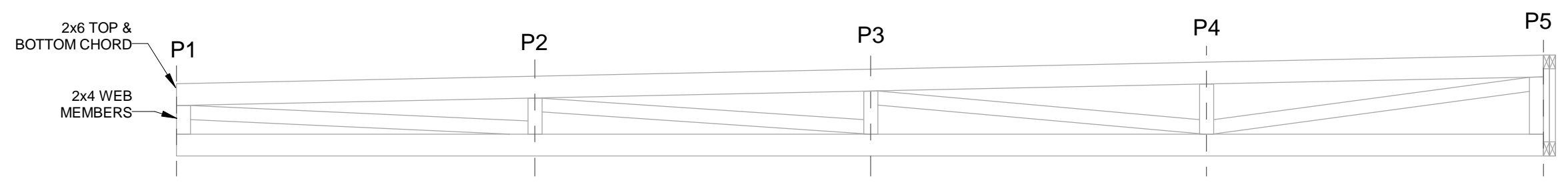
**S1** THIRD FLOOR REFLECTED CEILING/ROOF PLAN - CALLOUT 1  
SCALE: 1/4" = 1'-0"



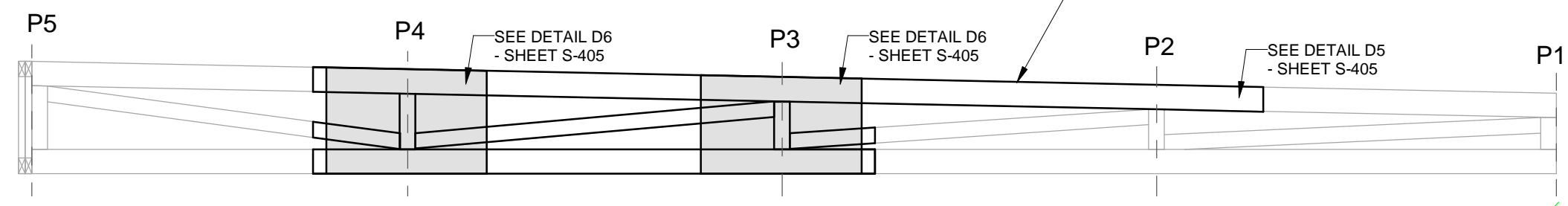
**T1** Truss T1 Repair Detail  
SCALE: 3/8" = 1'-0"  
(APPLY REPAIR TO ONE SIDE OF TRUSS)  
DIMENSION PROVIDED IN 'T1' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



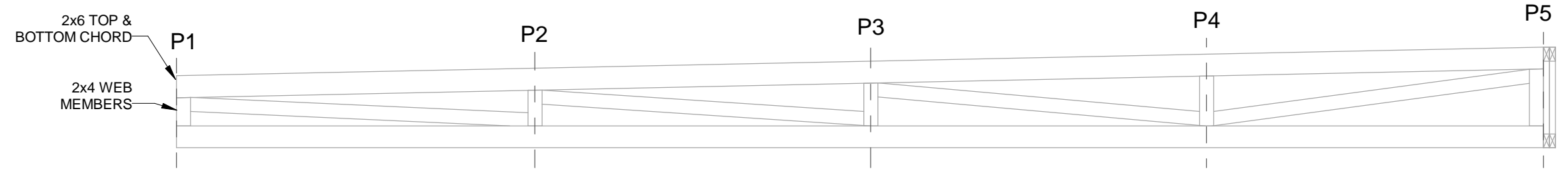
**T5** Truss T5 Repair Detail  
SCALE: 3/8" = 1'-0"  
(APPLY REPAIR TO ONE SIDE OF TRUSS)  
DIMENSION PROVIDED IN 'T1' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



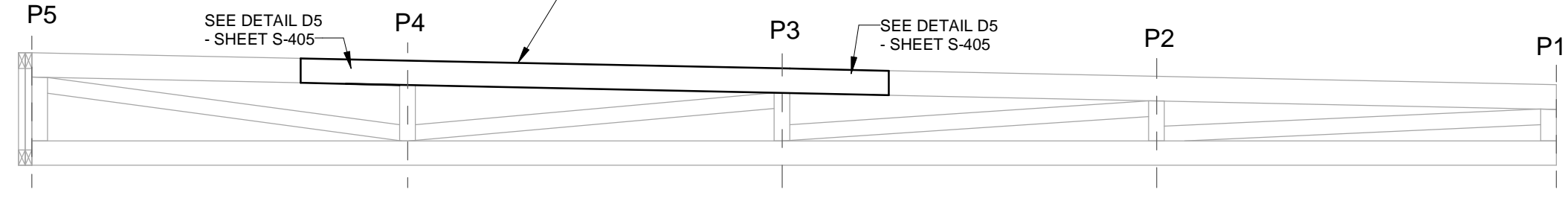
**T2** Truss T2 Repair Detail  
SCALE: 3/8" = 1'-0"  
(APPLY REPAIR TO BOTH SIDES OF TRUSS)  
DIMENSION PROVIDED IN 'T1' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



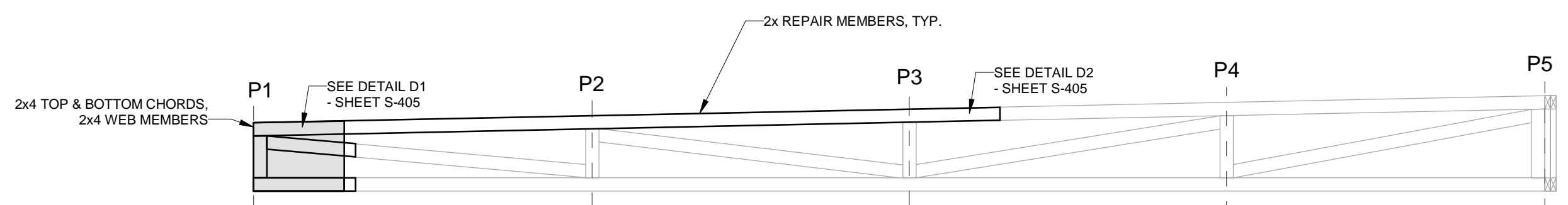
**T6** Truss T6 Repair Detail  
SCALE: 3/8" = 1'-0"  
(APPLY REPAIR TO BOTH SIDES OF TRUSS)  
DIMENSION PROVIDED IN 'T1' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



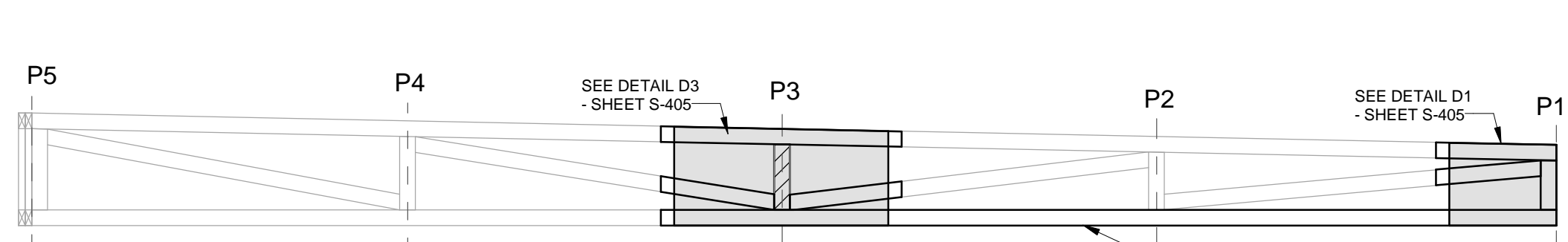
**T3** Truss T3 Repair Detail  
SCALE: 3/8" = 1'-0"  
(APPLY REPAIR TO BOTH SIDES OF TRUSS)  
DIMENSION PROVIDED IN 'T1' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



**T7** Truss T7 Repair Detail  
SCALE: 3/8" = 1'-0"  
(APPLY REPAIR TO BOTH SIDES OF TRUSS)  
DIMENSION PROVIDED IN 'T1' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



**T4** Truss T4 Repair Detail  
SCALE: 3/8" = 1'-0"  
(APPLY REPAIR TO ONE SIDE OF TRUSS)  
DIMENSION PROVIDED IN 'T1' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



**T8** Truss T8 Repair Detail  
SCALE: 3/8" = 1'-0"  
(APPLY REPAIR TO ONE SIDE OF TRUSS)  
DIMENSION PROVIDED IN 'T1' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

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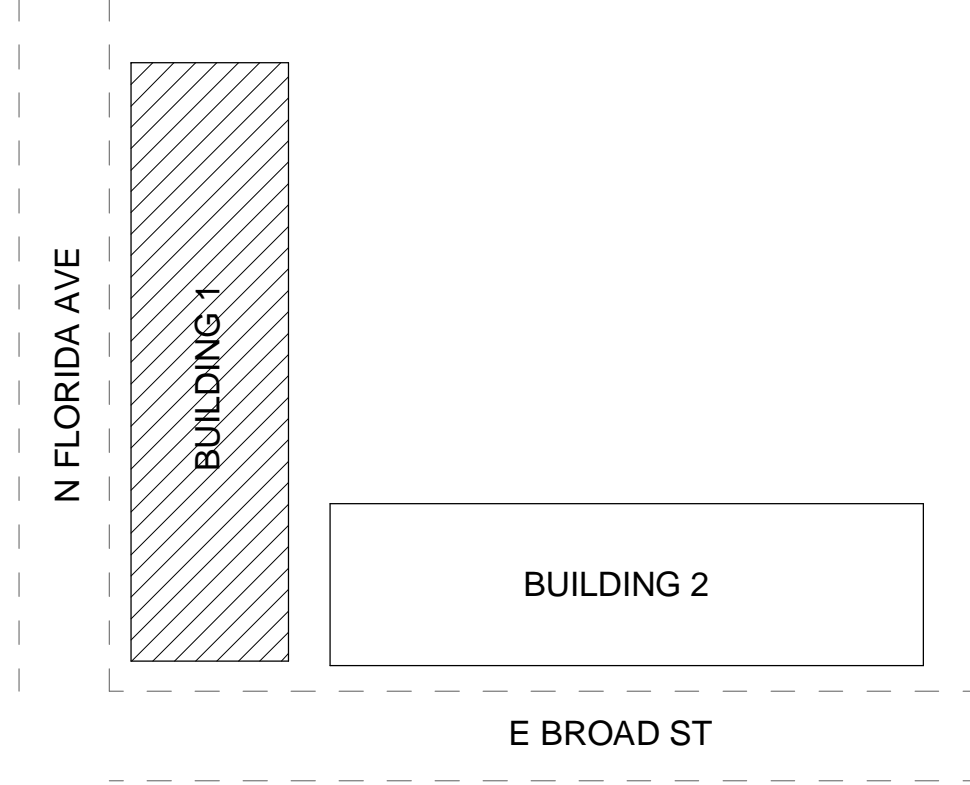
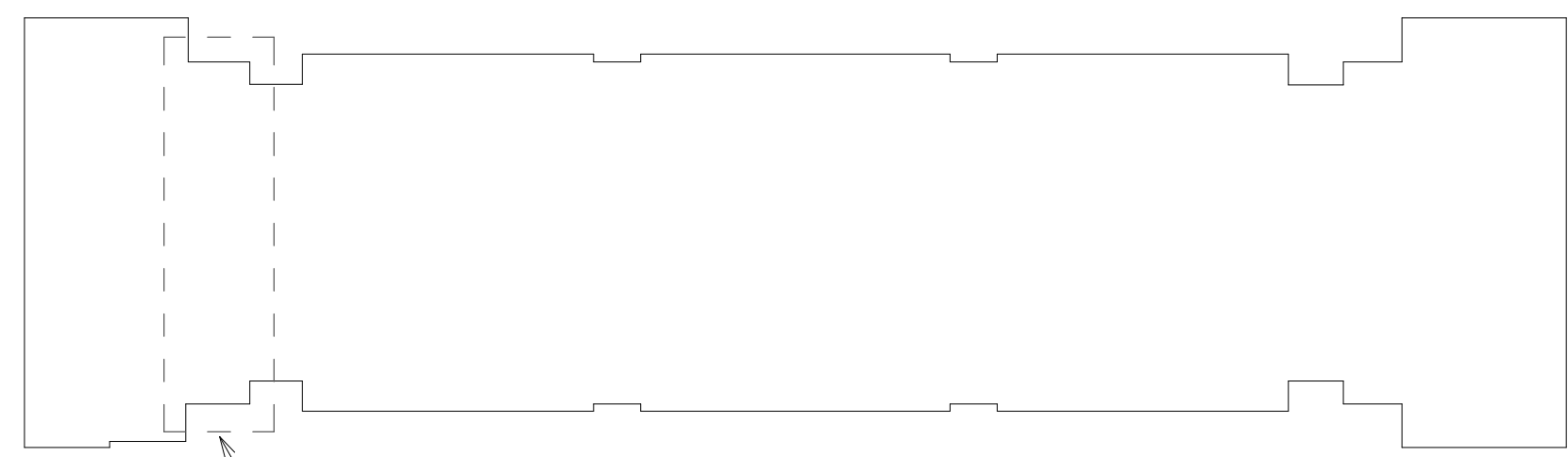
- IF DURING DEMOLITION AND/OR TRUSS REPAIR ANY ADDITIONAL DAMAGE (WATER/INSECT) IS FOUND THAT IS NOT WITHIN AN AREA OF REPAIR PER THESE DRAWINGS, NOTIFY THE E.O.R. TO PERFORM A SITE VISIT TO SURVEY THE DAMAGE.

- CONTRACTOR TO SHORE ROOF AS NEEDED TO REMOVE ANY SAG/DEFLECTION FROM EXISTING ROOF TRUSSES PRIOR TO INSTALLING TRUSS REPAIRS.

- AFTER REPAIRS ARE COMPLETE, CONTACT THE E.O.R. TO PERFORM A SITE VISIT TO VIEW REPAIRS PRIOR TO COVERING.

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REVISIONS	Description
No. 1	03/01/2023 Repairs

**FULLONE STRUCTURAL GROUP, INC**  
**FSG**  
2253 CENTRAL AVENUE, UNIT #105  
ST. PETERSBURG, FLORIDA 33713  
PHONE: (727) 577-2222  
FAX: (727) 577-2221  
EB: #28152  
Project No.: 1236-001

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<input type="checkbox"/> BIDDING	
<input type="checkbox"/> PERMIT	
<input type="checkbox"/> CONSTRUCTION	

**BUILDING SECTION**  
**Project Info:**  
Oaks at Riverview Apartments  
**Project Street Address:**  
7501 N. Florida Ave Tampa, FL 33604

Seal

DATE ISSUED: 03/03/2023

Project No.: 1236-001  
Drawing No.: **S-401**  
Drawn by: AM Checked by: MDB

BID SET

No.	Date	Description
1	03/01/2023	Revisions

**FULLONE STRUCTURAL GROUP, INC**  
**FSG**  
 2253 CENTRAL AVENUE, UNIT #105  
 ST. PETERSBURG, FLORIDA 33713  
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**Project Info:**  
 Oaks at Riverview Apartments  
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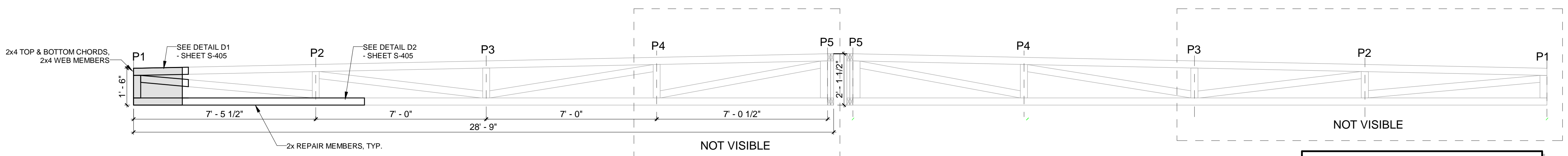
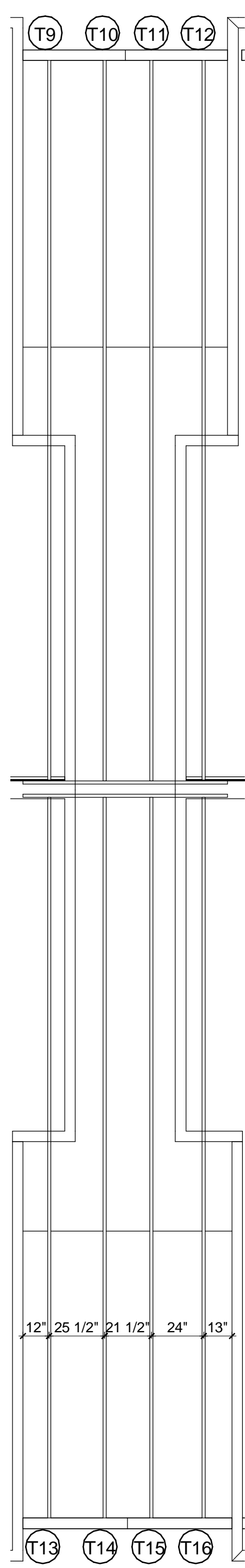
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Project No.: 1236-001

Drawing No:  
**S-402**  
 Drawn by: AM Checked by: MDB

BID SET

DATE ISSUED: 03/03/2023

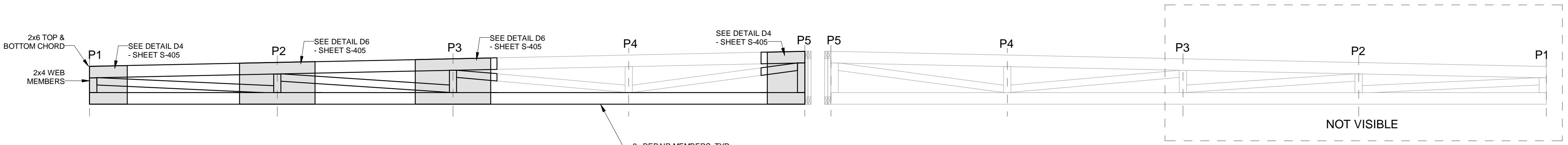


**T9 Truss T9 Repair Detail**  
 SCALE: 3/8" = 1'-0"  
 (APPLY REPAIR TO ONE SIDE OF TRUSS)  
 DIMENSION PROVIDED IN 'T9' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

TRUSS WILL BE SURVEYED FOR STRUCTURAL DAMAGE BY THE E.O.R. AFTER EXISTING DRYWALL IS FULLY REMOVED TO EXPOSE FULL LENGTH OF TRUSS. ONCE CEILING IS REMOVED NOTIFY E.O.R. SO A SITE VISIT CAN BE PERFORMED

**T13 Truss T13 Repair Detail**  
 SCALE: 3/8" = 1'-0"  
 (APPLY REPAIR TO ONE SIDE OF TRUSS)  
 DIMENSION PROVIDED IN 'T9' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

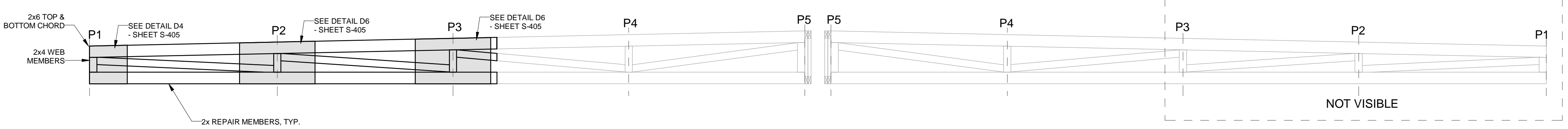
TRUSS WILL BE SURVEYED FOR STRUCTURAL DAMAGE BY THE E.O.R. AFTER EXISTING CEILING IS FULLY REMOVED TO EXPOSE FULL LENGTH OF TRUSS. ONCE CEILING IS REMOVED NOTIFY E.O.R. SO A SITE VISIT CAN BE PERFORMED



**T10 Truss T10 Repair Detail**  
 SCALE: 3/8" = 1'-0"  
 (APPLY REPAIR TO BOTH SIDES OF TRUSS)  
 DIMENSION PROVIDED IN 'T9' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

**T14 Truss T14 Repair Detail**  
 SCALE: 3/8" = 1'-0"  
 (APPLY REPAIR TO BOTH SIDES OF TRUSS)  
 DIMENSION PROVIDED IN 'T9' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

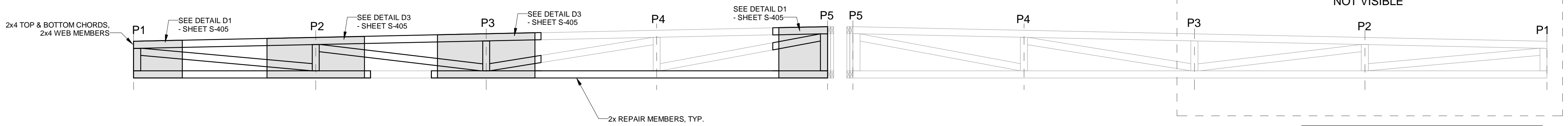
TRUSS WILL BE SURVEYED FOR STRUCTURAL DAMAGE BY THE E.O.R. AFTER EXISTING CEILING IS FULLY REMOVED TO EXPOSE FULL LENGTH OF TRUSS. ONCE CEILING IS REMOVED NOTIFY E.O.R. SO A SITE VISIT CAN BE PERFORMED



**T11 Truss T11 Repair Detail**  
 SCALE: 3/8" = 1'-0"  
 (APPLY REPAIR TO BOTH SIDES OF TRUSS)  
 DIMENSION PROVIDED IN 'T9' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

**T15 Truss T15 Repair Detail**  
 SCALE: 3/8" = 1'-0"  
 (APPLY REPAIR TO BOTH SIDES OF TRUSS)  
 DIMENSION PROVIDED IN 'T9' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

TRUSS WILL BE SURVEYED FOR STRUCTURAL DAMAGE BY THE E.O.R. AFTER EXISTING CEILING IS FULLY REMOVED TO EXPOSE FULL LENGTH OF TRUSS. ONCE CEILING IS REMOVED NOTIFY E.O.R. SO A SITE VISIT CAN BE PERFORMED



**T12 Truss T12 Repair Detail**  
 SCALE: 3/8" = 1'-0"  
 (APPLY REPAIR TO ONE SIDE OF TRUSS)  
 DIMENSION PROVIDED IN 'T9' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

**T16 Truss T16 Repair Detail**  
 SCALE: 3/8" = 1'-0"  
 (APPLY REPAIR TO ONE SIDE OF TRUSS)  
 DIMENSION PROVIDED IN 'T9' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

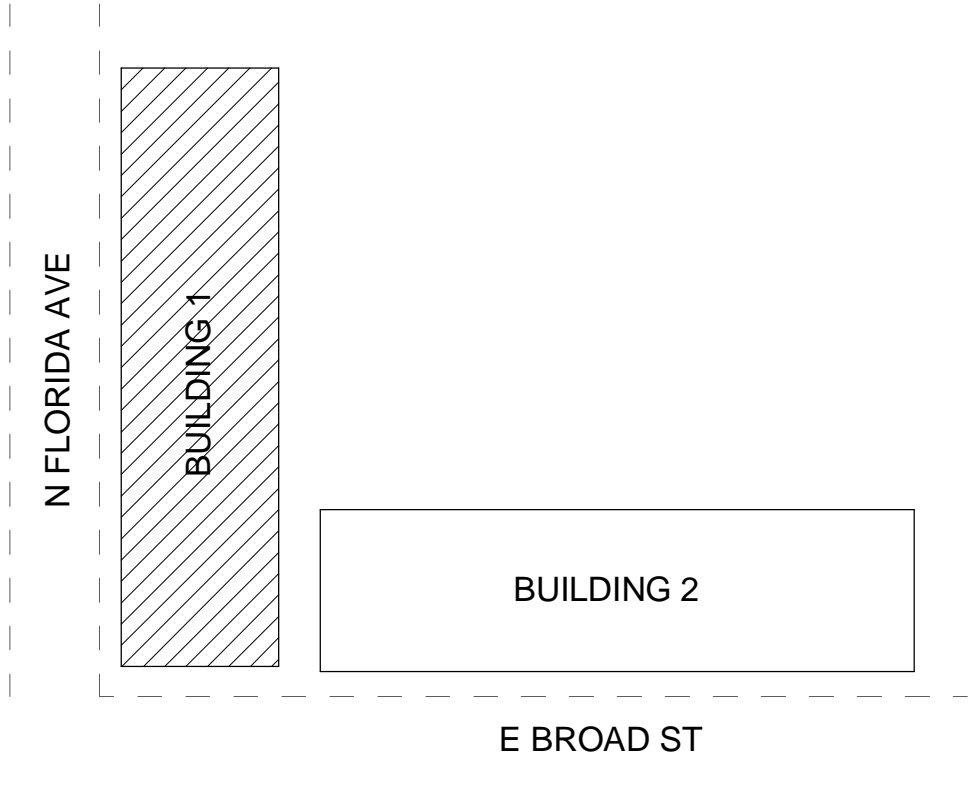
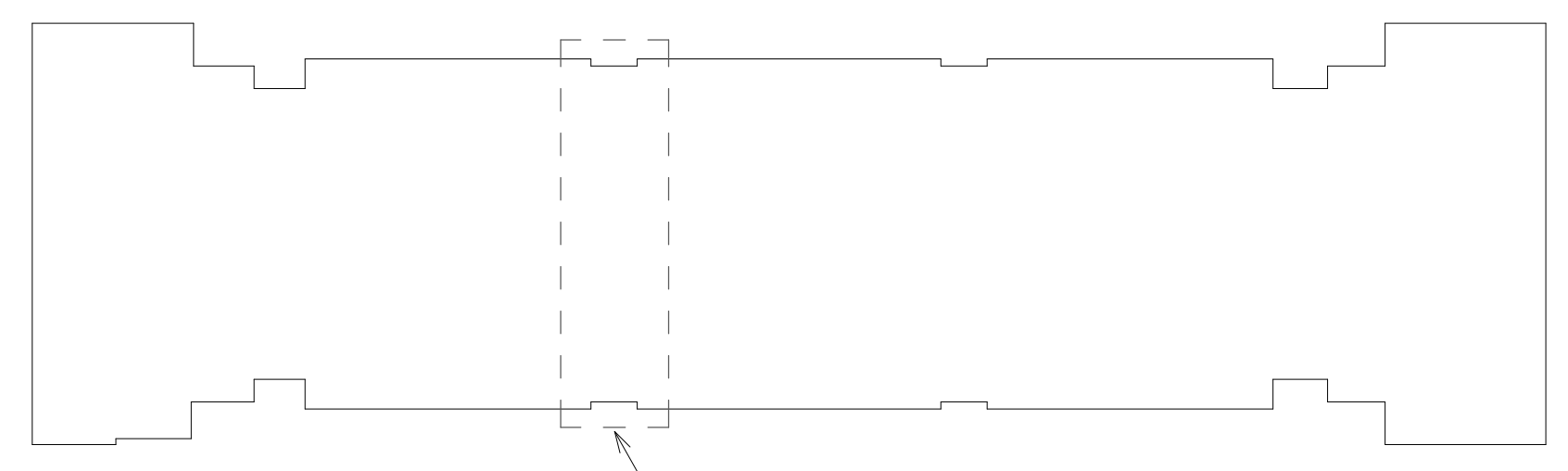
TRUSS WILL BE SURVEYED FOR STRUCTURAL DAMAGE BY THE E.O.R. AFTER EXISTING CEILING IS FULLY REMOVED TO EXPOSE FULL LENGTH OF TRUSS. ONCE CEILING IS REMOVED NOTIFY E.O.R. SO A SITE VISIT CAN BE PERFORMED

**S2 THIRD FLOOR REFLECTED CEILING/ROOF PLAN - CALLOUT 2**  
 SCALE: 1/4" = 1'-0"

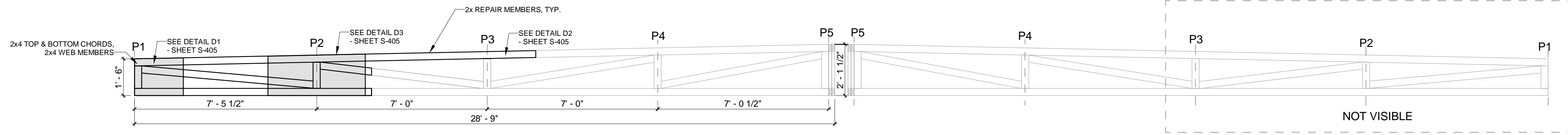
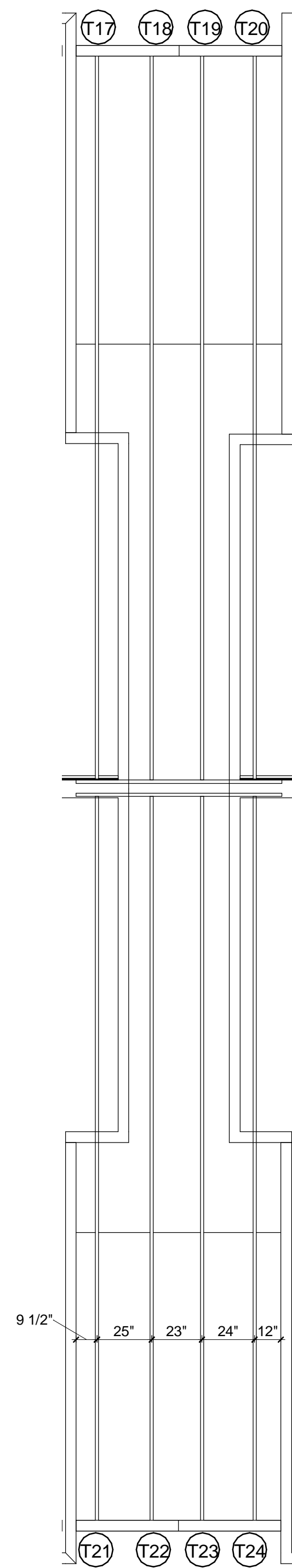
- IF IT IS DETERMINED THAT IN-FIELD REPAIRS OF TRUSSES IS NOT POSSIBLE PER THESE DRAWINGS DUE TO SPACE RESTRICTIONS OR ANY OTHER REASON, THEN A REMOVAL OF THE EXISTING ROOF TRUSS AND THE INSTALLATION OF A NEW ROOF TRUSS WILL BE REQUIRED.
- IF DURING DEMOLITION AND/OR TRUSS REPAIR ANY ADDITIONAL DAMAGE (WATER/INSECT) IS FOUND THAT IS NOT WITHIN AN AREA OF REPAIR PER THESE DRAWINGS, NOTIFY THE E.O.R. TO PERFORM A SITE VISIT TO SURVEY THE DAMAGE.
- CONTRACTOR TO SHORE ROOF AS NEEDED TO REMOVE ANY SAG/DEFLECTION FROM EXISTING ROOF TRUSSES PRIOR TO INSTALLING TRUSS REPAIRS.
- AFTER REPAIRS ARE COMPLETE, CONTACT THE E.O.R. TO PERFORM A SITE VISIT TO VIEW REPAIRS PRIOR TO COVERING.

THESE STRUCTURAL DRAWINGS ARE BASED UPON FIELD OBSERVED AS-BUILT CONDITIONS WHERE ACCESS WAS AVAILABLE. AS MORE EXISTING STRUCTURE IS EXPOSED, IF ANY DISCREPANCIES ARE FOUND NOTIFY THE ENGINEER OF RECORD.

REFER TO IBA CONSULTANTS, INC. QA/QS AT RIVERVIEW ASSESSMENT REPORT AND RECOMMENDATIONS DATED FEBRUARY 16, 2023 FOR ADDITIONAL INFORMATION REGARDING EXTERIOR STAIR LANDINGS, CORRIDORS, EXTERIOR WALLS AND ROOFING.



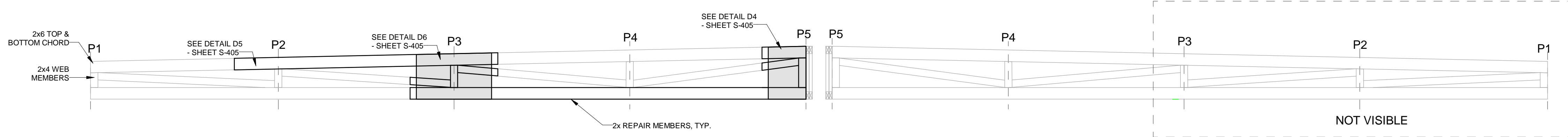
BID SET



**T17 Truss T17 Repair Detail**  
 SCALE: 3/8" = 1'-0"  
 (APPLY REPAIR TO ONE SIDE OF TRUSS)  
 DIMENSION PROVIDED IN 'T17' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

**T21 Truss T21 Repair Detail**  
 SCALE: 3/8" = 1'-0"  
 (APPLY REPAIR TO ONE SIDE OF TRUSS)  
 DIMENSION PROVIDED IN 'T17' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

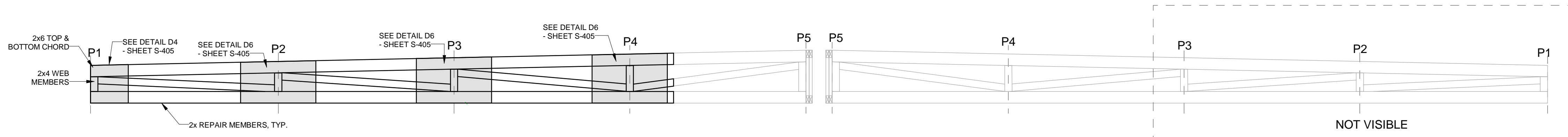
TRUSS WILL BE SURVEYED FOR STRUCTURAL DAMAGE BY THE E.O.R. AFTER EXISTING CEILING IS FULLY REMOVED TO EXPOSE FULL LENGTH OF TRUSS. ONCE CEILING IS REMOVED NOTIFY E.O.R. SO A SITE VISIT CAN BE PERFORMED.



**T18 Truss T18 Repair Detail**  
 SCALE: 3/8" = 1'-0"  
 (APPLY REPAIR TO BOTH SIDES OF TRUSS)  
 DIMENSION PROVIDED IN 'T17' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

**T22 Truss T22 Repair Detail**  
 SCALE: 3/8" = 1'-0"  
 (APPLY REPAIR TO BOTH SIDES OF TRUSS)  
 DIMENSION PROVIDED IN 'T17' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

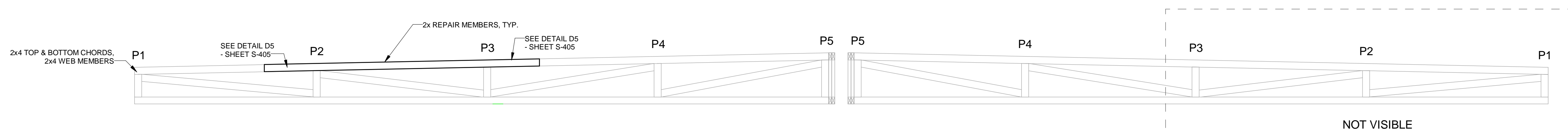
TRUSS WILL BE SURVEYED FOR STRUCTURAL DAMAGE BY THE E.O.R. AFTER EXISTING CEILING IS FULLY REMOVED TO EXPOSE FULL LENGTH OF TRUSS. ONCE CEILING IS REMOVED NOTIFY E.O.R. SO A SITE VISIT CAN BE PERFORMED.



**T19 Truss T19 Repair Detail**  
 SCALE: 3/8" = 1'-0"  
 (APPLY REPAIR TO BOTH SIDES OF TRUSS)  
 DIMENSION PROVIDED IN 'T17' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

**T23 Truss T23 Repair Detail**  
 SCALE: 3/8" = 1'-0"  
 (APPLY REPAIR TO BOTH SIDES OF TRUSS)  
 DIMENSION PROVIDED IN 'T17' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

TRUSS WILL BE SURVEYED FOR STRUCTURAL DAMAGE BY THE E.O.R. AFTER EXISTING CEILING IS FULLY REMOVED TO EXPOSE FULL LENGTH OF TRUSS. ONCE CEILING IS REMOVED NOTIFY E.O.R. SO A SITE VISIT CAN BE PERFORMED.



**T20 Truss T20 Repair Detail**  
 SCALE: 3/8" = 1'-0"  
 (APPLY REPAIR TO ONE SIDE OF TRUSS)  
 DIMENSION PROVIDED IN 'T17' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

**T24 Truss T24 Repair Detail**  
 SCALE: 3/8" = 1'-0"  
 (APPLY REPAIR TO ONE SIDE OF TRUSS)  
 DIMENSION PROVIDED IN 'T17' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

TRUSS WILL BE SURVEYED FOR STRUCTURAL DAMAGE BY THE E.O.R. AFTER EXISTING CEILING IS FULLY REMOVED TO EXPOSE FULL LENGTH OF TRUSS. ONCE CEILING IS REMOVED NOTIFY E.O.R. SO A SITE VISIT CAN BE PERFORMED.

**S3 THIRD FLOOR REFLECTED CEILING/ROOF PLAN - CALLOUT 3**  
 SCALE: 1/4" = 1'-0"

IF IT IS DETERMINED THAT IN-FIELD REPAIRS OF TRUSSES IS NOT POSSIBLE PER THESE DRAWINGS DUE TO SPACE RESTRICTIONS OR ANY OTHER REASON, THEN A REMOVAL OF THE EXISTING ROOF TRUSS AND THE INSTALLATION OF A NEW ROOF TRUSS WILL BE REQUIRED.

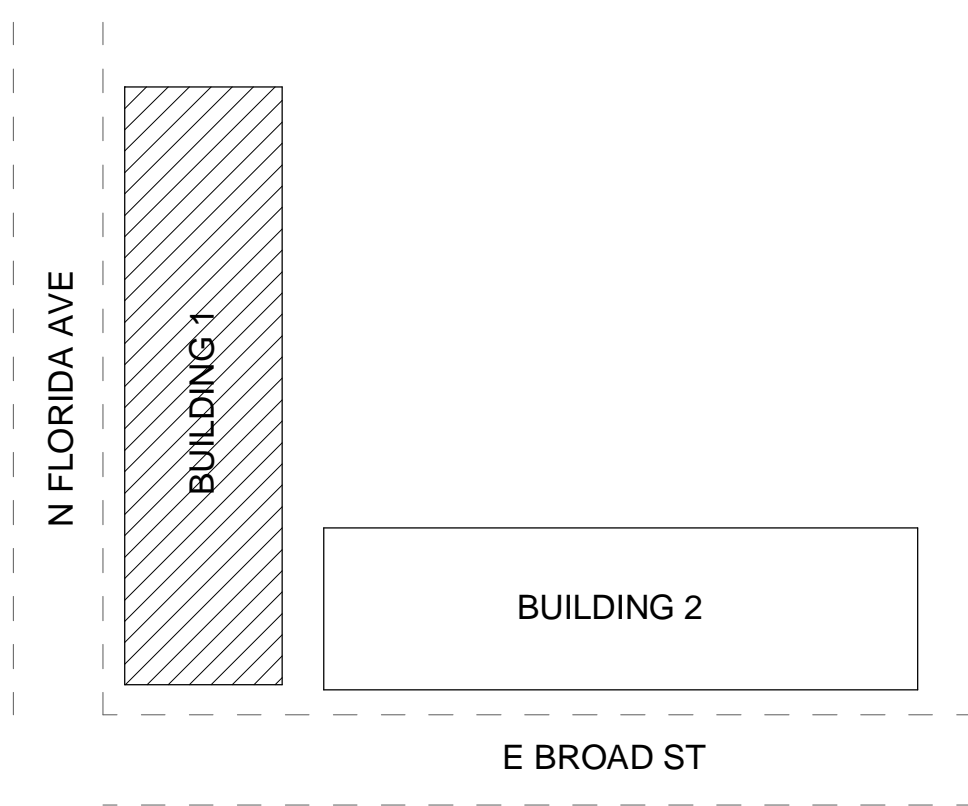
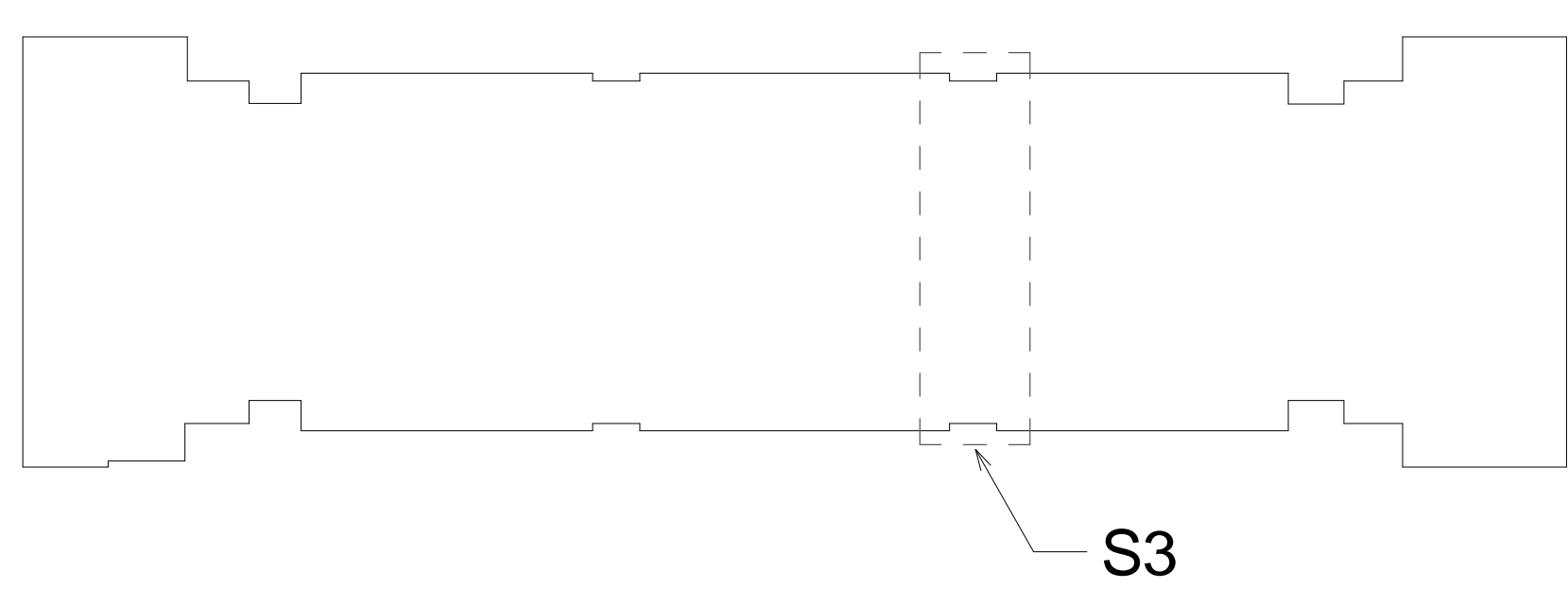
IF DURING DEMOLITION AND/OR TRUSS REPAIR ANY ADDITIONAL DAMAGE (WATER/INSECT) IS FOUND THAT IS NOT WITHIN AN AREA OF REPAIR PER THESE DRAWINGS, NOTIFY THE E.O.R. TO PERFORM A SITE VISIT TO SURVEY THE DAMAGE.

CONTRACTOR TO SHORE ROOF AS NEEDED TO REMOVE ANY SAG/DEFLECTION FROM EXISTING ROOF TRUSSES PRIOR TO INSTALLING TRUSS REPAIRS.

AFTER REPAIRS ARE COMPLETE, CONTACT THE E.O.R. TO PERFORM A SITE VISIT TO VIEW REPAIRS PRIOR TO COVERING.

THESE STRUCTURAL DRAWINGS ARE BASED UPON FIELD OBSERVED AS-BUILT CONDITIONS WHERE ACCESS WAS AVAILABLE. AS MORE EXISTING STRUCTURE IS EXPOSED, IF ANY DISCREPANCIES ARE FOUND NOTIFY THE ENGINEER OF RECORD.

REFER TO IBA CONSULTANTS, INC. OAKS AT RIVERVIEW ASSESSMENT REPORT AND RECOMMENDATIONS DATED FEBRUARY 16, 2023 FOR ADDITIONAL INFORMATION REGARDING EXTERIOR STAIR LANDINGS, CORRIDORS, EXTERIOR WALLS AND ROOFING.



No.	Date	Description
1	03/01/2023	Revisions

**FULLONE STRUCTURAL GROUP, INC**  
**FSG**  
 2253 CENTRAL AVENUE, UNIT #105  
 ST. PETERSBURG, FLORIDA 33713  
 PHONE: (727) 577-2222  
 FAX: (727) 577-2221  
 EB: #28152  
 Project No.: 1236-001

Issued for:	Date:
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<input type="checkbox"/> BIDDING	
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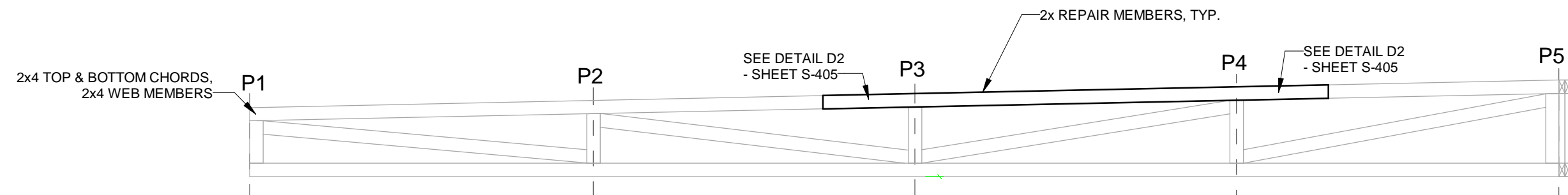
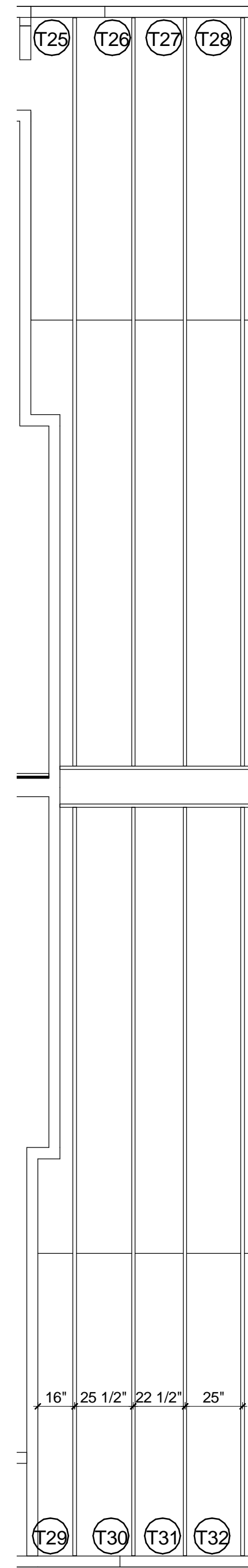
**Project Info:**  
 Oaks at Riverview Apartments  
 Project Street Address:  
 7501 N. Florida Ave Tampa, FL 33604

Seal

Project No.: 1236-001  
 Drawing No.: **S-403**  
 Drawn by: AM Checked by: MDB

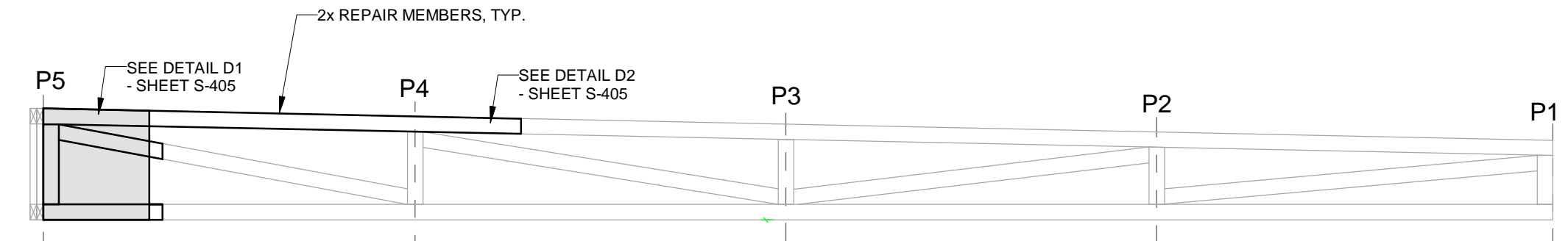
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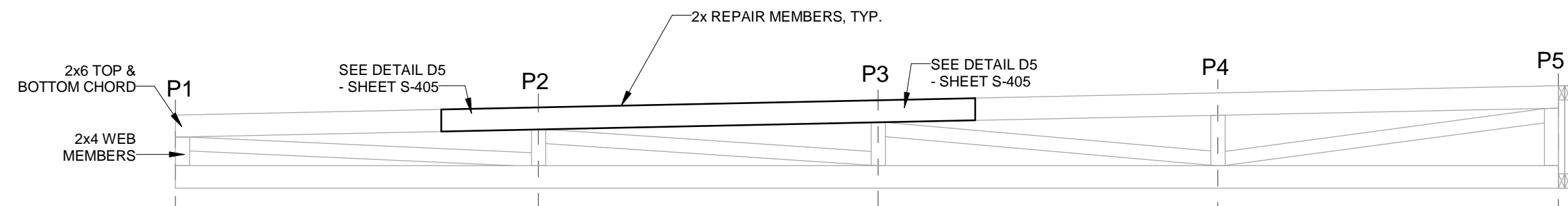
**T25 Truss T25 Repair Detail**  
SCALE: 3/8" = 1'-0"

(APPLY REPAIR TO ONE SIDE OF TRUSS)  
DIMENSION PROVIDED IN "T25" ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



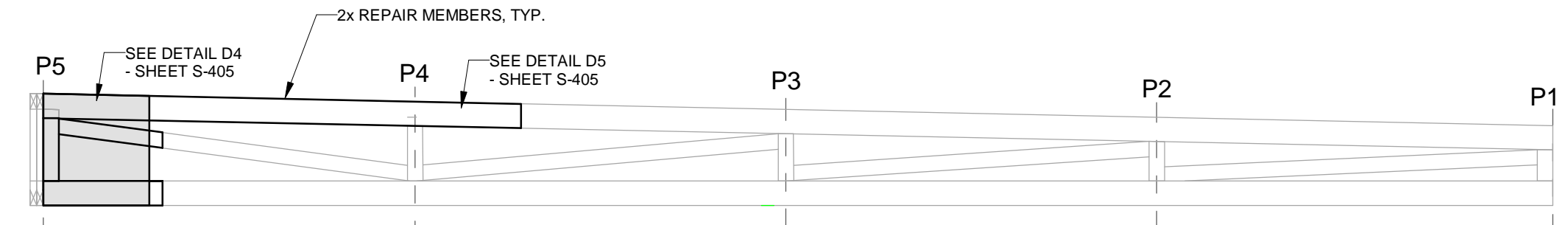
**T29 Truss T29 Repair Detail**  
SCALE: 3/8" = 1'-0"

(APPLY REPAIR TO ONE SIDE OF TRUSS)  
DIMENSION PROVIDED IN "T25" ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



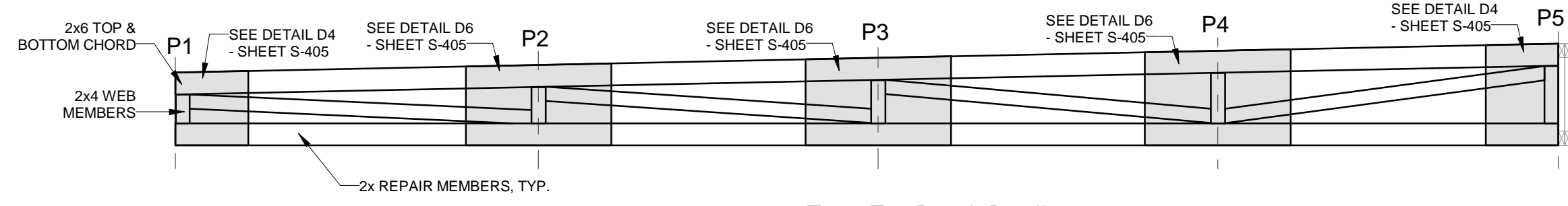
**T26 Truss T26 Repair Detail**  
SCALE: 3/8" = 1'-0"

(APPLY REPAIR TO BOTH SIDES OF TRUSS)  
DIMENSION PROVIDED IN "T25" ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



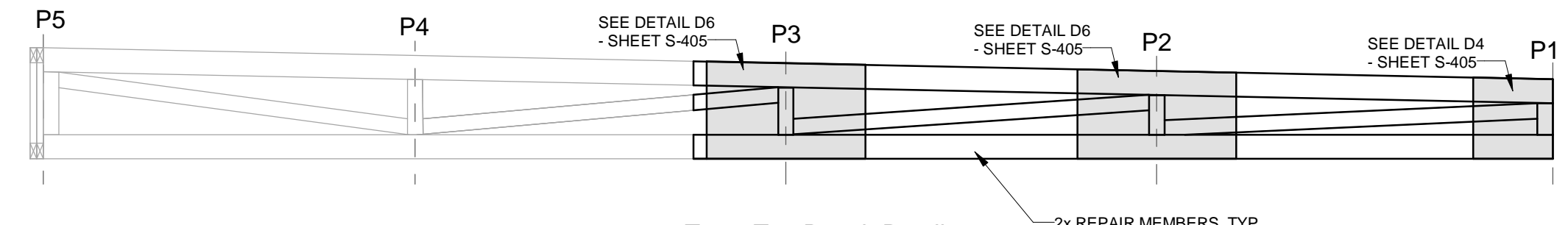
**T30 Truss T30 Repair Detail**  
SCALE: 3/8" = 1'-0"

(APPLY REPAIR TO BOTH SIDES OF TRUSS)  
DIMENSION PROVIDED IN "T25" ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



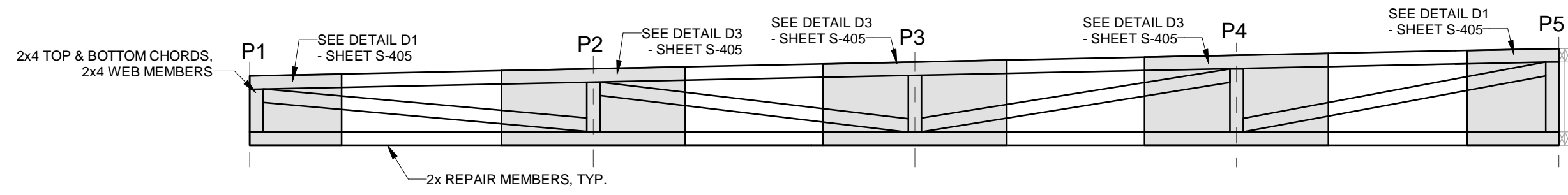
**T27 Truss T27 Repair Detail**  
SCALE: 3/8" = 1'-0"

(APPLY REPAIR TO BOTH SIDES OF TRUSS)  
DIMENSION PROVIDED IN "T25" ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



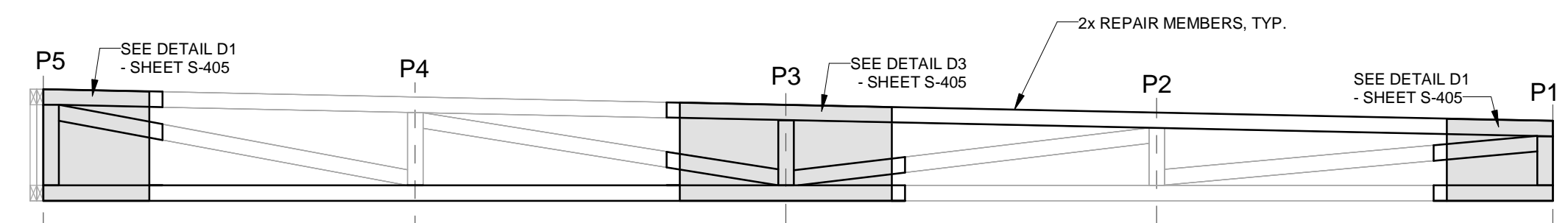
**T31 Truss T31 Repair Detail**  
SCALE: 3/8" = 1'-0"

(APPLY REPAIR TO BOTH SIDES OF TRUSS)  
DIMENSION PROVIDED IN "T25" ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



**T28 Truss T28 Repair Detail**  
SCALE: 3/8" = 1'-0"

(APPLY REPAIR TO ONE SIDE OF TRUSS)  
DIMENSION PROVIDED IN "T25" ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



**T32 Truss T32 Repair Detail**  
SCALE: 3/8" = 1'-0"

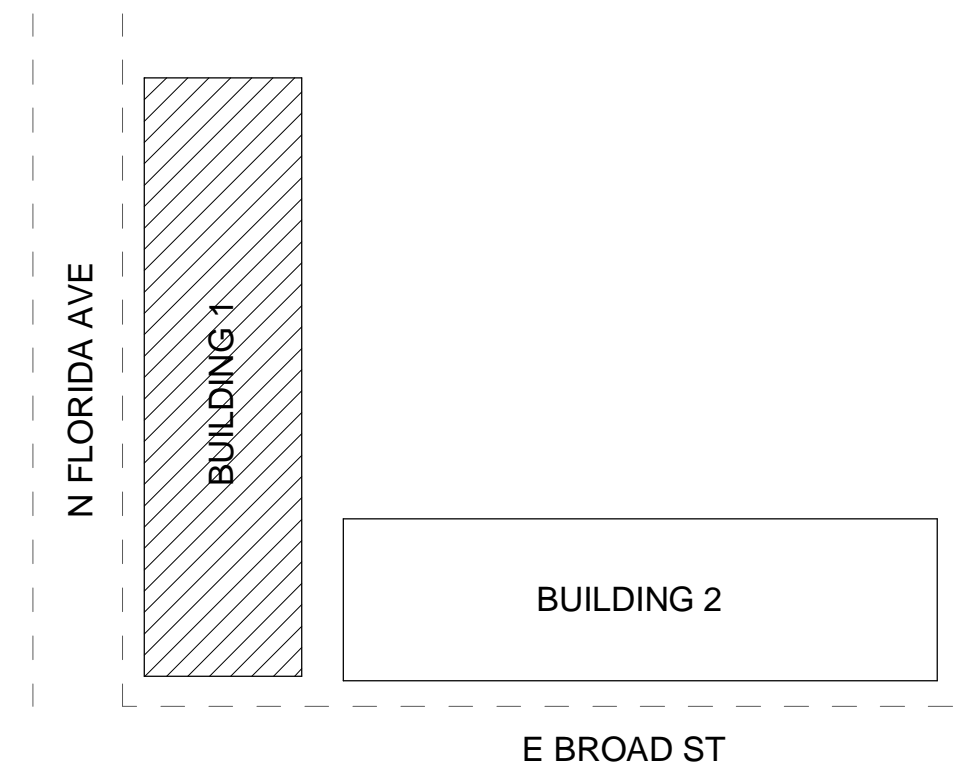
(APPLY REPAIR TO ONE SIDE OF TRUSS)  
DIMENSION PROVIDED IN "T25" ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

**S4 THIRD FLOOR REFLECTED CEILING/ROOF PLAN - CALLOUT 4**  
SCALE: 1/4" = 1'-0"

- IF IT IS DETERMINED THAT IN-FIELD REPAIRS OF TRUSSES IS NOT POSSIBLE PER THESE DRAWINGS DUE TO SPACE RESTRICTIONS OR ANY OTHER REASON, THEN A REMOVAL OF THE EXISTING ROOF TRUSS AND THE INSTALLATION OF A NEW ROOF TRUSS WILL BE REQUIRED.
- IF DURING DEMOLITION AND/OR TRUSS REPAIR ANY ADDITIONAL DAMAGE (WATER/INSECT) IS FOUND THAT IS NOT WITHIN AN AREA OF REPAIR PER THESE DRAWINGS, NOTIFY THE E.O.R. TO PERFORM A SITE VISIT TO SURVEY THE DAMAGE.
- CONTRACTOR TO SHORE ROOF AS NEEDED TO REMOVE ANY SAG/DEFLECTION FROM EXISTING ROOF TRUSSES PRIOR TO INSTALLING TRUSS REPAIRS.
- AFTER REPAIRS ARE COMPLETE, CONTACT THE E.O.R. TO PERFORM A SITE VISIT TO VIEW REPAIRS PRIOR TO COVERING.

THESE STRUCTURAL DRAWINGS ARE BASED UPON FIELD OBSERVED AS-BUILT CONDITIONS WHERE ACCESS WAS AVAILABLE. AS MORE EXISTING STRUCTURE IS EXPOSED, IF ANY DISCREPANCIES ARE FOUND NOTIFY THE ENGINEER OF RECORD.

REFER TO IBA CONSULTANTS, INC. OAKS AT RIVERVIEW ASSESSMENT REPORT AND RECOMMENDATIONS-DATED FEBRUARY 16, 2023 FOR ADDITIONAL INFORMATION REGARDING EXTERIOR STAIR LANDINGS, CORRIDORS, EXTERIOR WALLS AND ROOFING.



No.	Date	Description
1	03/01/2023	Revisions

**FSG**  
FULLONE STRUCTURAL GROUP, INC.  
2253 CENTRAL AVENUE, UNIT #105  
ST. PETERSBURG, FLORIDA 33713  
PHONE: (727) 577-2222  
FAX: (727) 577-2221  
EB: #28152  
Project No.: 1236-001

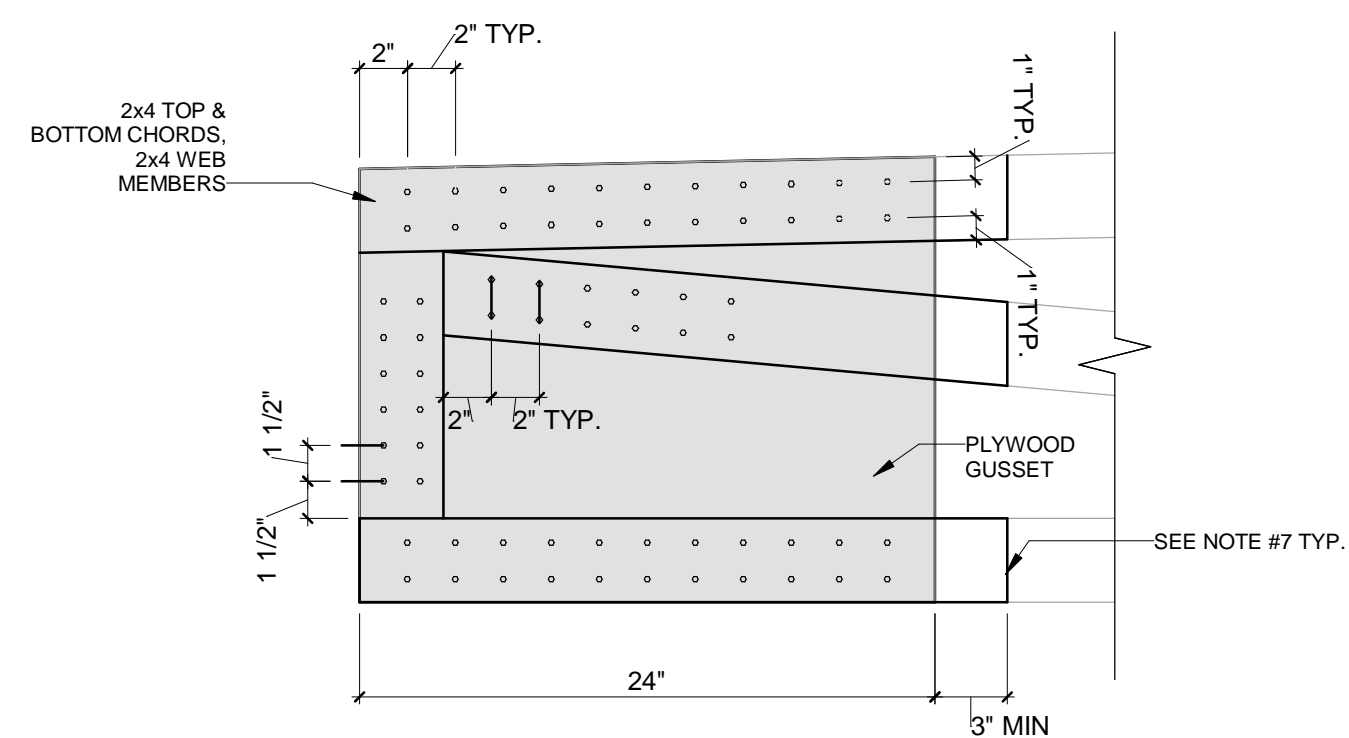
Issued for:	Date:
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<input type="checkbox"/> BIDDING	
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<input type="checkbox"/> CONSTRUCTION	

**Project Info:**  
Oaks at Riverview Apartments  
Project Street Address:  
7501 N. Florida Ave Tampa, FL 33604

Seal

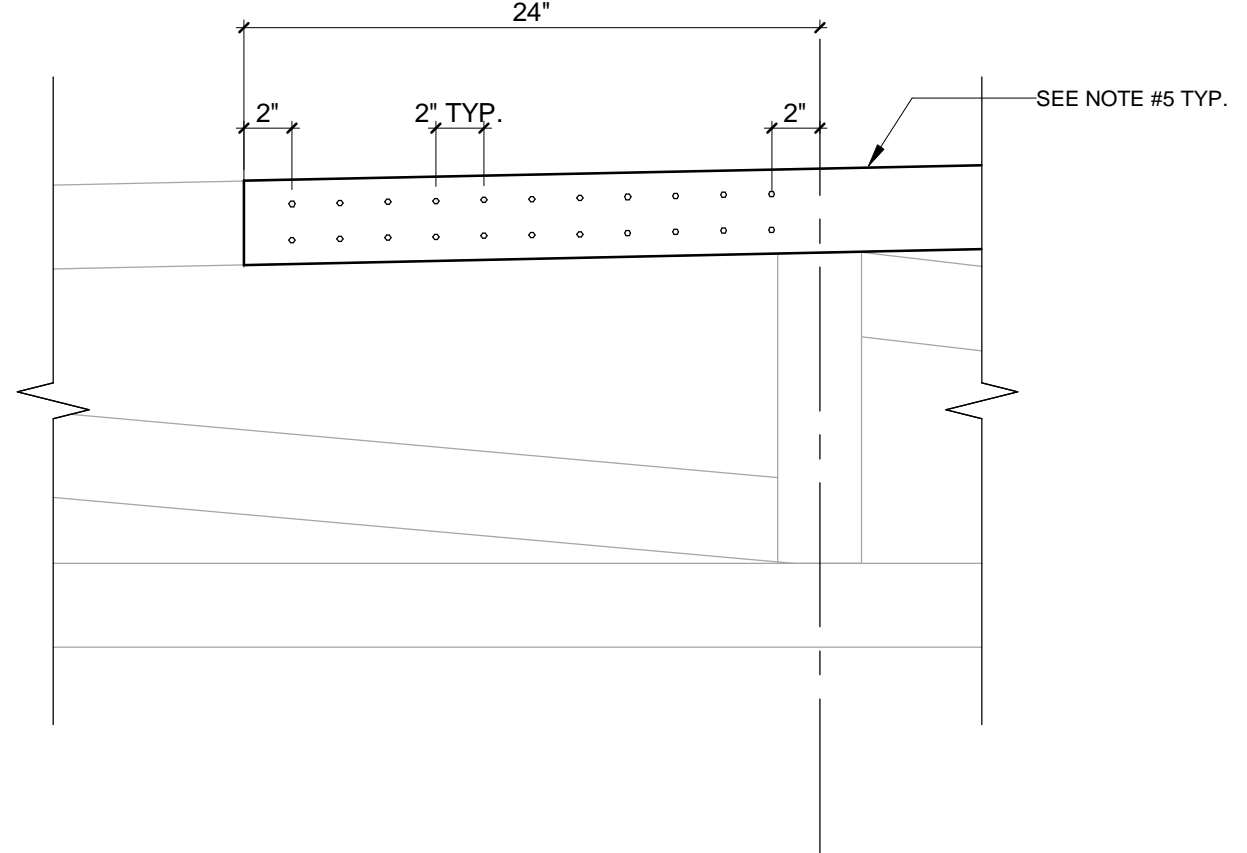
Project No.: 1236-001  
Drawing No.: **S-404**  
Drawn by: AM  
Checked by: Checker

BID SET DATE ISSUED: 03/03/2023



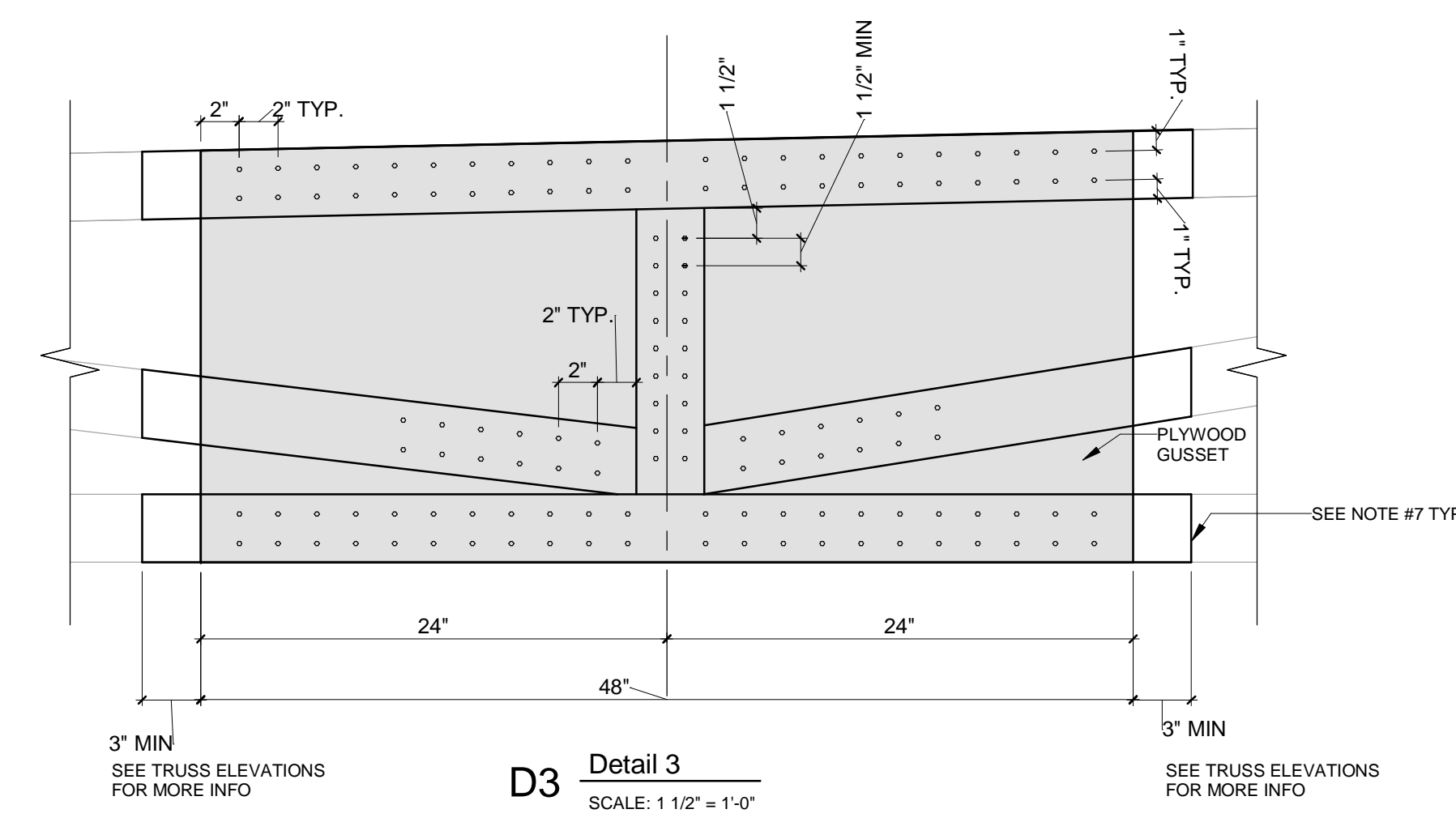
**D1 Detail 1**  
SCALE: 1 1/2" = 1'-0"

- DETAIL D1 NOTES:**
- ALL SHORING IS TO REMAIN IN PLACE UNTIL REPAIR IS COMPLETE AND HAS BEEN INSPECTED.
  - NEW REPAIR MEMBERS TO BE 2x4 SOUTHERN YELLOW PINE NO. 2 OR BETTER.
  - PROVIDE NEW 2x4 ON **ONE SIDE** OF EXISTING TRUSS TOP & BOTTOM CHORDS AND AT VERTICAL AND DIAGONAL WEB MEMBERS AS SHOWN.
  - PROVIDE 1/2" PLYWOOD GUSSET PLATE FULL HEIGHT OF TRUSS. LENGTH AS SHOWN IN DETAIL.
  - USE HIGH STRENGTH CONSTRUCTION ADHESIVE BETWEEN EXISTING TRUSS AND NEW 2x4 MEMBERS AND BETWEEN NEW 2x4 MEMBERS AND NEW GUSSET PLATE.
  - FASTEN NEW GUSSET AND 2x4 MEMBERS TO EXISTING TRUSS AS FOLLOWS:
    - AT TOP & BOTTOM CHORDS USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 2'-0" (22 TOTAL SCREWS). SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
    - AT VERTICAL WEB MEMBER USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 1' 1/2" O.C. SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
    - AT DIAGONAL WEB MEMBER USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 2'-0" (12 TOTAL SCREWS). SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
  - FOR BALANCE OF NEW 2x REPAIR MEMBER BETWEEN END SCREW FASTENING LOCATIONS, PROVIDE (2) 10d NAILS AT 4" O/C TO EXISTING TRUSS.



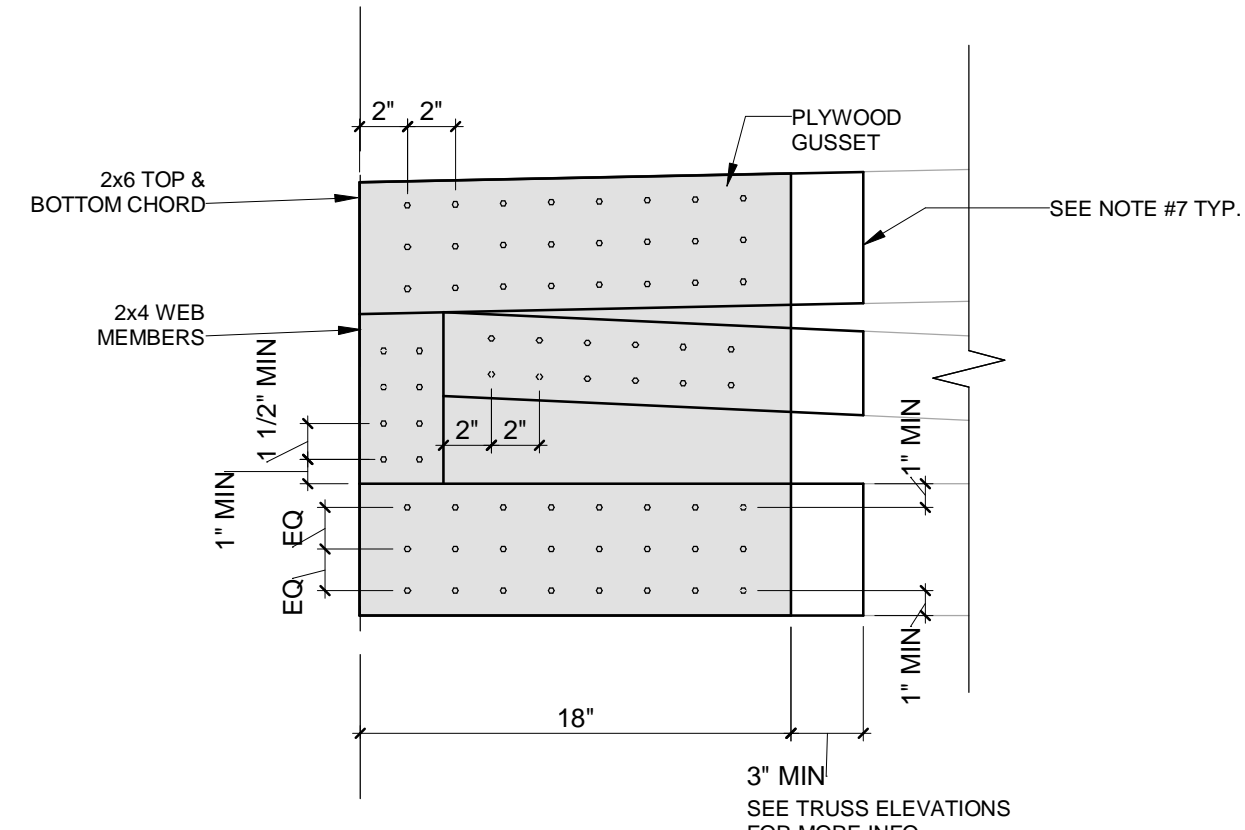
**D2 Detail 2**  
SCALE: 1 1/2" = 1'-0"

- DETAIL D2 NOTES:**
- ALL SHORING IS TO REMAIN IN PLACE UNTIL REPAIR IS COMPLETE AND HAS BEEN INSPECTED.
  - NEW REPAIR MEMBERS TO BE 2x4 SOUTHERN YELLOW PINE NO. 2 OR BETTER.
  - PROVIDE NEW 2x4 ON **ONE SIDE** OF EXISTING TRUSS TOP AND/OR BOTTOM CHORDS TO EXTEND BEYOND PANEL POINT A MINIMUM OF 2'-0" AS SHOWN.
  - FASTEN 2x4 MEMBERS TO EXISTING TRUSS AS FOLLOWS:
    - USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 2'-0" (22 TOTAL SCREWS). SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
  - FOR BALANCE OF NEW 2x REPAIR MEMBER BETWEEN END SCREW FASTENING LOCATIONS, PROVIDE (2) 10d NAILS AT 4" O/C TO EXISTING TRUSS.



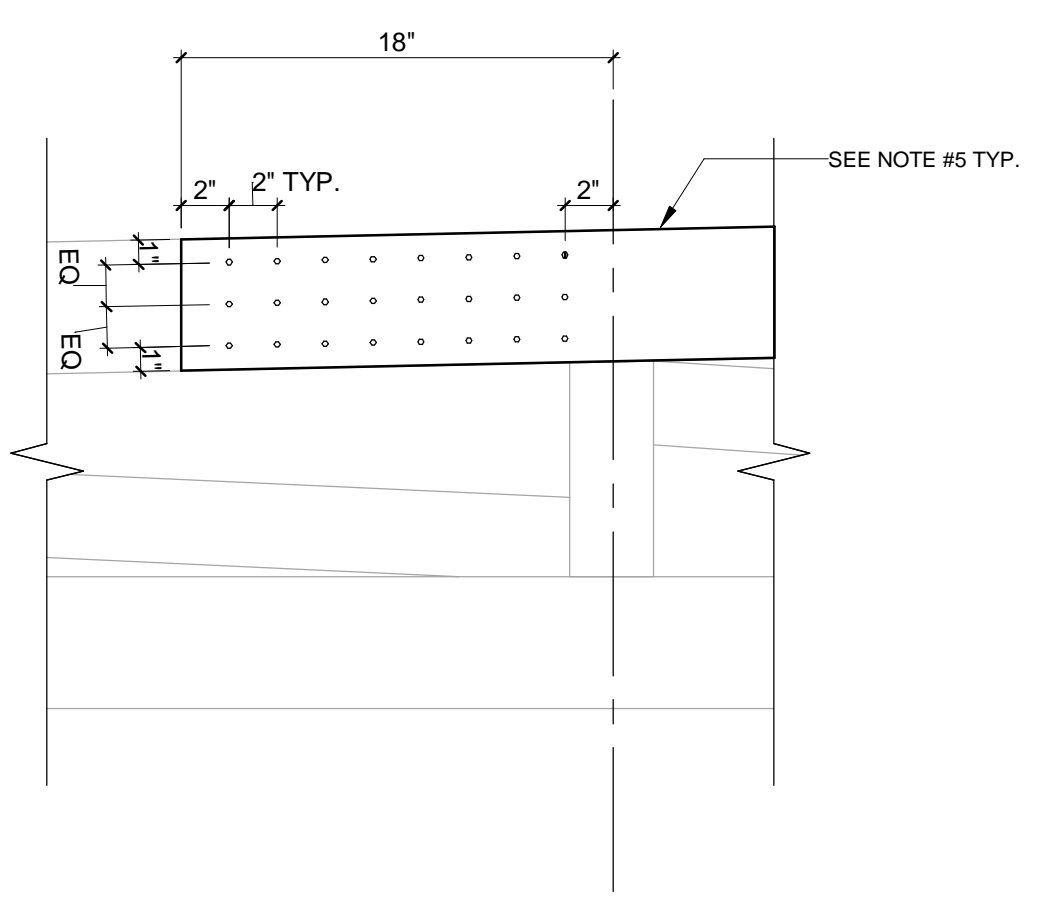
**D3 Detail 3**  
SCALE: 1 1/2" = 1'-0"

- DETAIL D3 NOTES:**
- ALL SHORING IS TO REMAIN IN PLACE UNTIL REPAIR IS COMPLETE AND HAS BEEN INSPECTED.
  - NEW REPAIR MEMBERS TO BE 2x4 SOUTHERN YELLOW PINE NO. 2 OR BETTER.
  - PROVIDE NEW 2x4 ON **ONE SIDE** OF EXISTING TRUSS TOP & BOTTOM CHORDS AND AT VERTICAL AND DIAGONAL WEB MEMBERS AS SHOWN.
  - PROVIDE 1/2" PLYWOOD GUSSET PLATE FULL HEIGHT OF TRUSS. LENGTH AS SHOWN IN DETAIL.
  - USE HIGH STRENGTH CONSTRUCTION ADHESIVE BETWEEN EXISTING TRUSS AND NEW 2x4 MEMBERS AND BETWEEN NEW 2x4 MEMBERS AND NEW GUSSET PLATE.
  - FASTEN NEW GUSSET AND 2x4 MEMBERS TO EXISTING TRUSS AS FOLLOWS:
    - AT TOP & BOTTOM CHORDS USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 2'-0" (22 TOTAL SCREWS) ON EACH SIDE OF PANEL POINT AS SHOWN. SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
    - AT VERTICAL WEB MEMBER USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 1' 1/2" O.C. SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
    - AT DIAGONAL WEB MEMBERS USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 2'-0" (12 TOTAL SCREWS) ON EACH SIDE OF PANEL POINT AS SHOWN. SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
  - FOR BALANCE OF NEW 2x REPAIR MEMBER BETWEEN END SCREW FASTENING LOCATIONS, PROVIDE (2) 10d NAILS AT 4" O/C TO EXISTING TRUSS.



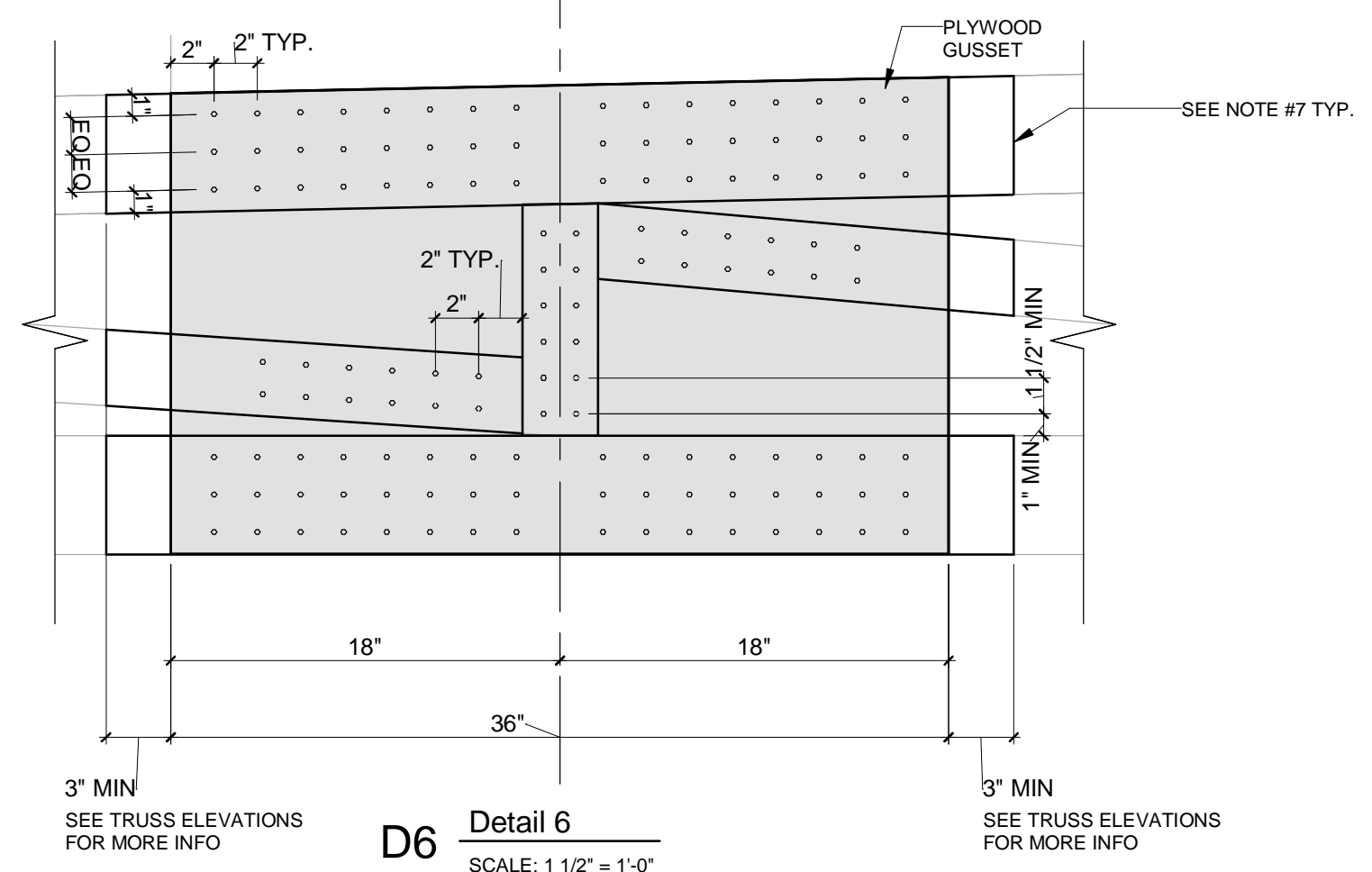
**D4 Detail 4**  
SCALE: 1 1/2" = 1'-0"

- DETAIL D1 NOTES:**
- ALL SHORING IS TO REMAIN IN PLACE UNTIL REPAIR IS COMPLETE AND HAS BEEN INSPECTED.
  - NEW REPAIR MEMBERS TO BE 2x4 SOUTHERN YELLOW PINE NO. 2 OR BETTER.
  - PROVIDE NEW 2x4 ON **ONE SIDE** OF EXISTING TRUSS TOP & BOTTOM CHORDS AND AT VERTICAL AND DIAGONAL WEB MEMBERS AS SHOWN.
  - PROVIDE 1/2" PLYWOOD GUSSET PLATE FULL HEIGHT OF TRUSS. LENGTH AS SHOWN IN DETAIL.
  - USE HIGH STRENGTH CONSTRUCTION ADHESIVE BETWEEN EXISTING TRUSS AND NEW 2x4 MEMBERS AND BETWEEN NEW 2x4 MEMBERS AND NEW GUSSET PLATE.
  - FASTEN NEW GUSSET AND 2x4 MEMBERS TO EXISTING TRUSS AS FOLLOWS:
    - AT TOP & BOTTOM CHORDS USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 2'-0" (22 TOTAL SCREWS). SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
    - AT VERTICAL WEB MEMBER USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 1' 1/2" O.C. SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
    - AT DIAGONAL WEB MEMBER USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 2'-0" (12 TOTAL SCREWS). SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
  - FOR BALANCE OF NEW 2x REPAIR MEMBER BETWEEN END SCREW FASTENING LOCATIONS, PROVIDE (2) 10d NAILS AT 4" O/C TO EXISTING TRUSS.



**D5 Detail 5**  
SCALE: 1 1/2" = 1'-0"

- DETAIL D2 NOTES:**
- ALL SHORING IS TO REMAIN IN PLACE UNTIL REPAIR IS COMPLETE AND HAS BEEN INSPECTED.
  - NEW REPAIR MEMBERS TO BE 2x4 SOUTHERN YELLOW PINE NO. 2 OR BETTER.
  - PROVIDE NEW 2x4 ON **ONE SIDE** OF EXISTING TRUSS TOP AND/OR BOTTOM CHORDS TO EXTEND BEYOND PANEL POINT A MINIMUM OF 2'-0" AS SHOWN.
  - FASTEN 2x4 MEMBERS TO EXISTING TRUSS AS FOLLOWS:
    - USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 2'-0" (22 TOTAL SCREWS). SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
  - FOR BALANCE OF NEW 2x REPAIR MEMBER BETWEEN END SCREW FASTENING LOCATIONS, PROVIDE (2) 10d NAILS AT 4" O/C TO EXISTING TRUSS.



**D6 Detail 6**  
SCALE: 1 1/2" = 1'-0"

- DETAIL D3 NOTES:**
- ALL SHORING IS TO REMAIN IN PLACE UNTIL REPAIR IS COMPLETE AND HAS BEEN INSPECTED.
  - NEW REPAIR MEMBERS TO BE 2x4 SOUTHERN YELLOW PINE NO. 2 OR BETTER.
  - PROVIDE NEW 2x4 ON **ONE SIDE** OF EXISTING TRUSS TOP & BOTTOM CHORDS AND AT VERTICAL AND DIAGONAL WEB MEMBERS AS SHOWN.
  - PROVIDE 1/2" PLYWOOD GUSSET PLATE FULL HEIGHT OF TRUSS. LENGTH AS SHOWN IN DETAIL.
  - USE HIGH STRENGTH CONSTRUCTION ADHESIVE BETWEEN EXISTING TRUSS AND NEW 2x4 MEMBERS AND BETWEEN NEW 2x4 MEMBERS AND NEW GUSSET PLATE.
  - FASTEN NEW GUSSET AND 2x4 MEMBERS TO EXISTING TRUSS AS FOLLOWS:
    - AT TOP & BOTTOM CHORDS USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 2'-0" (22 TOTAL SCREWS) ON EACH SIDE OF PANEL POINT AS SHOWN. SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
    - AT VERTICAL WEB MEMBER USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 1' 1/2" O.C. SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
    - AT DIAGONAL WEB MEMBERS USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 2'-0" (12 TOTAL SCREWS) ON EACH SIDE OF PANEL POINT AS SHOWN. SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
  - FOR BALANCE OF NEW 2x REPAIR MEMBER BETWEEN END SCREW FASTENING LOCATIONS, PROVIDE (2) 10d NAILS AT 4" O/C TO EXISTING TRUSS.

- IF IT IS DETERMINED THAT IN-FIELD REPAIRS OF TRUSSES IS NOT POSSIBLE PER THESE DRAWINGS DUE TO SPACE RESTRICTIONS OR ANY OTHER REASON, THEN A REMOVAL OF THE EXISTING ROOF TRUSS AND THE INSTALLATION OF A NEW ROOF TRUSS WILL BE REQUIRED.

- IF DURING DEMOLITION AND/OR TRUSS REPAIR ANY ADDITIONAL DAMAGE (WATER/INSECT) IS FOUND THAT IS NOT WITHIN AN AREA OF REPAIR PER THESE DRAWINGS, NOTIFY THE E.O.R. TO PERFORM A SITE VISIT TO SURVEY THE DAMAGE.

- CONTRACTOR TO SHORE ROOF AS NEEDED TO REMOVE ANY SAG/DEFLECTION FROM EXISTING ROOF TRUSSES PRIOR TO INSTALLING TRUSS REPAIRS.

- AFTER REPAIRS ARE COMPLETE, CONTACT THE E.O.R. TO PERFORM A SITE VISIT TO VIEW REPAIRS PRIOR TO COVERING.

THESE STRUCTURAL DRAWINGS ARE BASED UPON FIELD OBSERVED AS-BUILT CONDITIONS WHERE ACCESS WAS AVAILABLE. AS MORE EXISTING STRUCTURE IS EXPOSED, IF ANY DISCREPANCIES ARE FOUND NOTIFY THE ENGINEER OF RECORD.

REFER TO IBA CONSULTANTS, INC. OAKS AT RIVERVIEW ASSESSMENT REPORT AND RECOMMENDATIONS DATED FEBRUARY 16, 2023 FOR ADDITIONAL INFORMATION REGARDING EXTERIOR STAIR LANDINGS, CORRIDORS, EXTERIOR WALLS AND ROOFING.

No.	Date	Description
1	03/01/2023	Revisions

**FULLONE STRUCTURAL GROUP, INC**

**FSG**

2253 CENTRAL AVENUE, UNIT #105  
ST. PETERSBURG, FLORIDA 33713  
PHONE: (727) 577-2222  
FAX: (727) 577-2221  
EB: #28152

Project No.: 1236-001

Issued for:	Date:
<input type="checkbox"/> PRELIMINARY	
<input type="checkbox"/> PRICING	
<input type="checkbox"/> BIDDING	
<input type="checkbox"/> PERMIT	
<input type="checkbox"/> CONSTRUCTION	

**Project Info:**  
Oaks at Riverview Apartments  
Project Street Address:  
7501 N. Florida Ave Tampa, FL 33604

Seal

DATE ISSUED: 03/03/2023

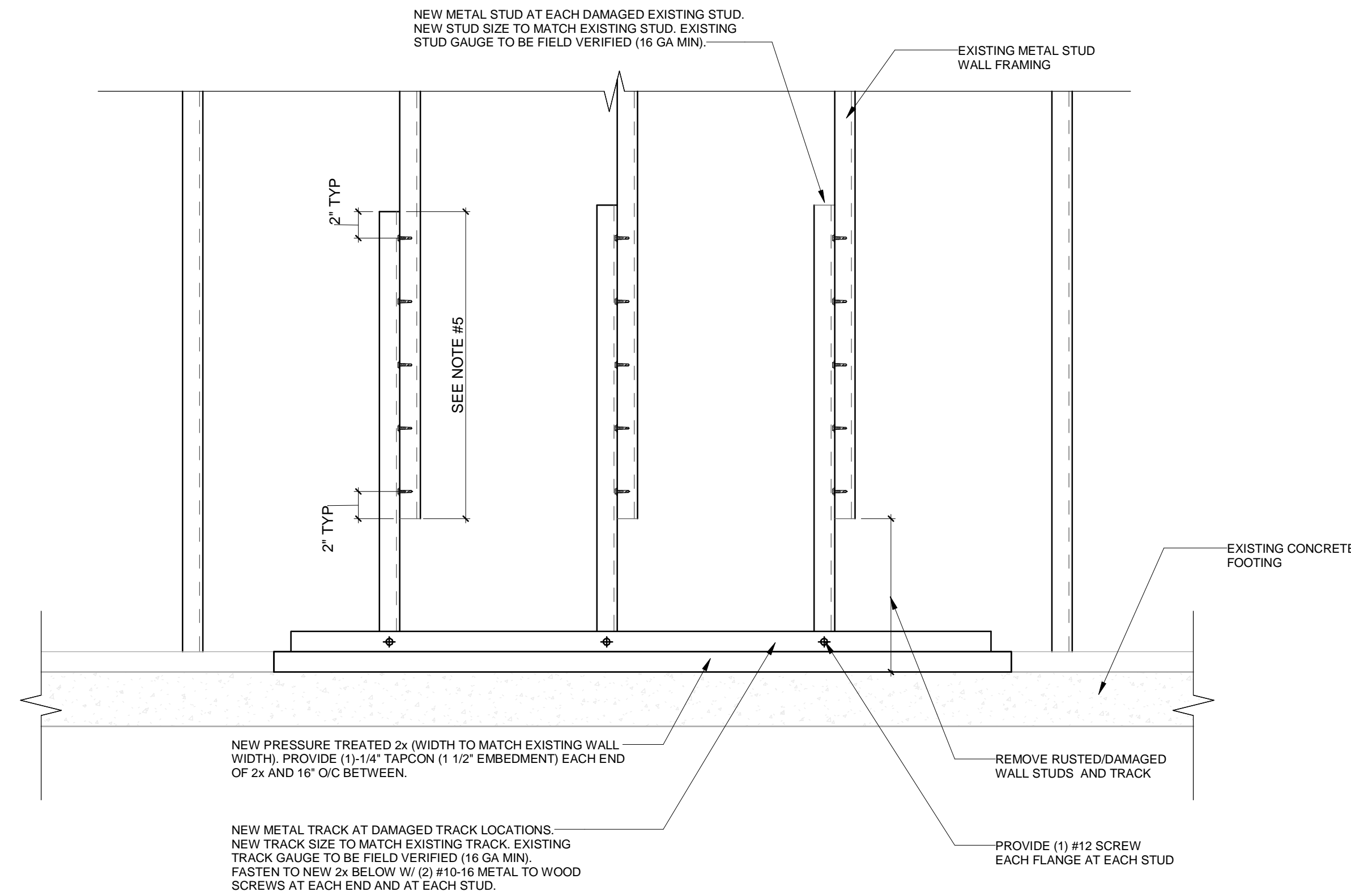
Project No.: 1236-001

Drawing No: **S-405**

Drawn by: AM Checked by: MDB

BID SET

EXISTING METAL STUD WALL REPAIR DETAIL



- NOTES**
1. THE CONTRACTOR SHALL BRACE AND/OR SHORE EXISTING STRUCTURE AND STRUCTURAL ELEMENTS AS NECESSARY PRIOR TO AND DURING DEMOLITION AND REPAIR. ALL REQUIRED SHORING IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
  2. THIS DETAIL **DOES NOT** INCLUDE REPAIRS FOR ANY BUILD UP STUD COLUMNS/PACKS. IF ANY DAMAGED STUD COLUMNS/PACKS ARE FOUND NOTIFY THE E.O.R.
  3. CONTRACTOR TO FORMALLY DOCUMENT ALL REPAIR AREAS AND SUBMIT LOCATIONS TO E.O.R.
  4. ONCE THE EXISTING STRUCTURE IS PROPERLY SHORED, REMOVE ALL RUSTED/DAMAGED WALL STUDS AND BOTTOM OF WALL TRACKS.
  5. PROVIDE A MINIMUM LAP BETWEEN NEW AND EXISTING STUDS OF 2x0+ AND PROVIDE (2) #12 SCREWS AT 4+O/C (12 TOTAL SCREWS). PROVIDE 2x FROM END OF STUD TO FIRST SET OF SCREWS.
  6. AFTER REPAIRS ARE COMPLETE, CONTACT THE E.O.R. TO PERFORM A SITE VISIT TO VIEW REPAIRS PRIOR TO COVERING.
  7. REPLACE DEMOLISHED PORTION OF WALL SHEATHING / FINISH. SEE ARCHITECTURAL PLANS.

AT THIS TIME IT IS NOT KNOWN HOW MANY LOCATIONS OR EXTENTS OF EXISTING METAL STUD WALL REQUIRE REPAIR. CONTRACTOR TO REMOVE WALL COVERING FROM BOTTOM PORTION OF EXISTING WALLS FOR OBSERVATION TO DETERMINE AREAS REQUIRED TO BE REPAIRED.

D7 Detail 7  
SCALE: 1 1/2" = 1'-0"

THESE STRUCTURAL DRAWINGS ARE BASED UPON FIELD OBSERVED AS-BUILT CONDITIONS WHERE ACCESS WAS AVAILABLE. AS MORE EXISTING STRUCTURE IS EXPOSED, IF ANY DISCREPANCIES ARE FOUND NOTIFY THE ENGINEER OF RECORD.

REFER TO IBA CONSULTANTS, INC. "OAKS AT RIVERVIEW ASSESSMENT REPORT AND RECOMMENDATIONS" DATED FEBRUARY 16, 2023 FOR ADDITIONAL INFORMATION REGARDING EXTERIOR STAIR LANDINGS, CORRIDORS, EXTERIOR WALLS AND ROOFING.

No.	Date	Description
1	03/01/2023	Revisions

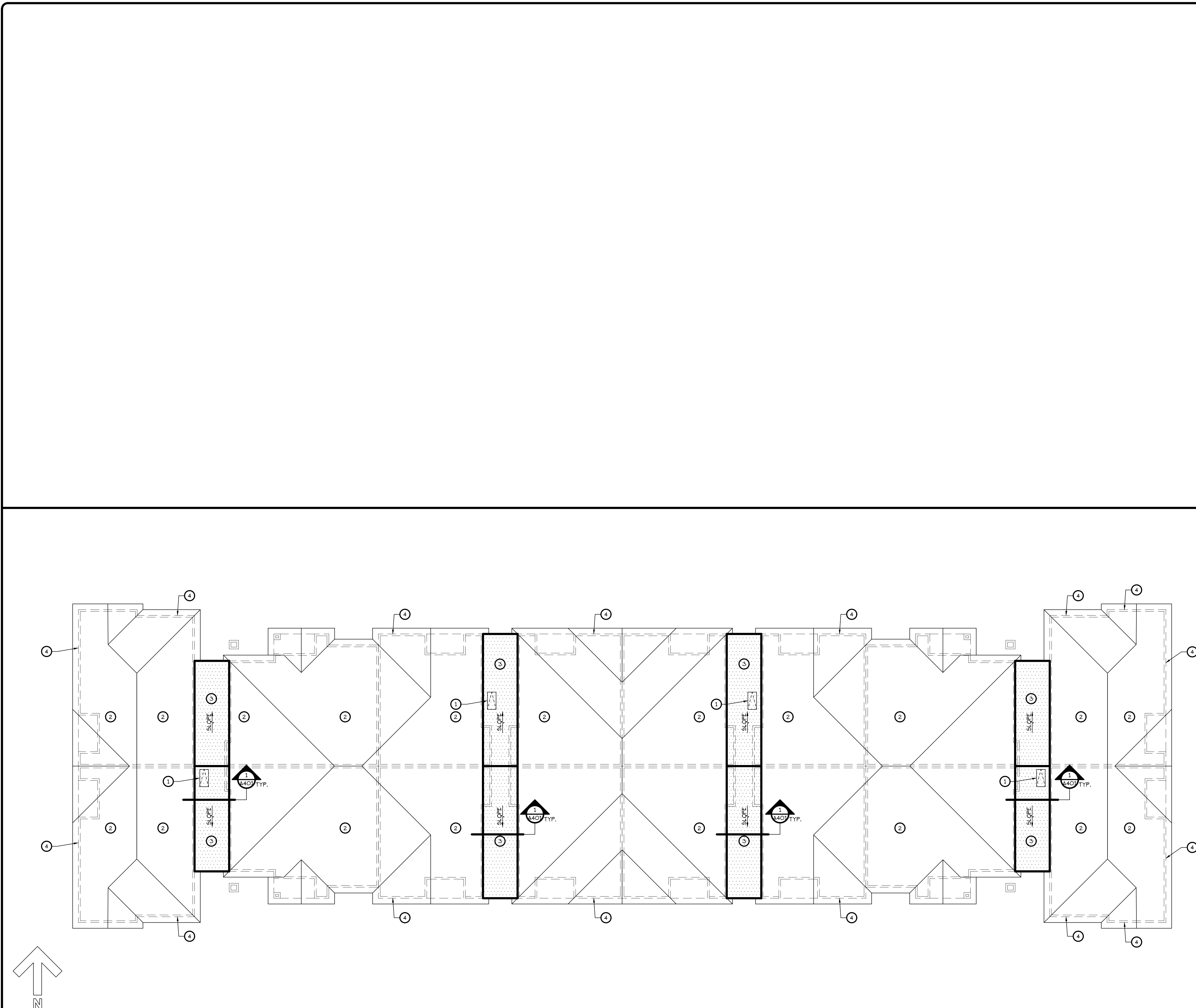
**FSG**  
FULLONE STRUCTURAL GROUP, INC.  
2253 CENTRAL AVENUE, UNIT #105  
ST. PETERSBURG, FLORIDA 33713  
PHONE: (727) 577-2222  
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DETAILS  
Project Info:  
Oaks at Riverview Apartments  
Project Street Address:  
7501 N. Florida Ave Tampa, FL 33604

Seal

Project No.: 1236-001  
Drawing No.: S-406  
Drawn by: AM Checked by: MDB



**1 ROOF/BUILDING KEYPLAN**  
SCALE: 3/32" = 1'-0"

**KEYED NOTES**

- ① EXISTING ROOF MATCH - PROVIDE ROOF FLASHING PER DETAIL 9/A501. BELOW ROOF FRAME AND PROVIDE STUCCO PER DETAIL 3/A401.
- ② TIMBERLINE HDZ ARCHITECTURAL ROOF SHINGLES BY GAF OR APPROVED EQUAL WITH 25 YEAR WARRANTY.
- ③ ASTM D6878 COMPLYING GAF EVERGUARD TPO 60 MIL WHITE MEMBRANE OR APPROVED EQUAL WITH 20-YEAR WARRANTY.
- ④ EXISTING WALL BELOW

**PROJECT SCOPE**

PROJECT CONSISTS OF FULL TEAR-OUT AND REPLACEMENT OF COMBINATION ASPHALT SHINGLE AND BUILT-UP TPO ROOF - ROOF UNDERLAYMENT - GAF WAETHERWATCH 73 MIL THICK LEAK BARRIER OR APPROVED EQUAL WITH 25 YEAR WARRANTY. VENT PIPE CAPS, LEAD PIPE BOOTS AND ALL METAL VALLEYS, FLASHINGS, DRIP EDGE, ROOF DRAINS, AND COUNTER FLASHINGS ON PARAPET WALLS.

**GENERAL NOTES**

- 1. CONTRACTOR TO NOTIFY ARCHITECT AND INDICATE ALL EXISTING ROOF VENTS AND VENT PIPE CAPS, DRAINS AND OTHER ROOFING APPURTENANCES. DETAILS ARE PROVIDED ON SHEET A501.
- 2. NO NEW PENETRATION OR CUT INTO EXISTING ROOF SHEATHING IS ALLOWED.
- 3. ALL FIRE RATED ENCLOSURES IN ROOFS AND WALLS SHOULD BE MAINTAINED AND PROTECTED.
- 4. GENERAL CONTRACTOR TO SUBMIT PRODUCT SPECIFICATIONS AND SAMPLES FOR THE ITEMS LISTED BELOW:
  - A. TIMBERLINE HDZ ARCHITECTURAL ROOF SHINGLES BY GAF OR APPROVED EQUAL WITH 25-YEAR WARRANTY.
  - B. ASTM D1970 COMPLYING SELF-ADHERING POLYMER-MODIFIED BITUMEN UNDERLAYMENT - GAF WAETHERWATCH 73 MIL THICK LEAK BARRIER OR APPROVED EQUAL WITH 25 YEAR WARRANTY.
  - C. ASTM D6878 COMPLYING GAF EVERGUARD TPO 60 MIL WHITE MEMBRANE OR APPROVED EQUAL WITH 20 YEAR WARRANTY
  - D. ASTM G1289 TYPE I, CLASS 1, GRADE 2 COMPLYING GAF ENERGY GUARD POLYISOLATION BOARDS (20 PSF AND MINIMUM OF 1.5 INCH THICK) OR APPROVED EQUAL WITH 20 YEAR WARRANTY. CONTRACTOR TO VERIFY THICKNESS OF INSULATION BOARDS PRIOR TO START OF WORK AND TO NOTIFY PROJECT MANAGER OF ACTUAL THICKNESS.
  - E. 5/8" - 4"x8' EXTERIOR GRADE PRESSURE TREATED FLYWOOD ROOF SHEATHING, (REPLACE AS NEEDED)
  - F. FT 2 X 10 FASGIA BOARDS WITH PREFINISHED FASGIA COVER (REPLACE AS NEEDED)
  - G. ALL NEW REPLACEMENT METAL ROOF VENTS, VENT PIPE CAPS, GUTTERS AND DOWNSPOUTS MUST COMPLY WITH FLORIDA BUILDING CODE, SMACMA AND AAMA 2603 STANDARDS.
- 5. GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES IN DRAWINGS PRIOR TO COMMENCING WITH ANY WORK.
- 6. GENERAL CONTRACTOR TO INSTALL ALL PRODUCTS PER MANUFACTURER GUIDELINES AND INSTALLATION INSTRUCTIONS.
- 7. CONTRACTOR SHALL PROVIDE QUALITY ASSURANCE IN STRICT ACCORDANCE WITH CURRENT CODES AS WELL AS TERMS, CONDITIONS, SPECIAL CONTRACT REQUIREMENTS, SPECIFICATIONS, ATTACHMENTS, AND EXHIBITS CONTAINED IN THE GENERAL CONDITIONS OF CONTRACT.
- 8. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY EXISTING CONDITIONS FOR EACH INDIVIDUAL WORK ITEM BEFORE SUBMITTING A BID. THE CONTRACTOR SHALL BE SATISFIED THAT THERE ARE NO DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THE DRAWINGS ISSUED. BEFORE ORDERING MATERIALS/PRODUCTS, THE CONTRACTOR SHALL VERIFY RELATED CONDITION TO INSURE PROPER INSTALLATION. NOTIFY TAMPA HOUSING AUTHORITY AND DESIGN TEAM OF ANY HIDDEN CONDITION DISCOVERED WHICH MIGHT AFFECT THE PROGRESS OF WORK.
- 9. CONTRACTOR SHALL SECURE AND PAR FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- 10. THE WORK SHALL BE DONE DURING REGULAR TAMPA HOUSING AUTHORITY WORKING HOURS MONDAY THRU FRIDAY 8:00AM - 5:00PM. THE CONTRACTOR MAY BE AUTHORIZED TO WORK WEEKENDS OR EVENINGS ON A REQUESTED BASIS.
- 11. CONTRACTOR SHALL FULL MAGNET AROUND JOB AREA DAILY TO PICK UP ANY LOOSE NAILS OR STAPLES.
- 12. CONTRACTOR SHALL ALWAYS PROVIDE A CLEAN WORK SITE, INCLUDING DESIGNATED STORAGE FEES, FREE FROM ACCUMULATION OF WASTE MATERIALS. CONSTRUCTION MATERIALS SHALL BE STORED IN TRAILER AND NOT IN THE BUILDING, UNLESS PREVIOUSLY AUTHORIZED BY THA. IN ANY CASE, CONSTRUCTION MATERIALS SHALL NOT BLOCK CIRCULATION OR CREATE OBSTACLES.
- 13. CONTRACTOR SHALL PROVIDE TRASH DUMPSTERS TO ACCOMMODATE PROPER DISPOSAL OF DEMOLISHED MATERIALS AND RELATED DEBRIS. (PROVIDE A PROPER DISPOSAL IN ACCORDANCE WITH WASTE MANAGEMENT)
- 14. WHEN NEW PRODUCTS ARE TO BE INSTALLED TO REPLACE EXISTING OLD PRODUCTS, REMOVE, AND DISPOSE OF OLD PRODUCTS. PERFORM CUTTING AND PATCHING OR OTHER MANUFACTURER PRE-INSTALLATION REQUIREMENTS AS SPECIFIED IN MANUFACTURER'S INSTALLATION MANUAL. INSTALL NEW PRODUCTS AS SPECIFIED IN MANUFACTURER'S INSTALLATION MANUAL. PREPARE AND PAINT ADJACENT WALLS AFFECTED BY THE INSTALLATION OF NEW PRODUCTS.
- 15. CONTRACTOR TO ENSURE THAT ANY SPILLAGE OR OVER SPRAY THAT MAY GET ON THE FLOOR, WINDOWS, CABINETS, APPLIANCES AND ON THE PROPERTY IS CLEANED AT THE END OF EVERY WORKDAY.
- 16. CONTRACTOR SHALL PERFORM A PROFESSIONAL FINAL CLEAN-UP OF THE BUILDING SITE AT THE END OF THE PROJECT.
- 17. SEE "DETAILED SCOPE OF WORK" DOCUMENT PROVIDED BY TAMPA HOUSING AUTHORITY FOR ADDITIONAL INFORMATION REGARDING LOCATIONS OF NEW GUTTERS AND DOWNSPOUTS.
- 18. GENERAL CONTRACTOR TO FOLLOW RECOMMENDATIONS FROM ASSESSMENT REPORT BY IBA CONSULTANTS DATED FEBRUARY 16, 2023. PROVIDE QUESTIONS TO TAMPA HOUSING AUTHORITY AND DESIGN TEAM FOR CLARIFICATIONS WHILE BIDDING.

No.	Date	Description
1	3/12/23	REPAIRS

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PHONE: (727) 577-2222  
FAX: (727) 577-2221  
EB: #28152  
Project No.: 1236-001

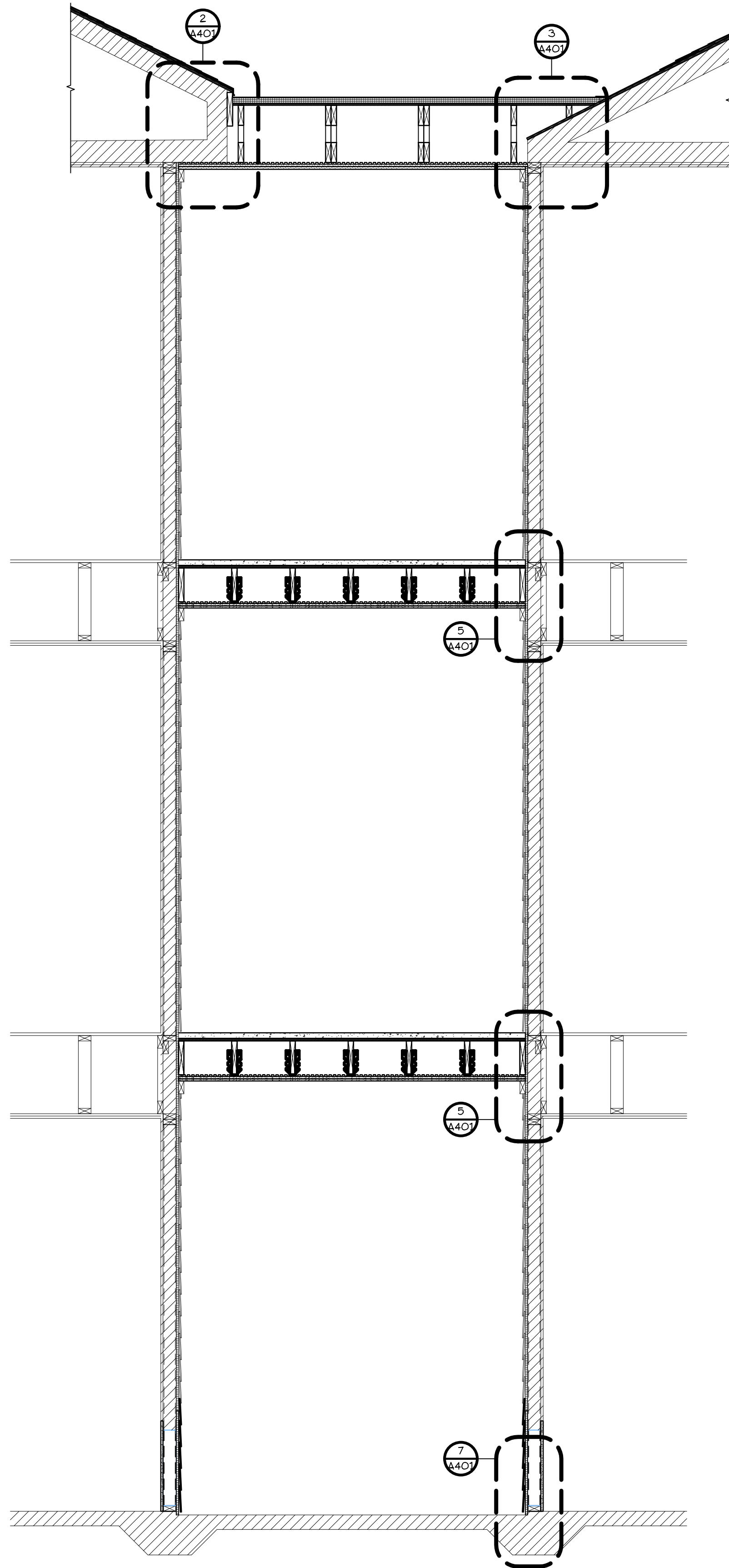
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**Project Info:**  
Oaks at Riverview Apartments  
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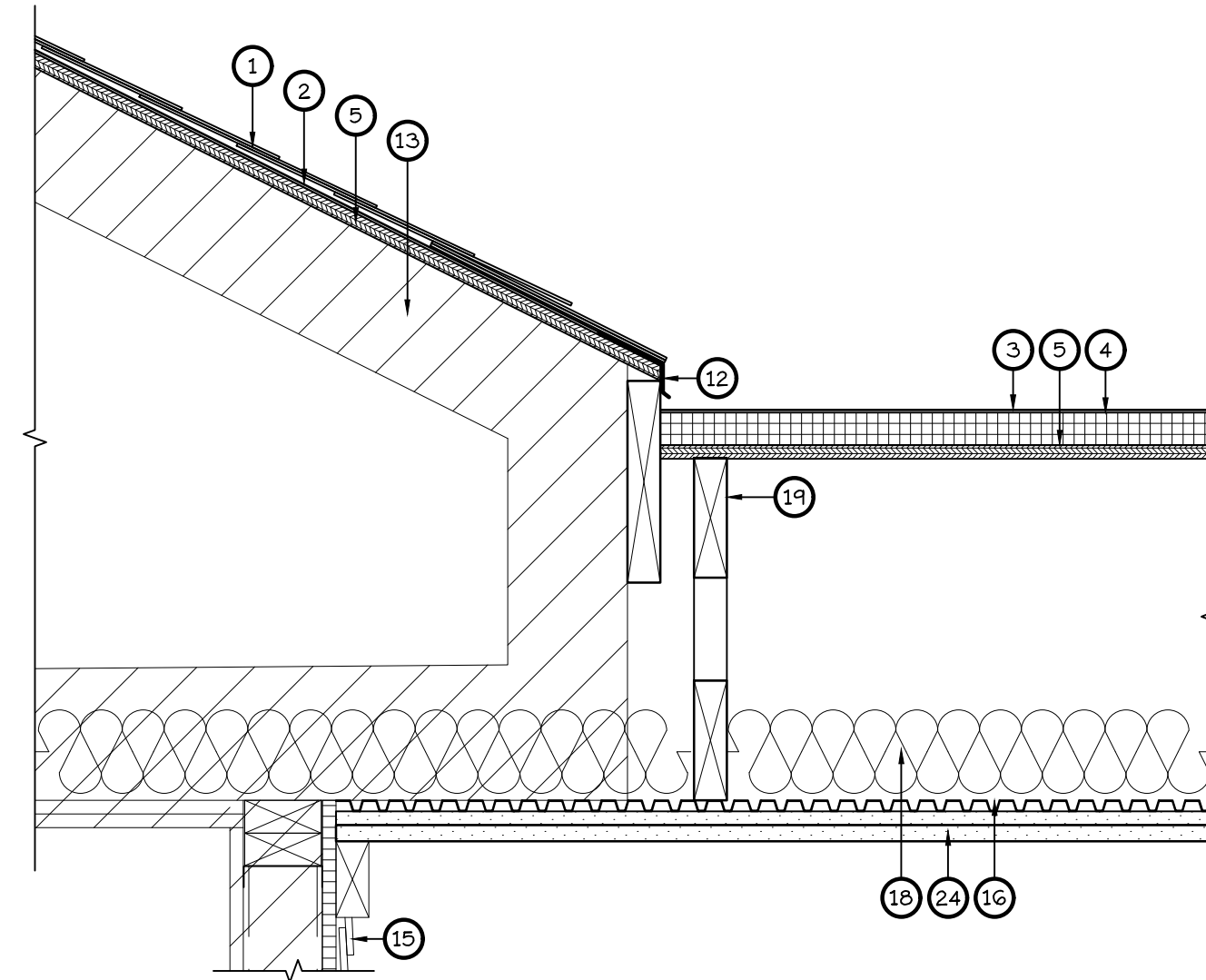
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Project No.: 1236-001  
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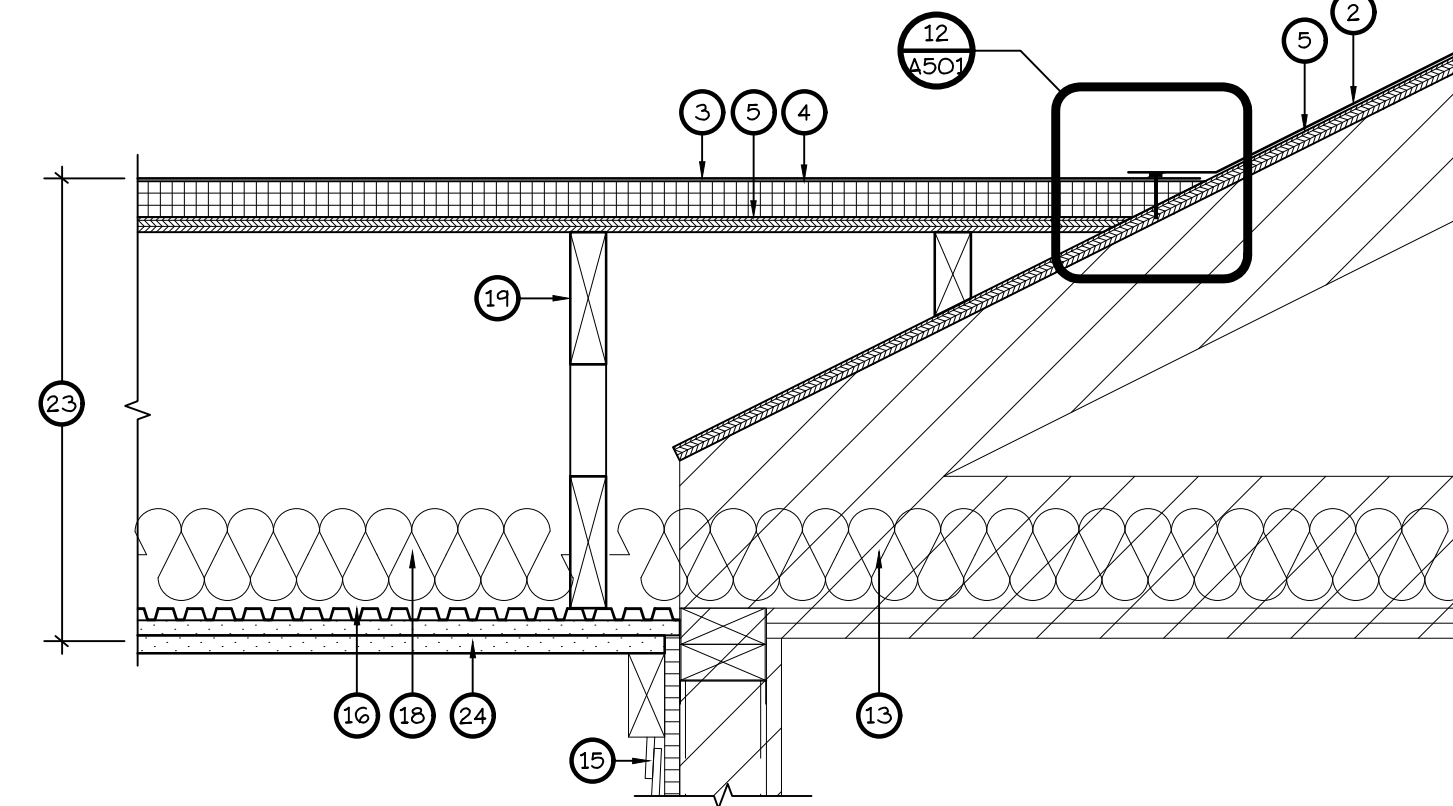
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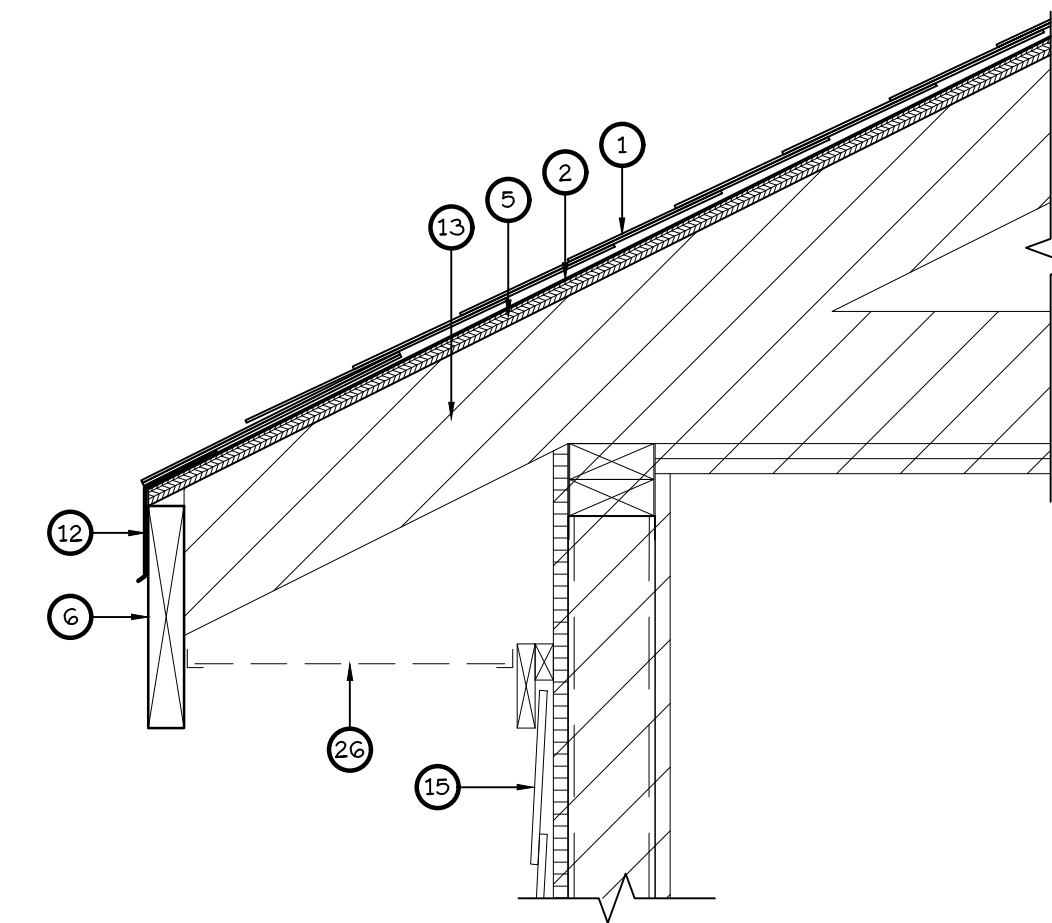
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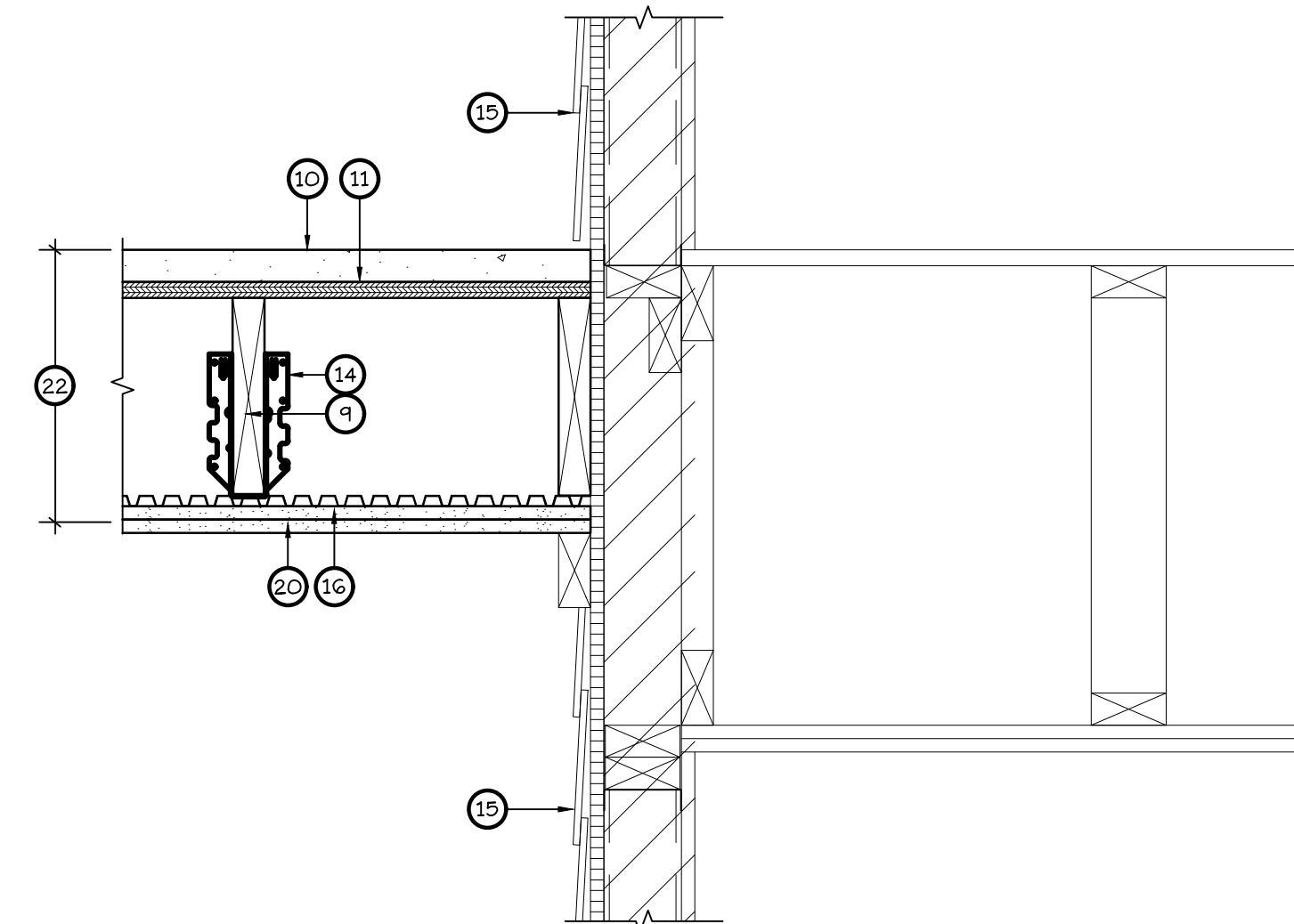
**2 ENLARGED DETAIL**  
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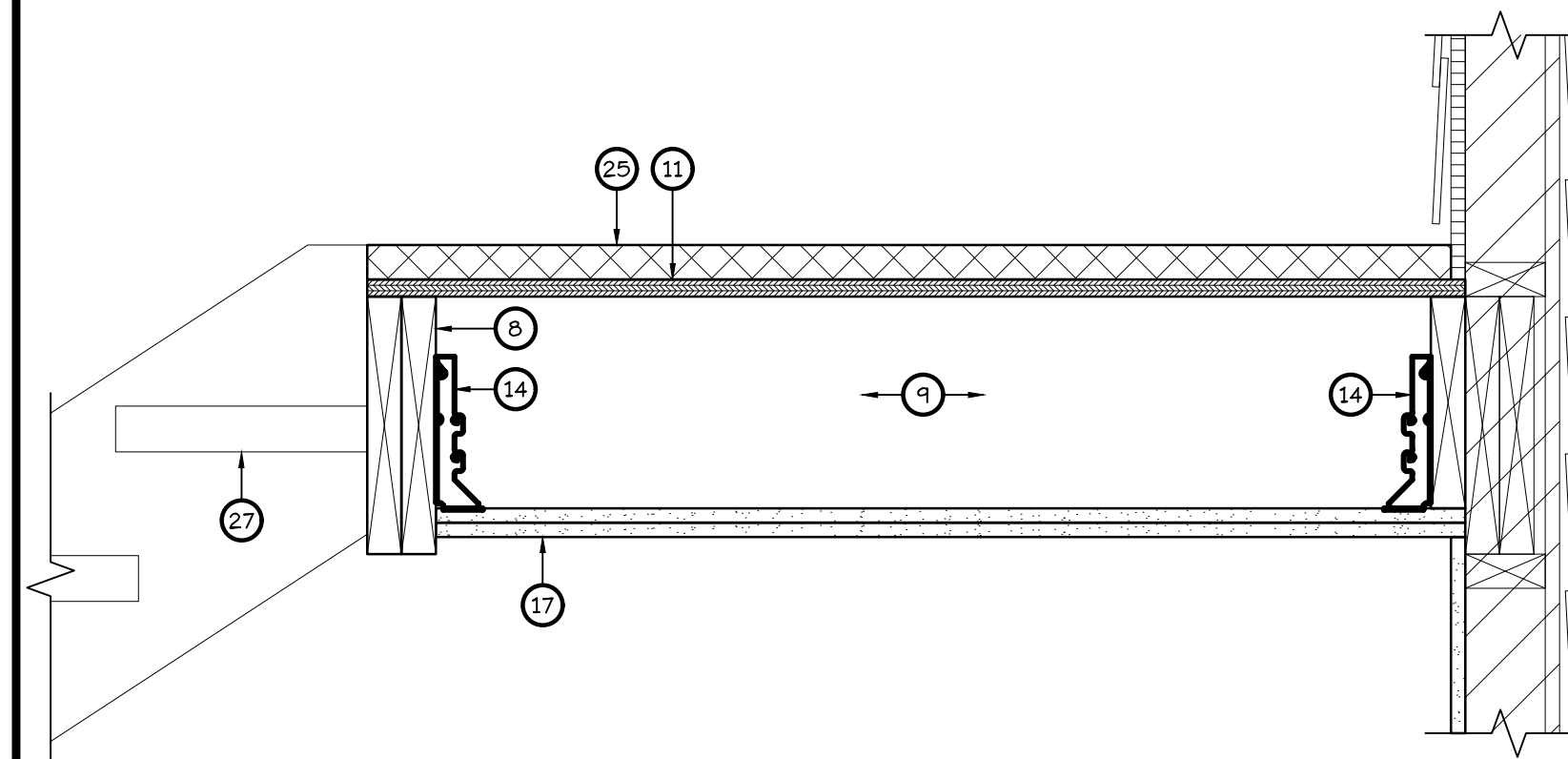
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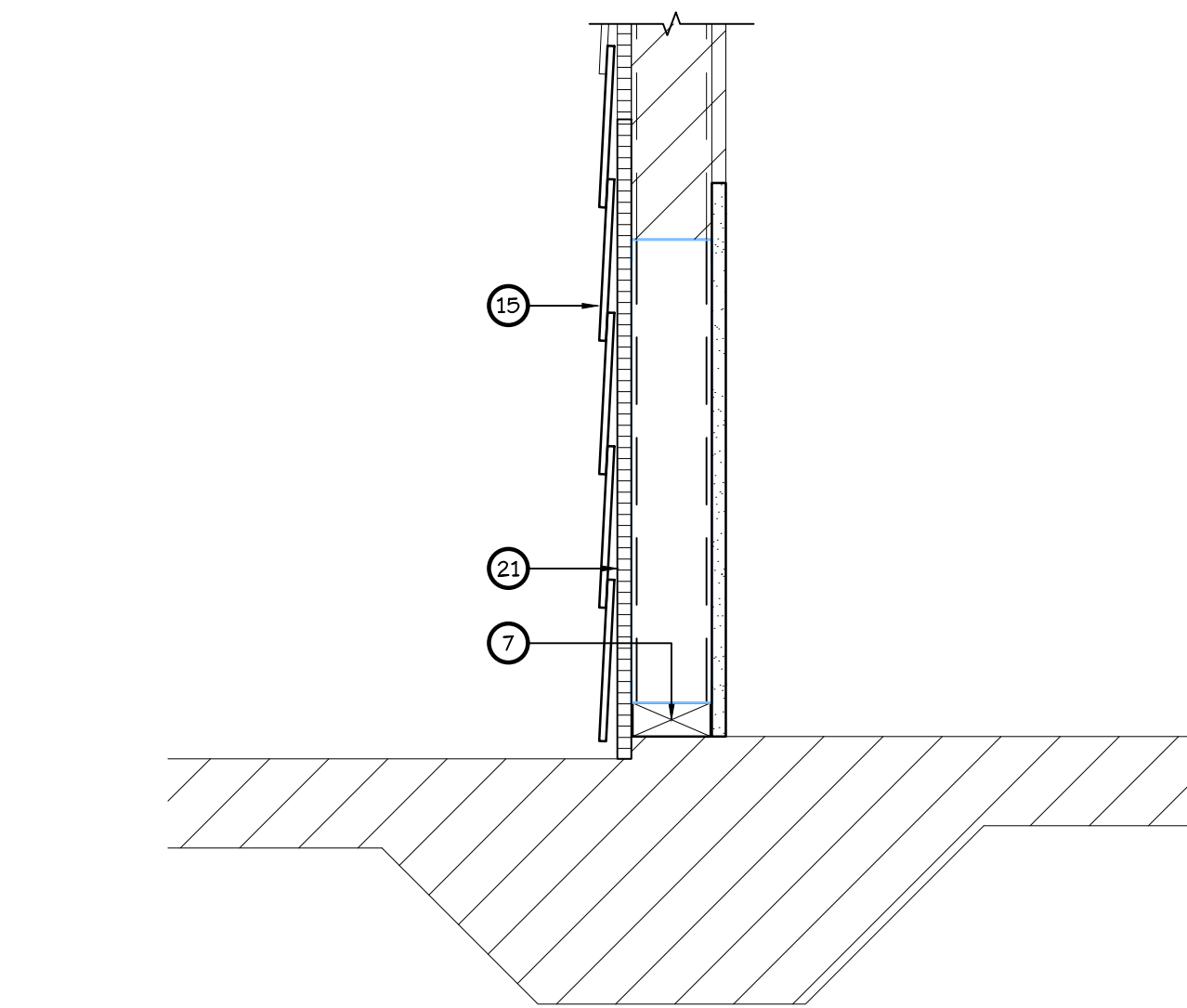
**4 TYPICAL FASCIA/OVERHANG**  
SCALE: 1 1/2" = 1'-0"



**5 ENLARGED DETAIL**  
SCALE: 1 1/2" = 1'-0"



**6 STAIR LANDING DETAIL**  
SCALE: 1 1/2" = 1'-0"



**7 ENLARGED DETAIL**  
SCALE: 1 1/2" = 1'-0"

**KEYED NOTES**

- 1 TIMBERLINE HDZ ARCHITECTURAL ROOF SHINGLES BY GAF OR APPROVED EQUAL WITH 25 YEAR WARRANTY.
- 2 ASTM D1970 COMPLYING SELF-ADHERING POLYMER-MODIFIED BITUMEN UNDERLAYMENT - GAF WEATHERWATCH 73 ML THICK LEAK BARRIER OR APPROVED EQUAL WITH 25-YEAR WARRANTY.
- 3 ASTM D6878 COMPLYING GAF EVERGUARD TPO 60 ML WHITE MEMBRANE OR APPROVED EQUAL WITH 20-YEAR WARRANTY.
- 4 ASTM C1289 TYPE I, CLASS 1, GRADE 2 COMPLYING GAF ENERGYGUARD POLYISO-INSULATION BOARDS (20 PSI AND MINIMUM OF 1.5 INCHES THICK) OR APPROVED WITH 20-YEAR WARRANTY. CONTRACTOR TO VERIFY THICKNESS OF INSULATION BOARD BOARDS PRIOR TO START OF WORK AND TO NOTIFY PROJECT MANAGER OF ACTUAL THICKNESS.
- 5 5/8" x 4' x 8' EXTERIOR GRADE PRESSURE TREATED PLYWOOD ROOF SHEATHING. (REPLACE AS NEEDED)
- 6 P.T. 2x10 FASCIA BOARD WITH PREFINISHED ALUMINUM FASCIA COVER (REPLACE AS NEEDED).
- 7 NEW P.T. 2x BASE PLATE (REPLACE AS NEEDED)
- 8 (2) 2x12'S - SEE STRUCTURAL DRAWINGS
- 9 2x10'S @ 16' O.C. - SEE STRUCTURAL DRAWINGS
- 10 EXISTING 1 1/2" TO 3 3/4" LIGHTWEIGHT CONCRETE OVER EXISTING SINGLE PLY WATERPROOFING MEMBRANE. (PART OF 1-HR RATED FLOOR SYSTEM - UL DESIGN L528 - PROVIDE PLI-DEK WATERPROOFING SYSTEM OVER CONCRETE IN CORRIDORS)
- 11 EXISTING FLOOR SHEATHING (PART OF 1-HR RATED FLOOR SYSTEM - UL DESIGN L528)
- 12 NEW GALVANIZED STEEL EAVE DRIP EDGE.
- 13 EXISTING WOOD TRUSS
- 14 SIMPSON LUS28 - SEE STRUCTURAL DRAWINGS
- 15 EXISTING HARDI-BOARD (REPLACE AS NEEDED)
- 16 NEW RESILIENT CHANNELS AT 16' O.C. (PART OF 1-HR RATED FLOOR SYSTEM - UL DESIGN L528)
- 17 (2) LAYERS OF 5/8" FIRE RATED GYPSUM BOARD (1 HR RATED - FACTORY MUTUAL FC-172)
- 18 R-30 BLOWN INSULATION
- 19 REPAIRED/MODIFIED GIRDER TRUSS - SEE STRUCTURAL FOR MORE INFORMATION
- 20 1 LAYER 5/8" EXTERIOR GRADE FIRE RATED GYPSUM BOARD (PART OF 1-HR RATED FLOOR SYSTEM - UL DESIGN L528)
- 21 5/8" CEMENT BOARD (REPLACE AS NEEDED)
- 22 1-HR FIRE RATED FLOOR ASSEMBLY (CUNERWRITERS LABORATORY DESIGN L528)
- 23 1-HR FIRE RATED ROOF ASSEMBLY (CUNERWRITERS LABORATORY DESIGN L528)
- 24 5/8" FIBER REINFORCED CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER TYVEK STUCCO WRAP ON 1 LAYER 5/8" EXTERIOR GRADE FIRE RATED GYPSUM BOARD.
- 25 NEW PLI-DEK SYSTEM OVER WOOD SHEATHING AT STAIR LANDINGS - SEE DETAILS ON SHEET A501. ENSURE THE TOP OF LANDING MATCHES THE PREVIOUS TOP OF LANDING SO RISE OF LAST STAIR TREAD TO LANDING IS SAME AS EXISTING WAS.
- 26 NEW CONT. PERFORATED VINYL SOFFIT BY KAYCAN LTD (PRODUCT APPROVAL 1219B.2) OR EQUAL.
- 27 EXISTING CONCRETE STAIR TREAD

No.	Date	Description
1	3/1/23	REPAIRS

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**BUILDING SECTION AND DETAILS**  
Project Info:  
Oaks at Riverview Apartments  
Project Street Address:  
110 Broad St Tampa, FL 33604

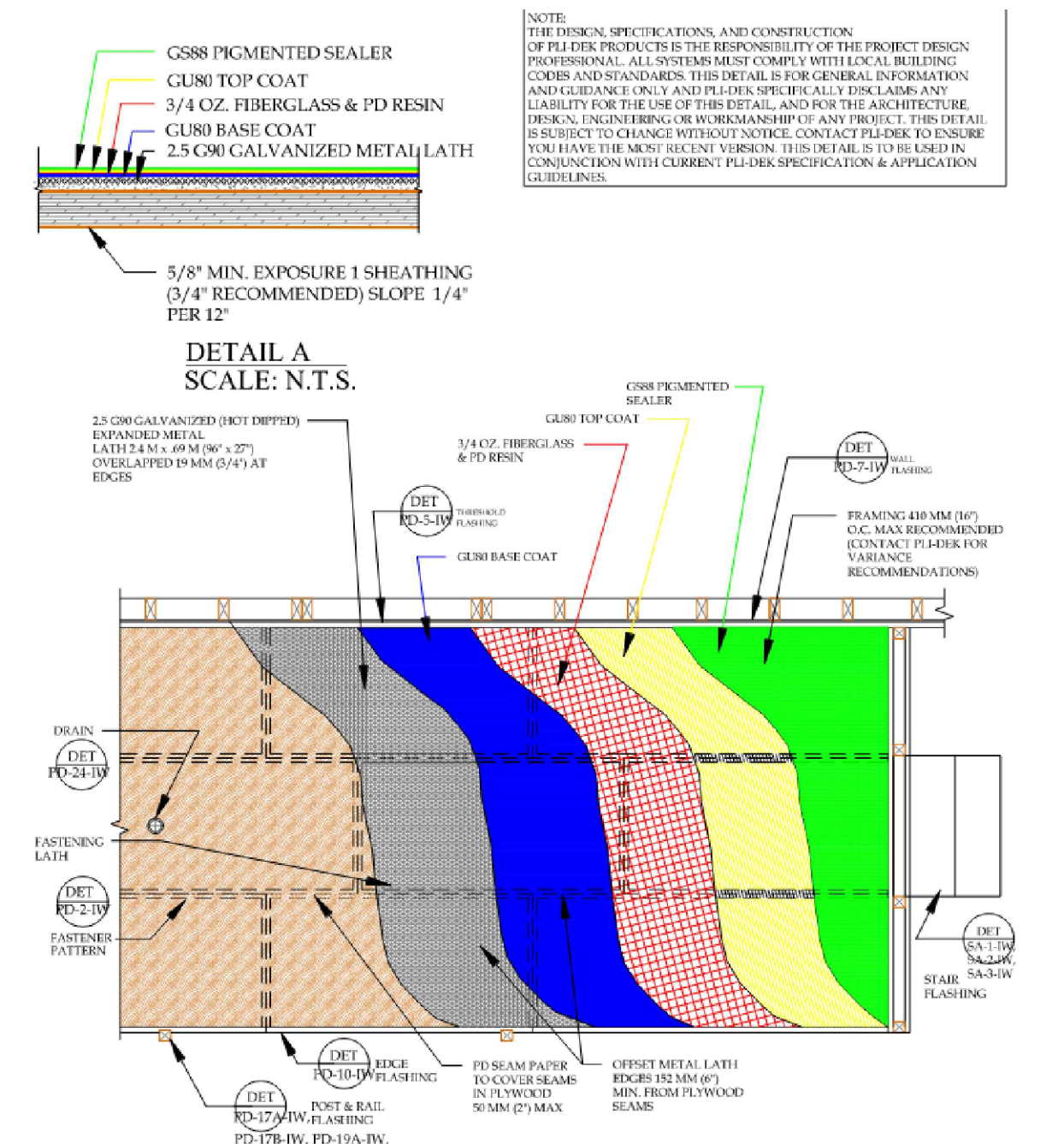
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Project No.: 1236-001

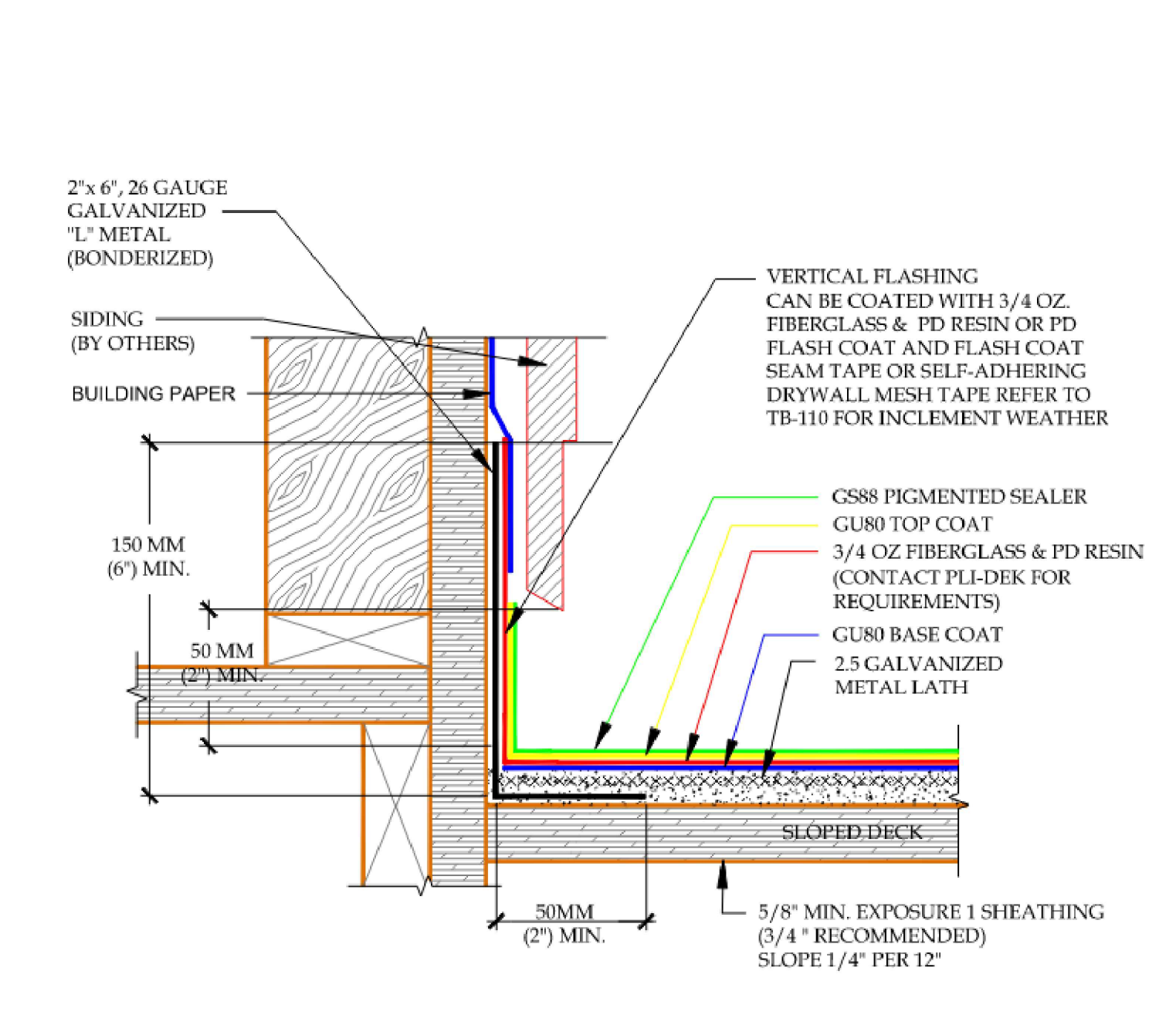
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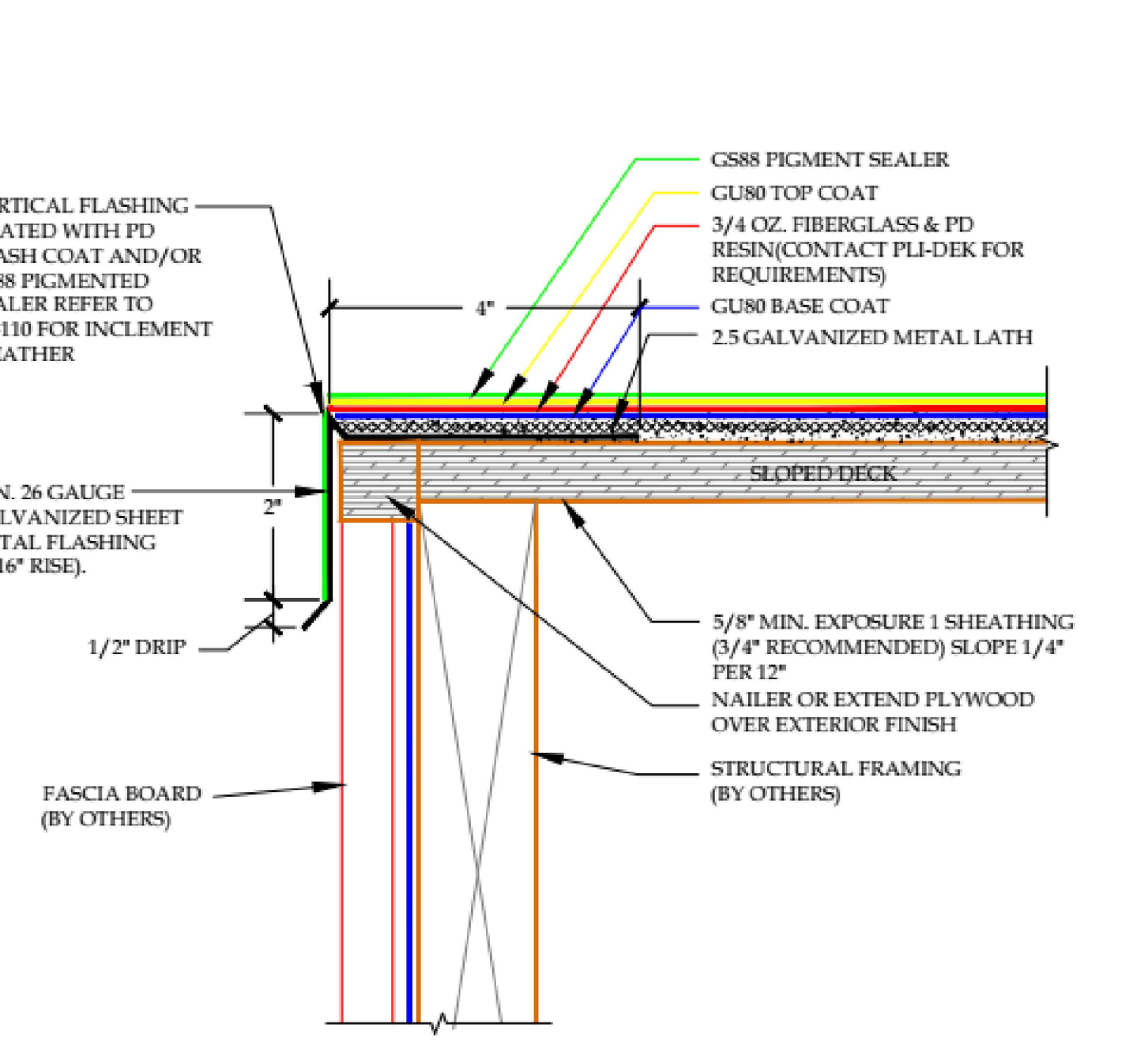
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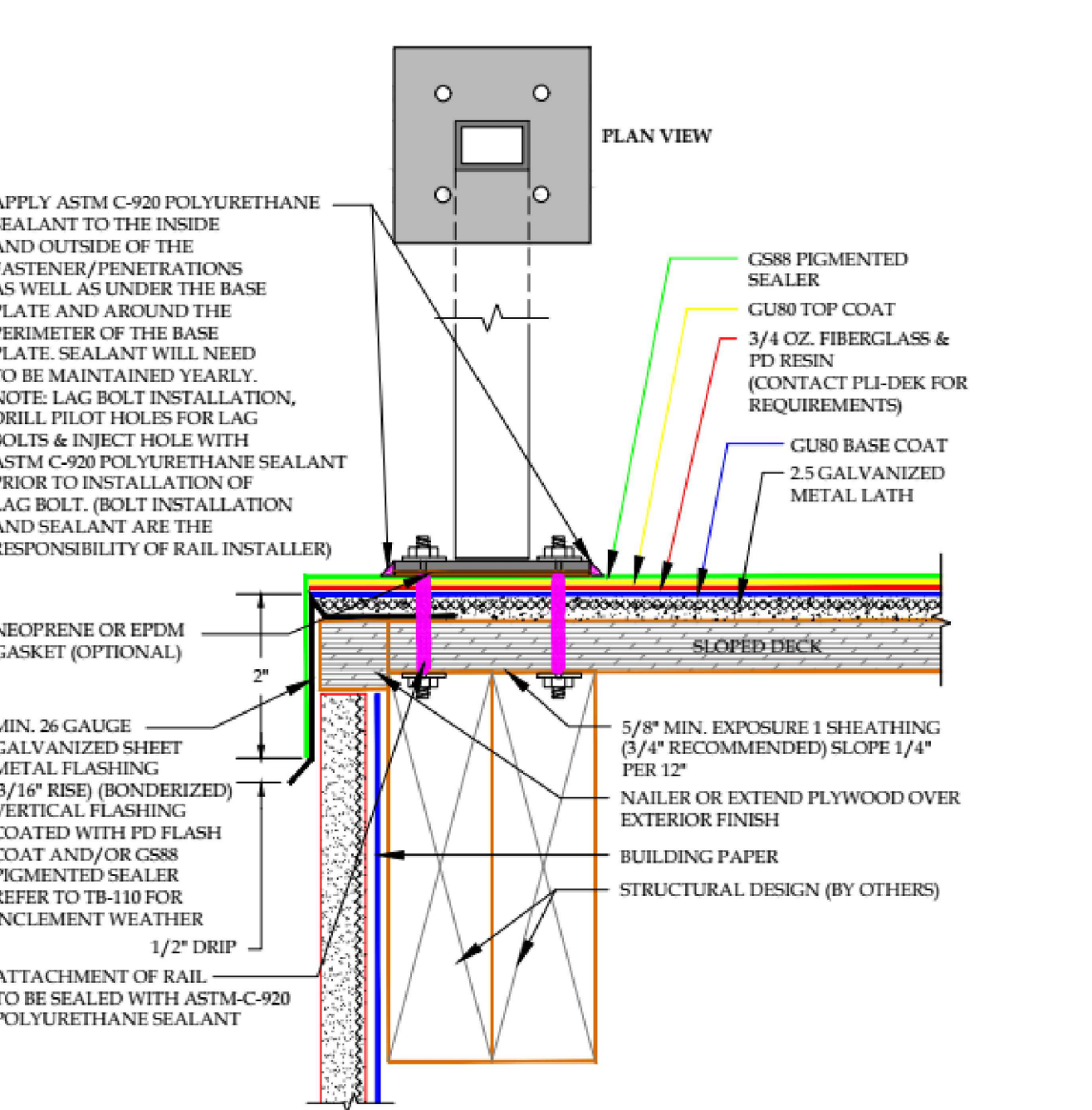
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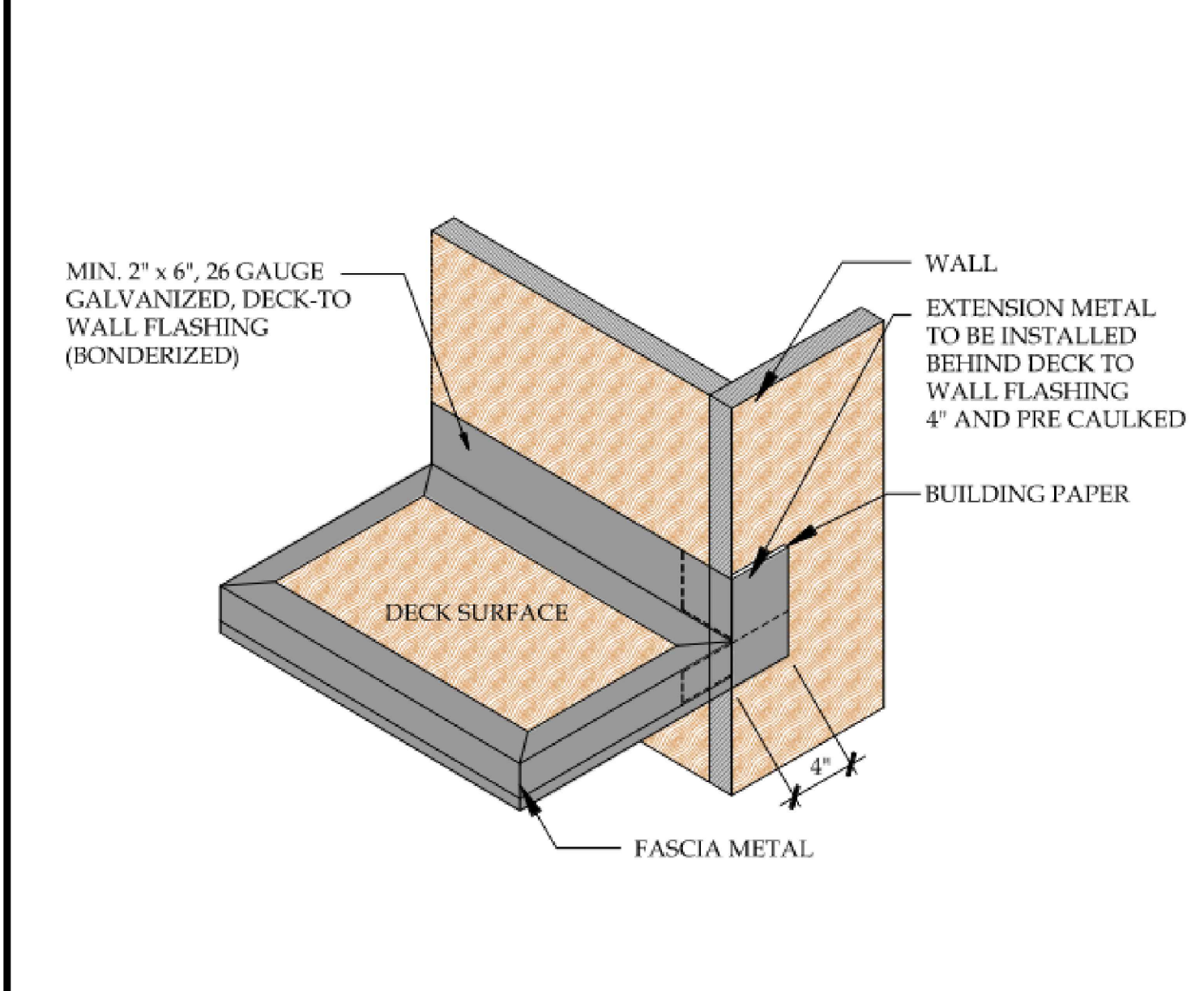
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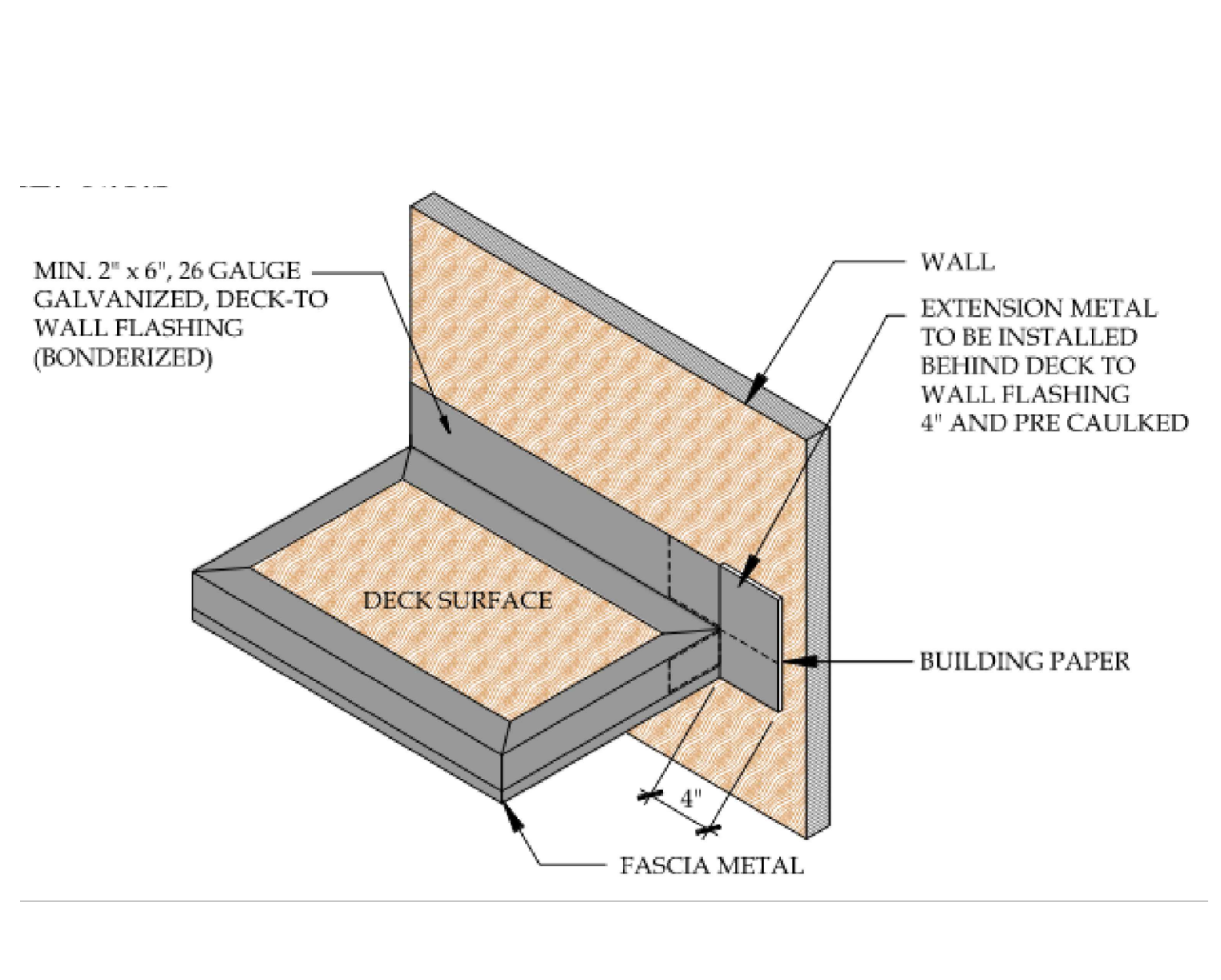
3 EDGE METAL FLASHING  
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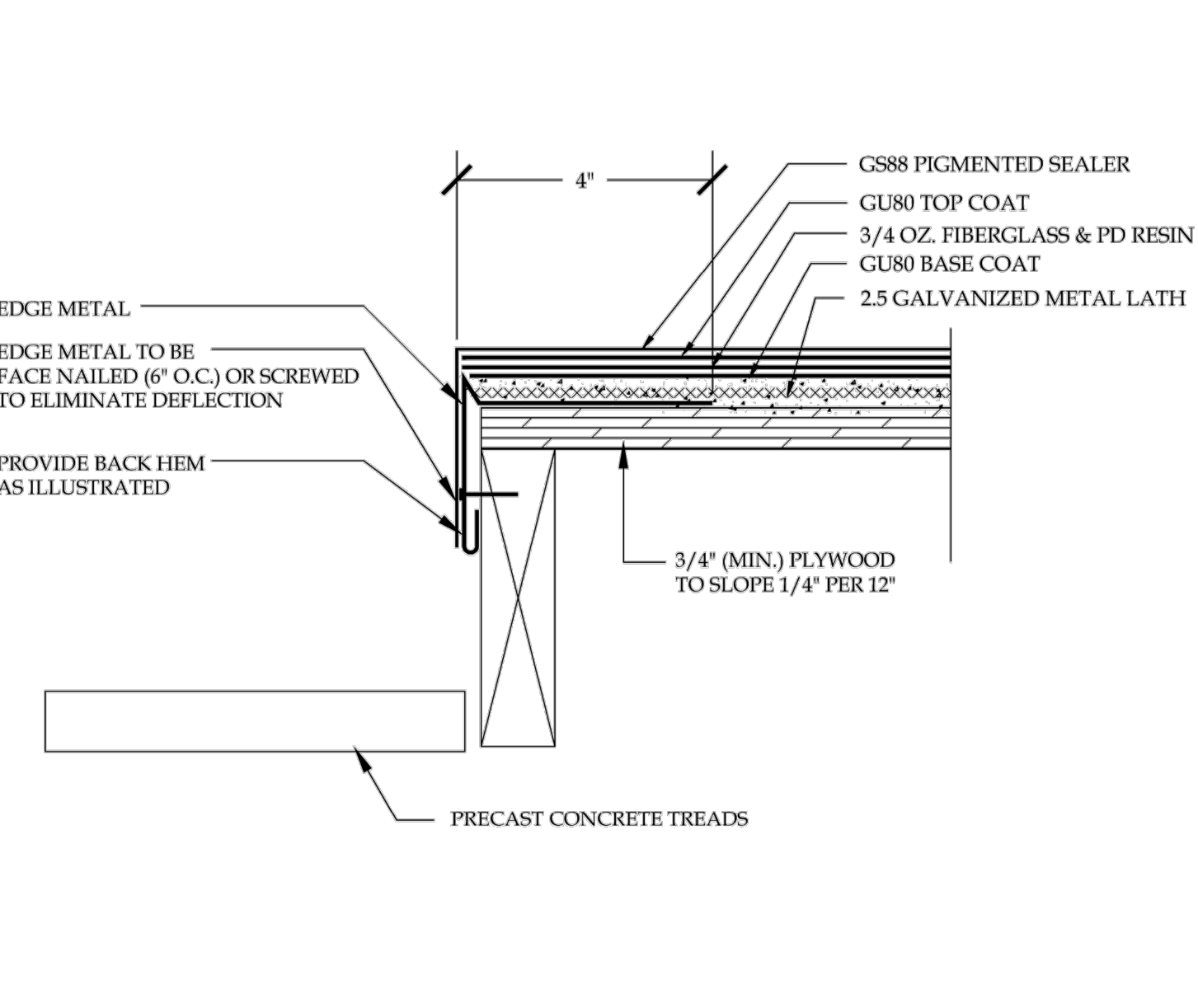
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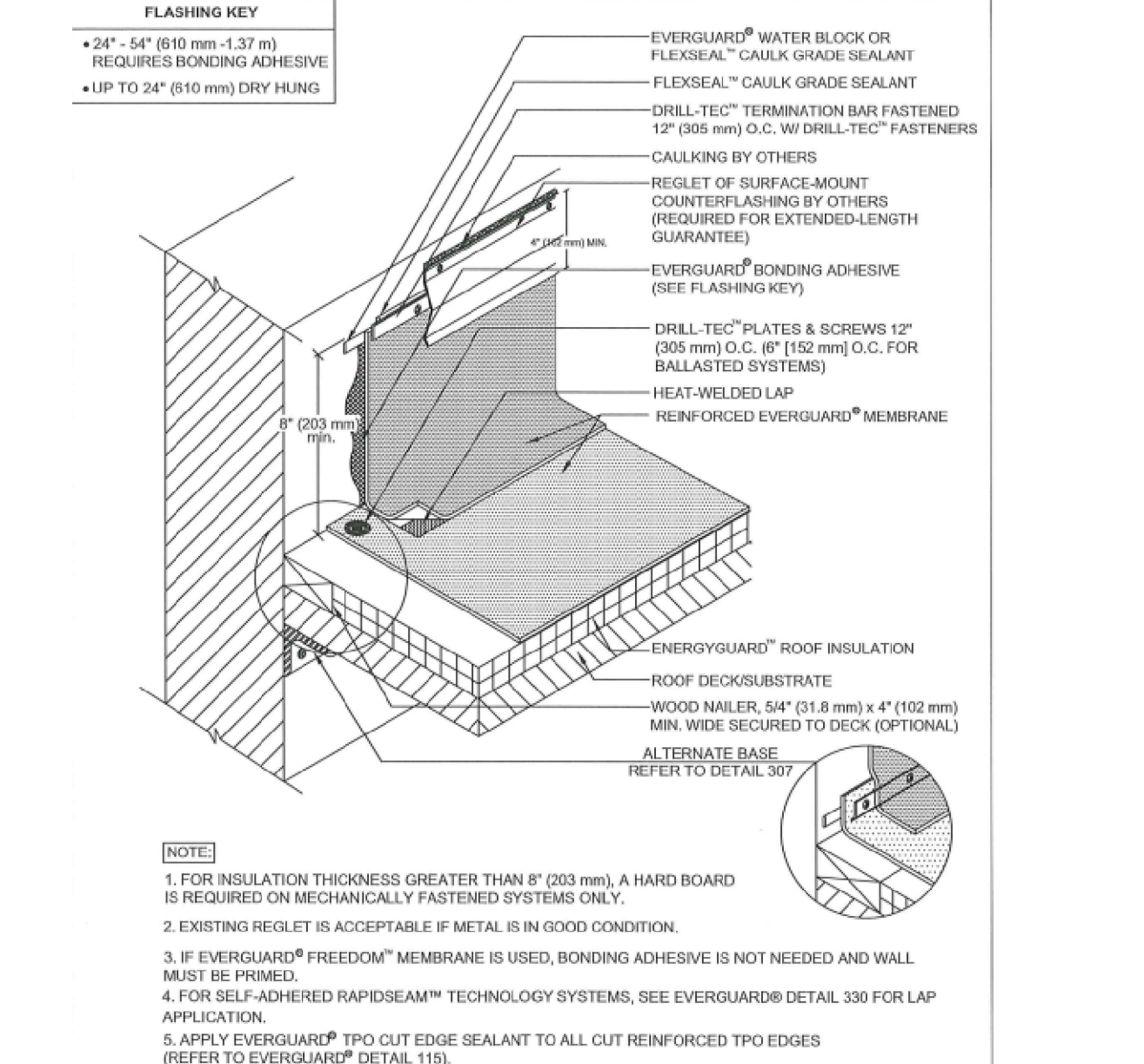
5 FASCIA TO WALL TO DECK FLASHING - CORNER  
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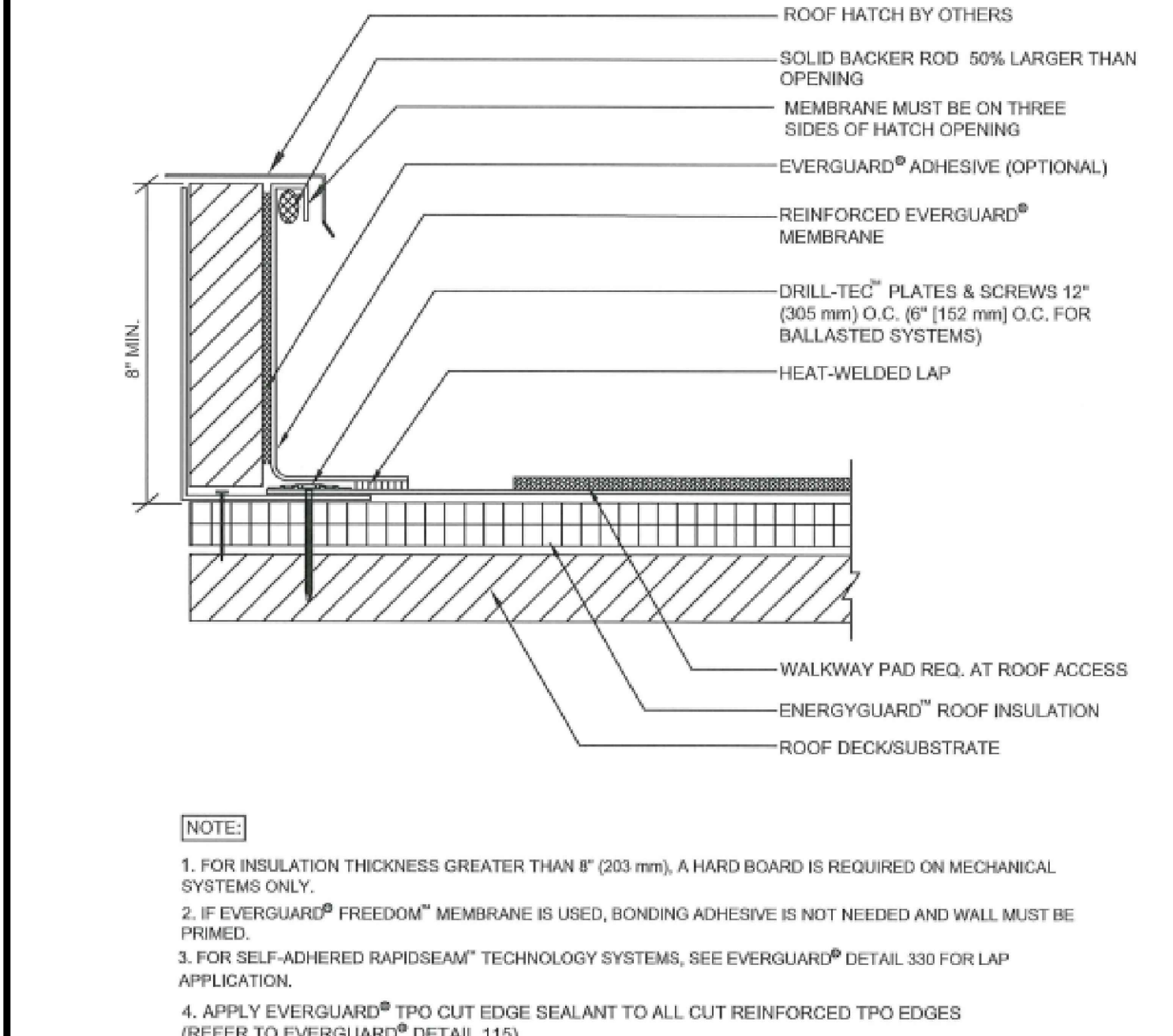
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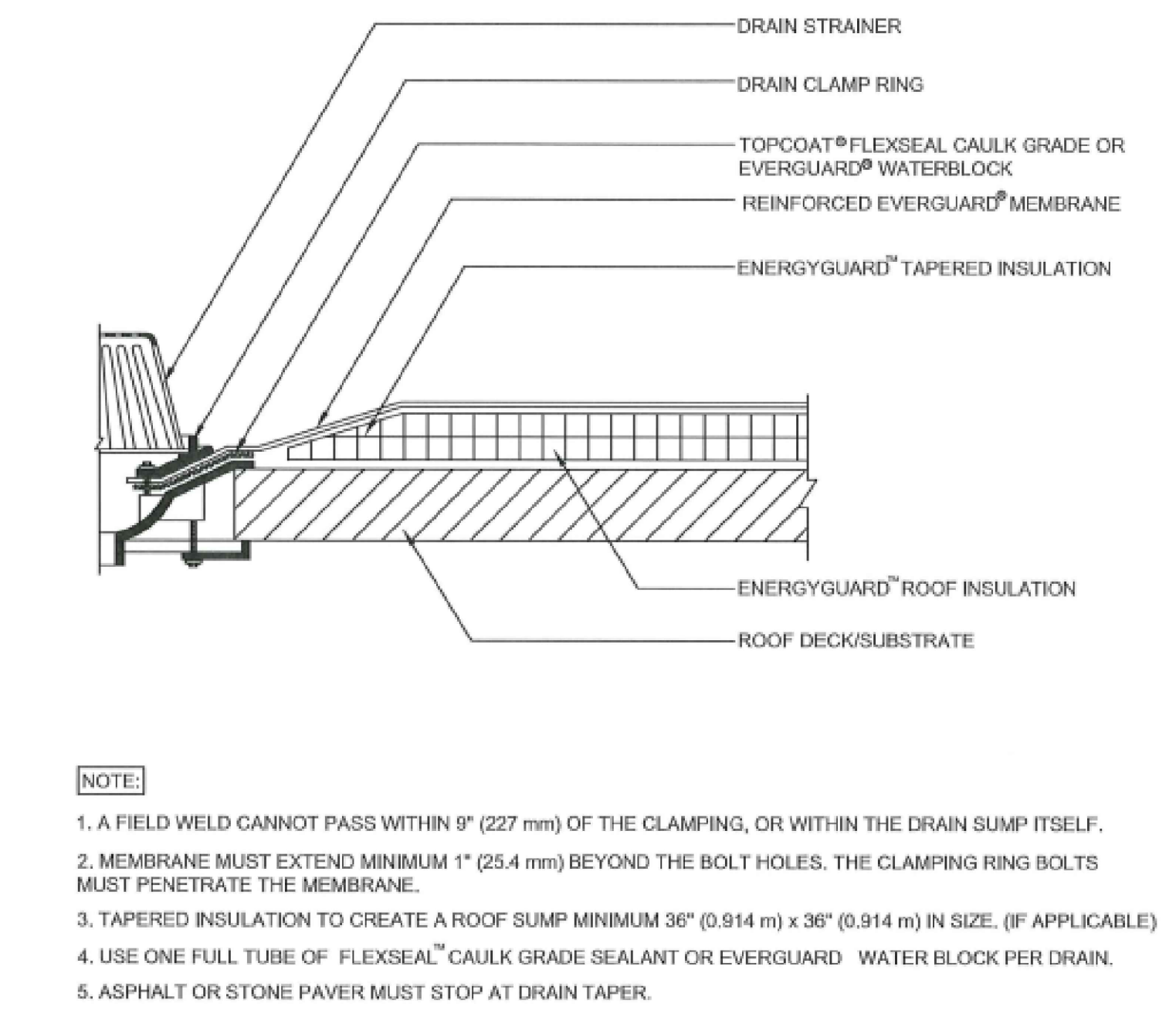
7 EDGE METAL AT LANDING  
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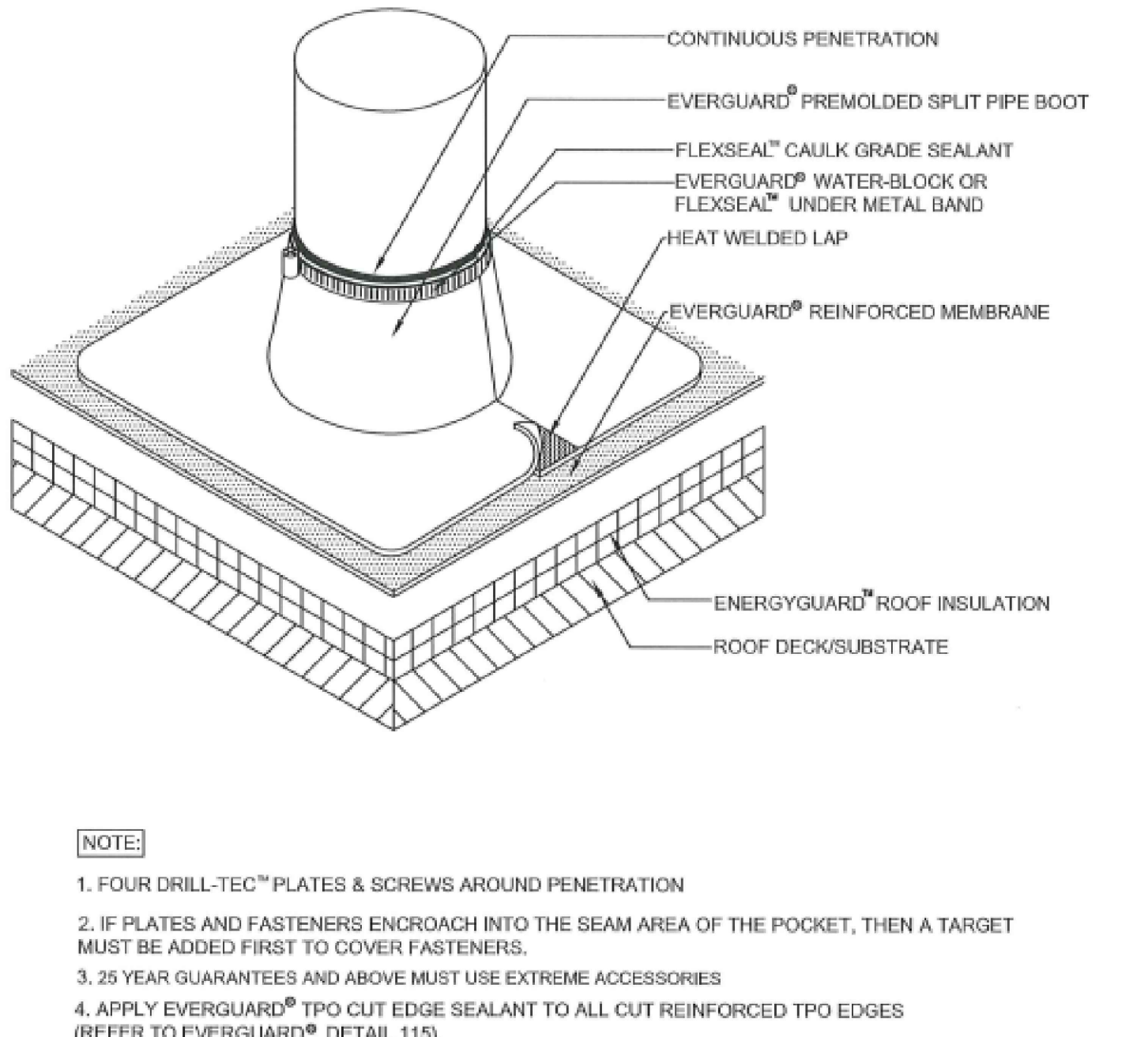
8 PARAPET WALL FLASHING W/COUNTERFLASHING  
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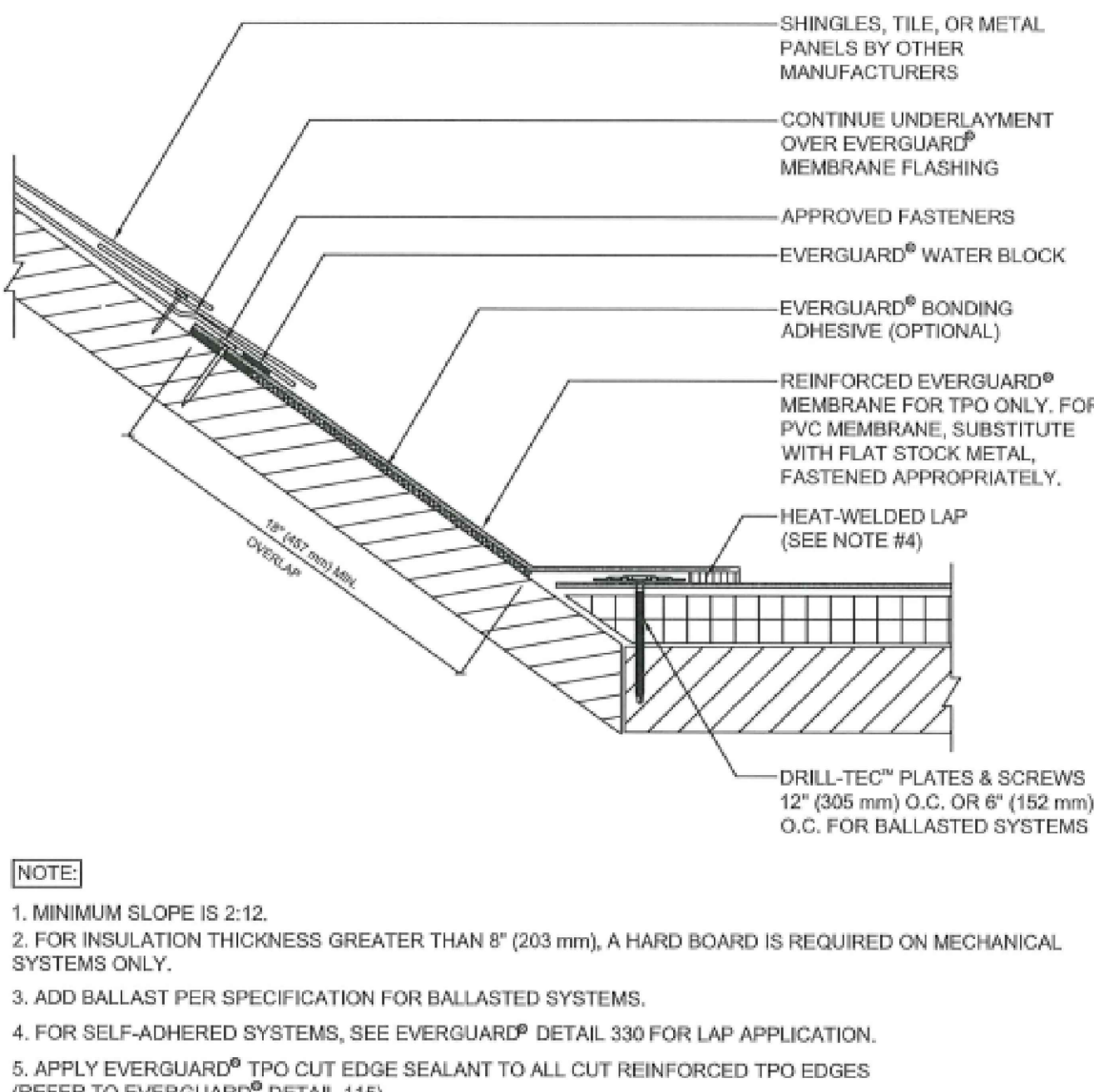
9 ROOF HATCH DETAIL  
SCALE: 1 1/2" = 1'-0"



10 STANDARD ROOF DRAIN FLASHING DETAIL  
SCALE: 1 1/2" = 1'-0"



11 SPLIT PIPE BOOT DETAIL  
SCALE: 1 1/2" = 1'-0"



12 STEEP SLOPE TIE-IN DETAIL  
SCALE: 1 1/2" = 1'-0"

NO.	DATE	DESCRIPTION
1	3/1/23	REPAIRS

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110 Broad St Tampa, FL 33604

**Project No.: 1236-001**  
Drawing No: **A501**  
Drawn by: MH Checked by: AZP  
DATE ISSUED: 12/22/2022  
PERMIT SET

# STRUCTURAL SPECIFICATIONS:

## STRUCTURAL SPECIFICATIONS:

- GENERAL CONTRACTOR (G.C.) IS RESPONSIBLE TO VERIFY AND COORDINATE ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH WORK. ANY DISCREPANCIES MUST BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ALL ENGINEERS OF RECORD. THE CONTRACTOR IS ALSO SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. FULLONE STRUCTURAL GROUP, LLC. IS NOT RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION OR FOR RELATED SAFETY PRECAUTIONS AND PROGRAMS. TYPICAL DETAILS AND WALL SECTIONS APPLY TO ALL SIMILAR SECTIONS AND CONDITIONS UNLESS NOTED OTHERWISE.
- CONTRACTOR MUST FULLY BRACE AND PROTECT ALL WORK IN PROGRESS UNTIL THE STRUCTURE IS COMPLETED.
- CONTRACTOR AND ALL APPLICABLE COMPONENTS FOR THIS PROJECT HAVE BEEN DESIGNED IN ACCORDANCE WITH APPROPRIATE PROVISIONS OF EACH OF THE FOLLOWING:
  - THE 7th EDITION (2020) FLORIDA BUILDING CODE.
  - ACI STANDARD 318-14 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE.
  - ANSI STANDARD A41.1 BUILDING CODE REQUIREMENTS FOR MASONRY.
  - ADDITIONAL BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (TMS 402-16 & TMS 602-16).
  - ASCC MANUAL OF STEEL CONSTRUCTION, LATEST EDITION.
- THE FOLLOWING STRUCTURAL CONSTRUCTION DOCUMENTS MUST BE USED IN CONJUNCTION WITH ALL APPLICABLE SPECIFICATIONS AND THE ARCHITECTURAL AND MECHANICAL CONSTRUCTION DOCUMENTS. IF THERE IS A DISCREPANCY BETWEEN DOCUMENTS, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT PRIOR TO PERFORMING ANY AND ALL CONSTRUCTION. IN CASE OF CONFLICT THE MOST STRINGENT CONDITION MUST ALWAYS APPLY. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND COORDINATE ALL CONSTRUCTION WITH THE ARCHITECTURAL CONSTRUCTION DOCUMENTS AND WITH ANY AND ALL APPLICABLE EQUIPMENT MANUFACTURER'S (I.E. WINDOW, DOOR, AIR HANDLER, ETC.) IF THERE ARE ANY CONFLICTS THE GENERAL CONTRACTOR IS REQUIRED TO REQUEST AND RECEIVE AN ARCHITECTURAL DIRECTIVE PRIOR TO PERFORMING WORK.
- IF THERE ARE ANY DIMENSIONS NOT SHOWN ON THE STRUCTURAL CONSTRUCTION DOCUMENTS REQUIRED FOR CONSTRUCTION THE GENERAL CONTRACTOR MAY REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND/OR CONTACT THE STRUCTURAL ENGINEER OF RECORD FOR ADDITIONAL INFORMATION.

## ROUGH CARPENTRY - STRUCTURAL WOOD FRAMING AND SHEATHING

- APPLICABLE PUBLICATIONS:
  - WESTERN WOOD PRODUCTS ASSOCIATION PUBLICATION: STANDARD GRADING RULES FOR WESTERN LUMBER
  - AMERICAN WOOD PRESERVERS INSTITUTE STANDARDS: PRESERVATIVE TREATMENT OF WOOD BY PRESSURE METHODS
  - NATIONAL FOREST PRODUCTS ASSOCIATION PUBLICATION: NATIONAL DESIGN SPECIFICATION FOR STRESS GRADED LUMBER AND ITS FASTENINGS
  - WEST COAST LUMBER INSPECTION BUREAU STANDARDS: STANDARD GRADING AND DRESSING RULES FOR DOUGLAS FIR, WEST COAST HEMLOCK, SITKA SPRUCE, WHITE FIR, AND WESTERN RED CEDAR LUMBER, NO. 16
  - SOUTHERN PINE INSPECTION BUREAU: STANDARD GRADING RULES FOR SOUTHERN PINE LUMBER
  - SOUTHERN FOREST PRODUCTS ASSOCIATION
  - NATIONAL BOARD OF FIRE UNDERWRITERS
- LUMBER SHALL COMPLY WITH PS 20 (AMERICAN SOFTWOOD LUMBER STANDARD, NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY) AND APPROVED GRADING RULES AND INSPECTION AGENCIES.
- COVER WOOD PRODUCTS TO PROTECT AGAINST MOISTURE. SUPPORT STACKED PRODUCTS TO PREVENT DEFORMATION AND TO ALLOW CIRCULATION.
- DIMENSION LUMBER
  - GRADING AGENCY: SOUTHERN PINE INSPECTION BUREAU, INC. (SPIB)
  - SIZES: NOMINAL SIZES AS INDICATED ON DRAWINGS, S4S
  - MOISTURE CONTENT: S-DRY OR MC19
  - LUMBER: S4S, SOUTHERN PINE NO. 2
- PLYWOOD SHEATHING
  - PS 1 (CONSTRUCTION AND INDUSTRIAL PLYWOOD; NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY.
  - APA RATED SHEATHING EIP
- ALL FASTENERS TO BE HOT-DIPPED GALVANIZED STEEL FOR HIGH-HUMIDITY AND TREATED WOOD LOCATIONS.
- PRESSURE TREATMENT OF LUMBER ABOVE GRADE SHALL BE AWPA TREATMENT U1 USING WATERBORNE PRESERVATIVE 0.25 LB/CU FT RETENTION. FOR REQUIRED USE CATEGORY DESIGNATIONS BASED ON SERVICE CONDITIONS. SEE THE AWPA STANDARD U1, TABLE 2-1.
- FASTENINGS (GENERAL): THE NUMBER AND SIZE OF NAILS CONNECTING WOOD MEMBERS SHALL NOT BE LESS THAN THOSE SPECIFIED IN TABLE 2304.10.1 OF THE 7th EDITION (2020) FLORIDA BUILDING CODE WITH ALL CURRENT REVISIONS.
- ALL PRESSURE TREATED WINDOW AND DOOR BUCKS SHALL BE LESS THAN 1-1/2 INCHES. WINDOW AND DOOR ANCHORS SPECIFIED BY MANUFACTURER SHALL BE SECURELY FASTENED INTO THE MASONRY SUBSTRATE.
- ALL WOOD RAFTERS SHALL BE FASTENED TO THEIR SUPPORTS WITH APPROVED HURRICANE CLIPS OR STRAPS.
- CONTRACTOR SHALL ORDER AND INSTALL HURRICANE CLIPS OR STRAPS FOR THE UPLIFT AND LATERAL FORCES SHOWN ON THE SUBMITTED WOOD RAFTER DESIGN CALCULATIONS.
- ALL CONNECTION HARDWARE SHALL BE GALVANIZED AND SUPPLIED BY SIMPSON STRONG-TIE CO. OR APPROVED EQUIVALENT MANUFACTURE.
- ALL CONNECTION HARDWARE IS TO BE FULLY FASTENED PER MANUFACTURER REQUIREMENTS WITH THE MAXIMUM NUMBER AND SIZE OF NAILS OR BOLTS UNLESS OTHERWISE NOTED.

## COLD-FORM STEEL FRAMING:

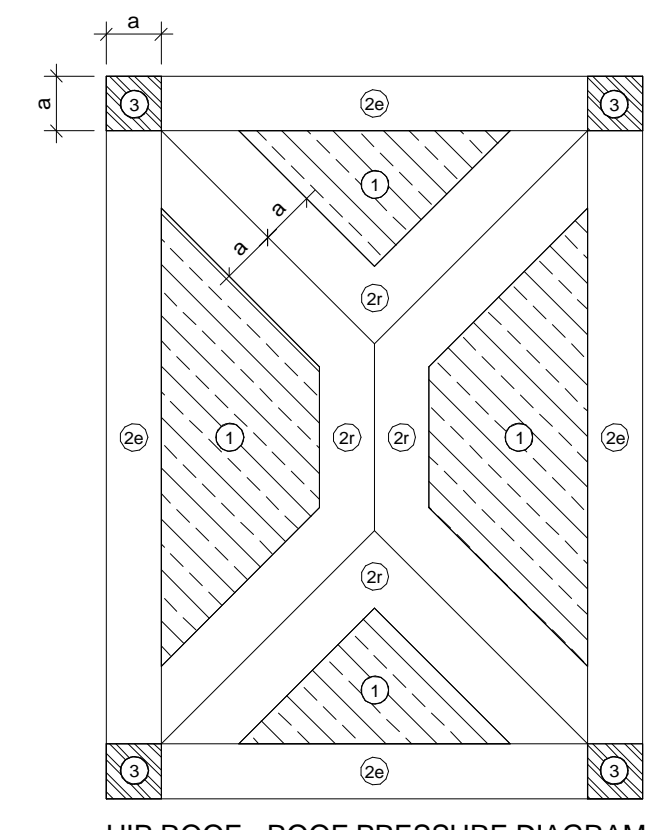
- ALL STEEL FRAMING SHALL CONFORM TO "THE SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS," LATEST EDITION, BY THE AISI.
- WELDED CONNECTIONS SHALL CONFORM TO "CODE FOR WELDING IN BUILDING CONSTRUCTION, D1.0", BY THE AWS.
- ASTM A-568 STANDARD SPECIFICATION FOR GENERAL REQUIREMENTS FOR STEEL, CARBON, AND HIGH-STRENGTH LOW-ALLOY HOT ROLLED SHEET AND COLD ROLLED SHEET.
- ALL STEEL FRAMING SHALL BE INSTALLED BY PERSONNEL EXPERIENCED IN LIGHT GAUGE STEEL FRAMING INSTALLATION.
- WHERE STEEL FRAMING MEMBERS ARE COMPONENTS OF ASSEMBLIES INDICATED FOR A FIRE-RESISTANCE RATING, INCLUDING THOSE REQUIRED FOR COMPLIANCE WITH GOVERNING REGULATIONS, PROVIDE MEMBERS WHICH HAVE BEEN APPROVED BY GOVERNING AUTHORITIES HAVING JURISDICTION.
- PROTECT LIGHT GAUGE STEEL FRAMING MEMBERS FROM RUSTING AND DAMAGE. DELIVER TO PROJECT SITE IN BUNDLES, FULLY IDENTIFIED WITH NAME, BRAND, TYPE, AND GRADE. STORE OFF GROUND IN A DRY VENTILATED SPACE OR PROTECT WITH SUITABLE WATERPROOF COVERINGS.
- WITH EACH TYPE OF STEEL FRAMING REQUIRED, PROVIDE MANUFACTURER'S STANDARD STEEL RUNNERS (TRACKS), BLOCKING, LINTELS, CLIP ANGLES, BRACING, REINFORCEMENTS, FASTENERS, AND ACCESSORIES AS RECOMMENDED BY MANUFACTURER FOR APPLICATIONS INDICATED, AS NEEDED TO PROVIDE A COMPLETE STEEL FRAMING SYSTEM.
- FABRICATE METAL FRAMING COMPONENTS OF STRUCTURAL QUALITY SHEET STEEL WITH A MINIMUM YIELD POINT OF 50,000 PSI FOR STUDS, AND 33,000 PSI FOR RUNNERS; ASTM A563; U.N.O.
- SCREWS SHALL BE AS RECOMMENDED BY MANUFACTURER.
- PROVIDE GALVANIZED FINISH TO METAL FRAMING COMPONENTS COMPLYING WITH ASTM A563 WITH A G60 COATING.
- PROVIDE MANUFACTURER'S STANDARD STRUCTURAL "C" SHAPED STEEL STUDS OF SIZE, SHAPE, AND GAUGE INDICATED, WITH A NOMINAL 1-5/8" FLANGE AND MINIMUM 1/2" FLANGE RETURN LIP BY UNIBLAST, INC. OR PRIOR APPROVED EQUIVALENT.
- FRAMING COMPONENTS MAY BE PRE-FABRICATED INTO PANELS PRIOR TO ERECTION. FABRICATE PANELS PLUMB, SQUARE, TRUE-TO-LINE, AND BRACED AGAINST RACKING WITH JOINTS WELDED. PERFORM LIFTING OF PRE-FABRICATED PANELS IN A MANNER TO PREVENT DAMAGE OR DISTORTION.
- INSTALL METAL FRAMING SYSTEMS IN ACCORDANCE WITH MANUFACTURER'S PRINTED OR WRITTEN INSTRUCTIONS AND RECOMMENDATIONS, UNLESS OTHERWISE INDICATED.
- INSTALL CONTINUOUS TRACKS SIZED TO MATCH STUD DEPTH. ALIGN TRACKS ACCURATELY TO LAYOUT AT BASE AND TOPS OF STUDS. SECURE TRACKS AS SHOWN IN DRAWINGS, EXCEPT DO NOT EXCEED 24" ON CENTER SPACING FOR NAIL OR POWER-DRIVEN FASTENERS, OR 16" ON CENTER FOR OTHER TYPES OF ATTACHMENT. PROVIDE FASTENERS AT CORNERS AND ENDS OF TRACKS.
- FRAME BOTH SIDES OF EXPANSION AND CONTROL JOINTS, AS SHOWN FOR THE WALL SYSTEM, WITH SEPARATE STUDS, AND DO NOT BRIDGE THE JOINT WITH COMPONENTS OF THE STUD SYSTEM.
- WHERE REQUIRED, TEMPORARY BRACING SHALL BE PROVIDED UNTIL ERECTION IS COMPLETED.
- RESISTANCE TO BENDING AND ROTATION ABOUT THE MINOR AXIS SHALL BE PROVIDED BY MECHANICAL LATERAL BRACING WHERE REQUIRED.
- ATTACHMENTS OF SIMILAR COMPONENTS SHALL BE DONE BY WELDING, SCREW ATTACHMENT, OR BOLTING. WIRE TYING OF FRAMING COMPONENTS SHALL NOT BE PERMITTED.
- WELDING OF MEMBERS LIGHTER THAN 18 GAUGE SHALL NOT BE PERMITTED.
- SPLICES SHALL NOT BE PERMITTED.
- MINIMUM NUMBER OF EQUALLY SPACED HORIZONTAL WALL BRIDGING FOR THE HEIGHTS SHOWN:
  - UP TO 10' - 1 ROW
  - 10 TO 14' - 2 ROWS
  - ABOVE 14' - 4 CENTERS
- FULLY INSTALL ALL BRIDGING BEFORE APPLYING LOADS.
- FOR WELDED CONNECTIONS, FUSION WELDING IS RECOMMENDED WITH A DIRECT CURRENT WELDER OF 200 OR MORE AMPERE CAPACITY. USE A HEAT OF 60 TO 90 AMPERES (DEPENDING ON THE GAUGE OF METAL) ALONG WITH ASTM E60 ELECTRODES.

## LOAD SCHEDULE:

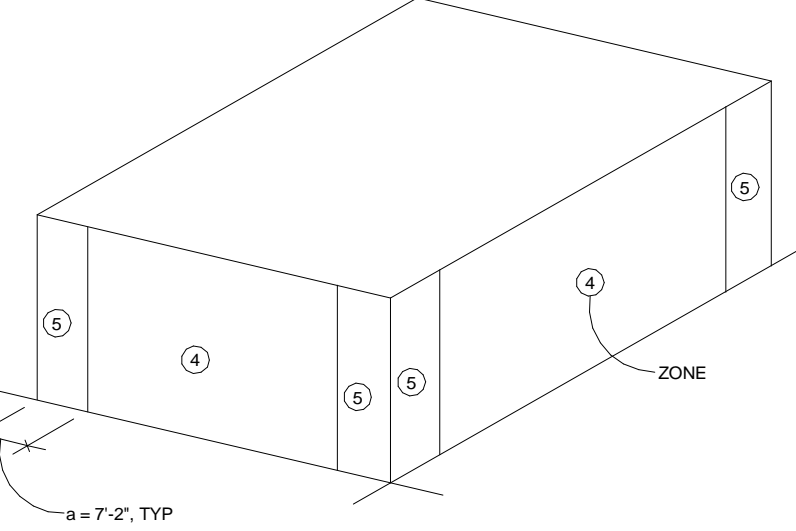
ROOF:	DEAD LOAD	=	
	ROOFING	=	7 PSF
	PLYWOOD SHEATHING	=	3 PSF
	ROOF TRUSSES	=	4 PSF
	MECH / ELEC / PLUMBING	=	4 PSF
	MISCELLANEOUS	=	7 PSF
	<b>TOTAL ROOF DEAD LOAD</b>	=	<b>25 PSF</b>
ROOF:	LIVE LOAD	=	20 PSF
BREEZEWAY / STAIR LANDING:	DEAD LOAD	=	
	2 1/2" (MAX.) L.W. CONC. TOPPING	=	24 PSF
	PLYWOOD SHEATHING	=	3 PSF
	FLOOR TRUSSES / FRAMING	=	4 PSF
	MECH / ELEC / PLUMBING	=	3 PSF
	MISCELLANEOUS	=	1 PSF
	<b>TOTAL FLOOR DEAD LOAD</b>	=	<b>35 PSF</b>
BREEZEWAY / STAIR LANDING:	LIVE LOAD	=	40 PSF

## WIND DESIGN DATA:

- CODE USED:
- 7th EDITION (2020) FLORIDA BUILDING CODE
  - EXPOSURE CLASSIFICATION: "B"
  - BUILDING RISK CATEGORY: "II"
  - ULTIMATE WIND SPEED (Vult): 140 MPH
  - DESIGN WIND SPEED (Vasd): 108.5 MPH
  - INTERNAL PRESSURE COEFFICIENT: ±0.18 - FULLY ENCLOSED
- \*\*\* ALL WINDOWS AND DOORS MUST HAVE IMPACT RESISTANT PROTECTION AS PER THE 7th EDITION (2020) FLORIDA BUILDING CODE.



HIP ROOF - ROOF PRESSURE DIAGRAM



HIP ROOF - WALL PRESSURE DIAGRAM

HIP ROOF - ROOF PRESSURE DIAGRAM				
GROSS UPLIFT SCHEDULE COMPONENTS AND CLADDING				
	EFFECTIVE WIND AREA			
ZONE	10 SF	20 SF	50 SF	100 SF
1	+27 / -62 PSF	+24 / -62 PSF	+18 / -46 PSF	+15 / -37 PSF
2	+27 / -81 PSF	+24 / -73 PSF	+18 / -62 PSF	+15 / -52 PSF
2a 3	+27 / -87 PSF	+24 / -77 PSF	+18 / -67 PSF	+15 / -59 PSF

HIP ROOF - ROOF OVERHANG PRESSURE DIAGRAM				
GROSS UPLIFT SCHEDULE COMPONENTS AND CLADDING				
	EFFECTIVE WIND AREA			
ZONE	10 SF	20 SF	50 SF	100 SF
1	-77 PSF	-77 PSF	-71 PSF	-68 PSF
2	-96 PSF	-91 PSF	-87 PSF	-82 PSF
2a	-102 PSF	-98 PSF	-91 PSF	-87 PSF
3	-121 PSF	-109 PSF	-91 PSF	-77 PSF

HIP ROOF - WALL PRESSURE DIAGRAM				
DESIGN COMPONENTS AND CLADDING WIND PRESSURE FOR WALLS, DOORS, & WINDOWS				
	EFFECTIVE WIND AREA			
ZONE	10 SF	20 SF	50 SF	100 SF
4	+37 / -40 PSF	+35 / -38 PSF	+32 / -37 PSF	+32 / -35 PSF
5	+37 / -49 PSF	+35 / -46 PSF	+32 / -42 PSF	+31 / -38 PSF

NOTE: ALL EXTERIOR DOOR & WINDOW ASSEMBLIES SHALL SATISFY THE REQUIREMENTS IN THE 7th EDITION (2020) FLORIDA BUILDING CODE WITH ANY AND ALL REVISIONS. ALL CONNECTIONS TO THE BUILDING STRUCTURE SHALL HAVE THE CAPACITY TO WITHSTAND THE PRESSURES INDICATED IN THIS SCHEDULE.

NOTE: THIS TABLE IS BASED ON THE ULTIMATE WIND SPEED (Vult) FOUND IN THE WIND DESIGN DATA TABLE.

THESE STRUCTURAL DRAWINGS ARE BASED UPON FIELD OBSERVED AS-BUILT CONDITIONS WHERE ACCESS WAS AVAILABLE. AS MORE EXISTING STRUCTURE IS EXPOSED, IF ANY DISCREPANCIES ARE FOUND NOTIFY THE ENGINEER OF RECORD.

REFER TO IBA CONSULTANTS, INC. OAKS AT RIVERVIEW ASSESSMENT REPORT AND RECOMMENDATIONS DATED FEBRUARY 16, 2023 FOR ADDITIONAL INFORMATION REGARDING EXTERIOR STAIR LANDINGS, CORRIDORS, EXTERIOR WALLS AND ROOFING.

No.	Date	Description
1	02/24/2023	Permit Comments
2	03/01/2023	Revisions

**FSG** FULLONE STRUCTURAL GROUP, INC.

2553 CENTRAL AVENUE, UNIT #105  
ST. PETERSBURG, FLORIDA 33713  
PHONE: (727) 577-2222  
FAX: (727) 577-2221  
EB: #28152

Project No.: 1236-001

Issued for:	Date:
<input type="checkbox"/> PRELIMINARY	
<input type="checkbox"/> PRICING	
<input type="checkbox"/> BIDDING	
<input type="checkbox"/> PERMIT	
<input type="checkbox"/> CONSTRUCTION	

STRUCTURAL SPECIFICATIONS

Project Info:  
Oaks at Riverview Apartments  
Project Street Address:  
110 E. Broad St. Tampa, FL 33604

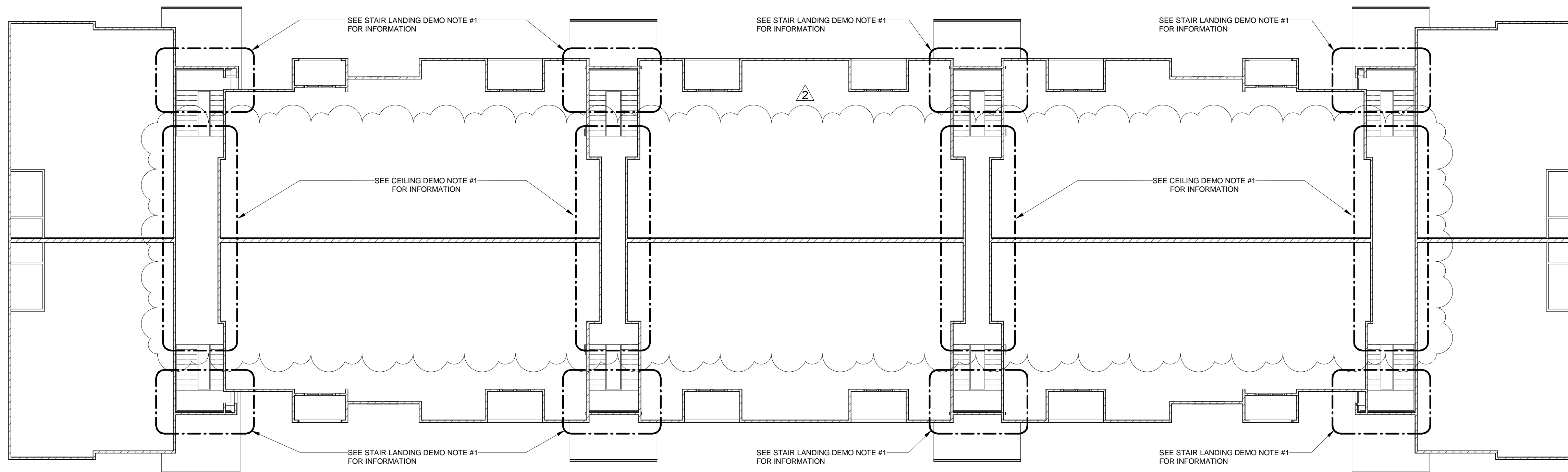
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DATE ISSUED: 09/03/2023

Project No.: 1236-001

Drawing No:  
**S-101**

Drawn by: AM Checked by: MDB

BID SET



**P1** SECOND FLOOR CEILING REFLECTIVE DEMOLITION PLAN  
SCALE: 3/32" = 1'-0"

**CEILING DEMO NOTE:**

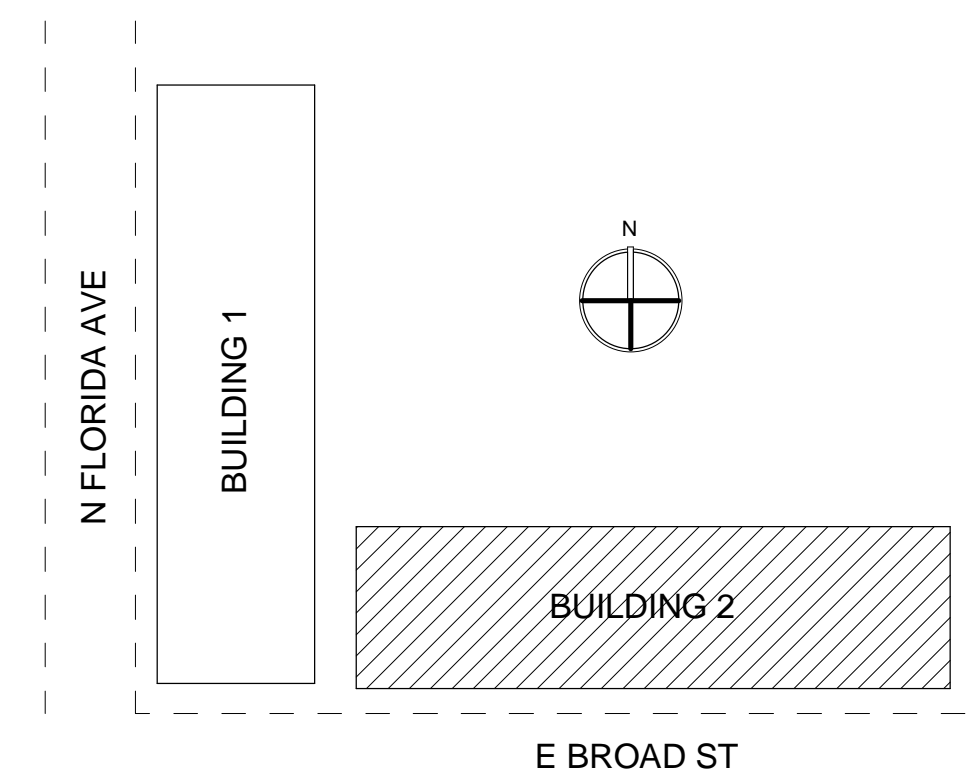
- CONTRACTOR TO FULLY REMOVE EXISTING CEILING FINISH AT ALL FLOORS TO EXPOSE TRUSSES IN BREEZEWAY AND CONTACT E.O.R. TO SURVEY EXISTING STRUCTURE.

**STAIR LANDING DEMO NOTE:**

- CONTRACTOR TO FULLY REMOVE LANDING FINISH TO EXPOSE EXISTING FRAMING AND CONTACT E.O.R. TO SURVEY EXISTING STRUCTURE.

**DEMOLITION PLAN NOTES:**

- THE DEMOLITION DRAWINGS HAVE BEEN DEVELOPED FROM EXISTING DRAWINGS PROVIDED TO THE ENGINEER OF RECORD BY THE OWNER AND MAY NOT REFLECT ALL ACTUAL FIELD CONDITIONS. PRIOR TO PROCEEDING WITH WORK, THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE DRAWINGS WITH EXISTING FIELD CONDITIONS.
- GENERAL CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES OR STRUCTURAL INTERFERENCE DUE TO EXISTING FIELD CONDITIONS THAT WOULD AFFECT THE EXECUTION OF NEW WORK. CONTRACTOR TO MAINTAIN INTEGRITY OF ALL EXISTING STRUCTURAL ELEMENTS DURING CONSTRUCTION.
- ALL DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL BRACE AND/OR SHORE EXISTING STRUCTURE AND STRUCTURAL ELEMENTS AS NECESSARY PRIOR TO AND DURING DEMOLITION. ALL REQUIRED SHORING IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- AFTER DEMOLITION WORK IS COMPLETED, ALL STRUCTURE TO REMAIN WHICH IS AFFECTED DURING DEMOLITION SHALL BE REPAIRED TO ORIGINAL STRUCTURAL INTEGRITY.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFE AND LAWFUL DISPOSAL OF ALL MATERIALS REMOVED DURING DEMOLITION.



THESE STRUCTURAL DRAWINGS ARE BASED UPON FIELD OBSERVED AS-BUILT CONDITIONS WHERE ACCESS WAS AVAILABLE. AS MORE EXISTING STRUCTURE IS EXPOSED, IF ANY DISCREPANCIES ARE FOUND NOTIFY THE ENGINEER OF RECORD.

REFER TO IBA CONSULTANTS, INC. OAKS AT RIVERVIEW ASSESSMENT REPORT AND RECOMMENDATIONS DATED FEBRUARY 16, 2023 FOR ADDITIONAL INFORMATION REGARDING EXTERIOR STAIR LANDINGS, CORRIDORS, EXTERIOR WALLS AND ROOFING.

No.	Date	Description
1	02/24/2023	Permit Comments
2	03/01/2023	Revisions

**FULLONE STRUCTURAL GROUP, INC**  
**FSG**  
 2253 CENTRAL AVENUE, UNIT #105  
 ST. PETERSBURG, FLORIDA 33713  
 PHONE: (727) 577-2222  
 FAX: (727) 577-2221  
 EB: #28152  
 Project No.: 1236-001

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<input type="checkbox"/> PRICING	
<input type="checkbox"/> BIDDING	
<input type="checkbox"/> PERMIT	
<input type="checkbox"/> CONSTRUCTION	

SECOND FLOOR REFLECTIVE CEILING DEMOLITION PLAN  
**Project Info:**  
 Oaks at Riverview Apartments  
 Project Street Address:  
 110 E. Broad St. Tampa, FL 33604

Seal

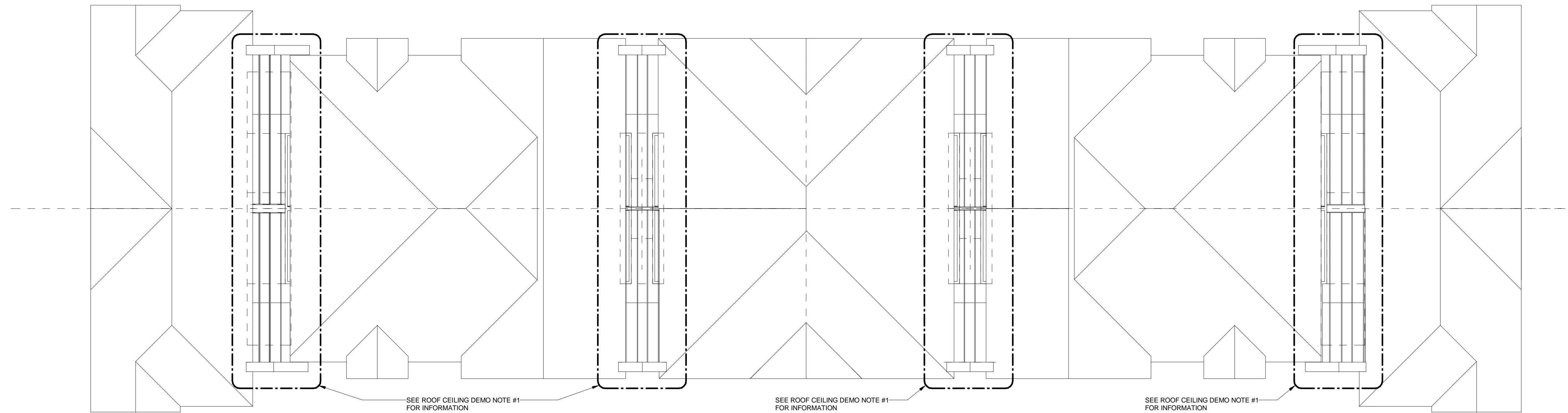
Project No.: 1236-001  
 Drawing No:  
**S-201**  
 Drawn by: AM Checked by: MDB

03/03/2023

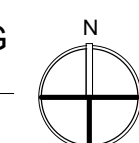
DATE ISSUED:

BID SET





**P2** THIRD FLOOR REFLECTED CEILING  
DEMOLITION PLAN  
SCALE: 3/32" = 1'-0"



THESE STRUCTURAL DRAWINGS ARE BASED UPON FIELD OBSERVED AS-BUILT CONDITIONS WHERE ACCESS WAS AVAILABLE. AS MORE EXISTING STRUCTURE IS EXPOSED, IF ANY DISCREPANCIES ARE FOUND NOTIFY THE ENGINEER OF RECORD.

REFER TO IBA CONSULTANTS, INC. OAKS AT RIVERVIEW ASSESSMENT REPORT AND RECOMMENDATIONS DATED FEBRUARY 16, 2023 FOR ADDITIONAL INFORMATION REGARDING EXTERIOR STAIR LANDINGS, CORRIDORS, EXTERIOR WALLS AND ROOFING.

**ROOF CEILING DEMO NOTE:**

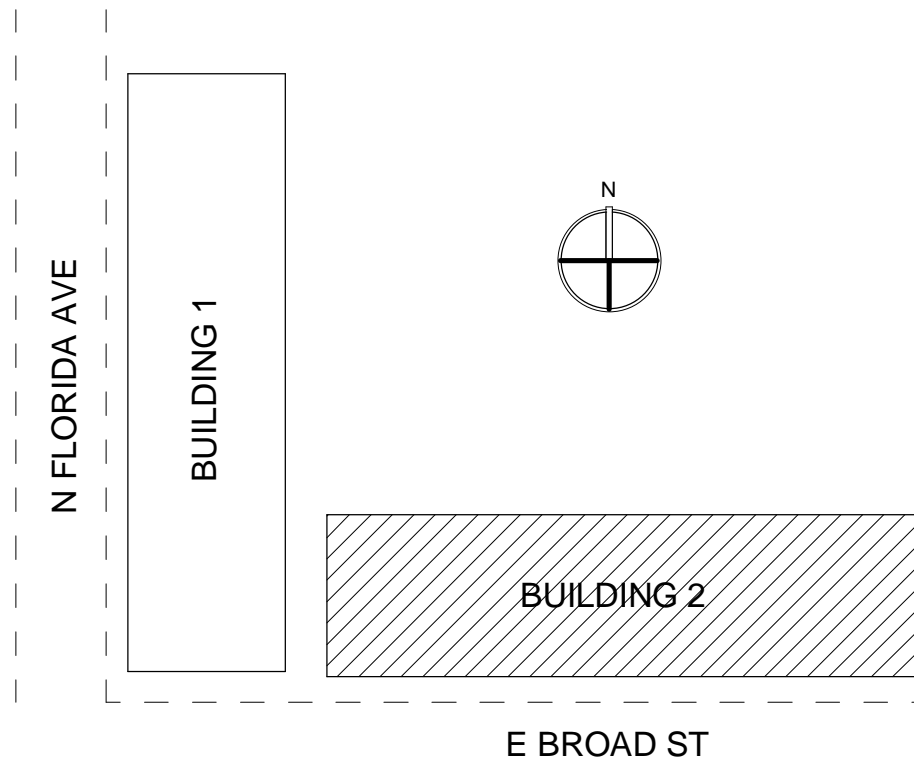
1. CONTRACTOR TO FULLY REMOVE EXISTING CEILING FINISH TO EXPOSE ROOF TRUSSES IN BREEZEWAY AND CONTACT E.O.R. TO SURVEY EXISTING STRUCTURE.

2. E.O.R. WILL REVIEW EXISTING TRUSSES TO DETERMINE REPAIR METHODS, IF NEEDED, AND PROVIDE FUTURE REVISIONS TO THESE DRAWINGS TO INCLUDE REQUIRED REPAIR DETAILS.

3. AFTER ALL STRUCTURAL REPAIRS ARE COMPLETED AND HAVE BEEN INSPECTED AND APPROVED, A NEW FIRE-RATED CEILING IS TO BE INSTALLED AT DEMOLISHED CEILING LOCATIONS. REFER TO ARCHITECTURAL DRAWINGS WHICH WILL BE ISSUED AS A FUTURE REVISION TO THE CONSTRUCTION DRAWINGS FOR REQUIRED NEW FIRE-RATED CEILING DETAILS.

**DEMOLITION PLAN NOTES:**

1. THE DEMOLITION DRAWINGS HAVE BEEN DEVELOPED FROM EXISTING DRAWINGS PROVIDED TO THE ENGINEER OF RECORD BY THE OWNER AND MAY NOT REFLECT ALL ACTUAL FIELD CONDITIONS. PRIOR TO PROCEEDING WITH WORK, THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE DRAWINGS WITH EXISTING FIELD CONDITIONS.
2. GENERAL CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IN WRITING UPON DISCOVERY OF ANY DISCREPANCIES OR STRUCTURAL INTERFERENCE DUE TO EXISTING FIELD CONDITIONS THAT WOULD AFFECT THE EXECUTION OF NEW WORK. CONTRACTOR TO MAINTAIN INTEGRITY OF ALL EXISTING STRUCTURAL ELEMENTS DURING CONSTRUCTION.
3. ALL DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL AUTHORITIES HAVING JURISDICTION.
4. THE CONTRACTOR SHALL BRACE AND/OR SHORE EXISTING STRUCTURE AND STRUCTURAL ELEMENTS AS NECESSARY PRIOR TO AND DURING DEMOLITION. ALL REQUIRED SHORING IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
5. AFTER DEMOLITION WORK IS COMPLETED, ALL STRUCTURE TO REMAIN WHICH IS AFFECTED DURING DEMOLITION SHALL BE REPAIRED TO ORIGINAL STRUCTURAL INTEGRITY.
6. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFE AND LAWFUL DISPOSAL OF ALL MATERIALS REMOVED DURING DEMOLITION.



No.	Date	Description
1	02/24/2023	Permit Comments
2	03/01/2023	Repairs

**FSG**  
FULLONE  
STRUCTURAL  
GROUP, INC  
2253 CENTRAL AVENUE, UNIT #105  
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THIRD FLOOR REFLECTED CEILING DEMOLITION PLAN  
**Project Info:**  
Oaks at Riverview Apartments  
**Project Street Address:**  
110 E. Broad St. Tampa, FL 33604

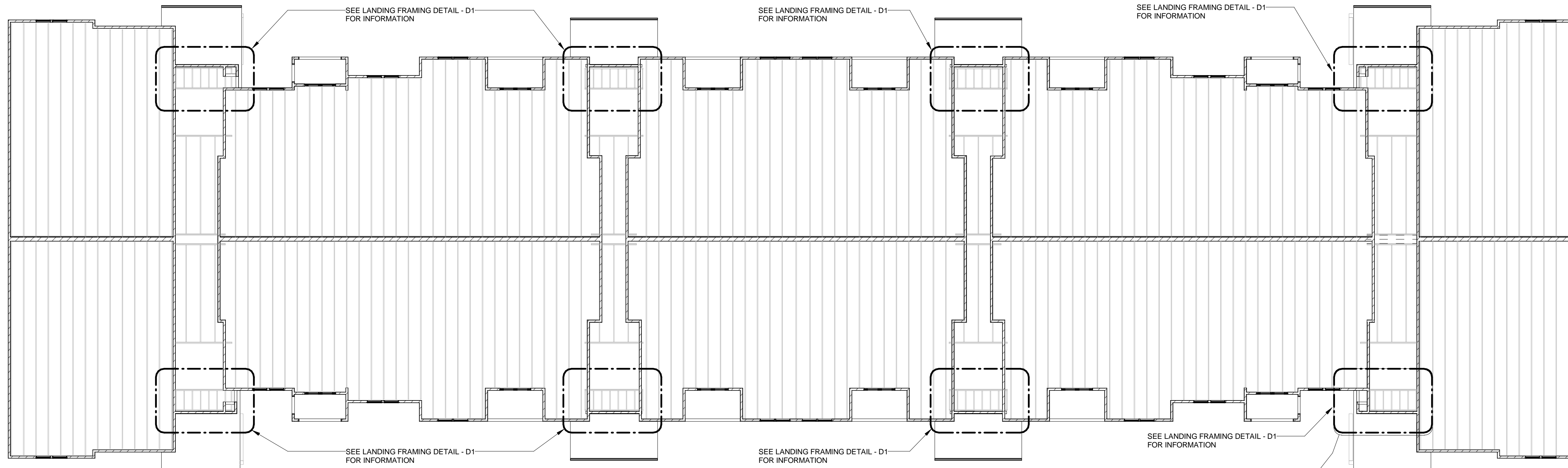
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Project No.: 1236-001  
Drawing No:  
**S-202**  
Drawn by: AM Checked by: MDB

03/03/2023

DATE ISSUED:

BID SET

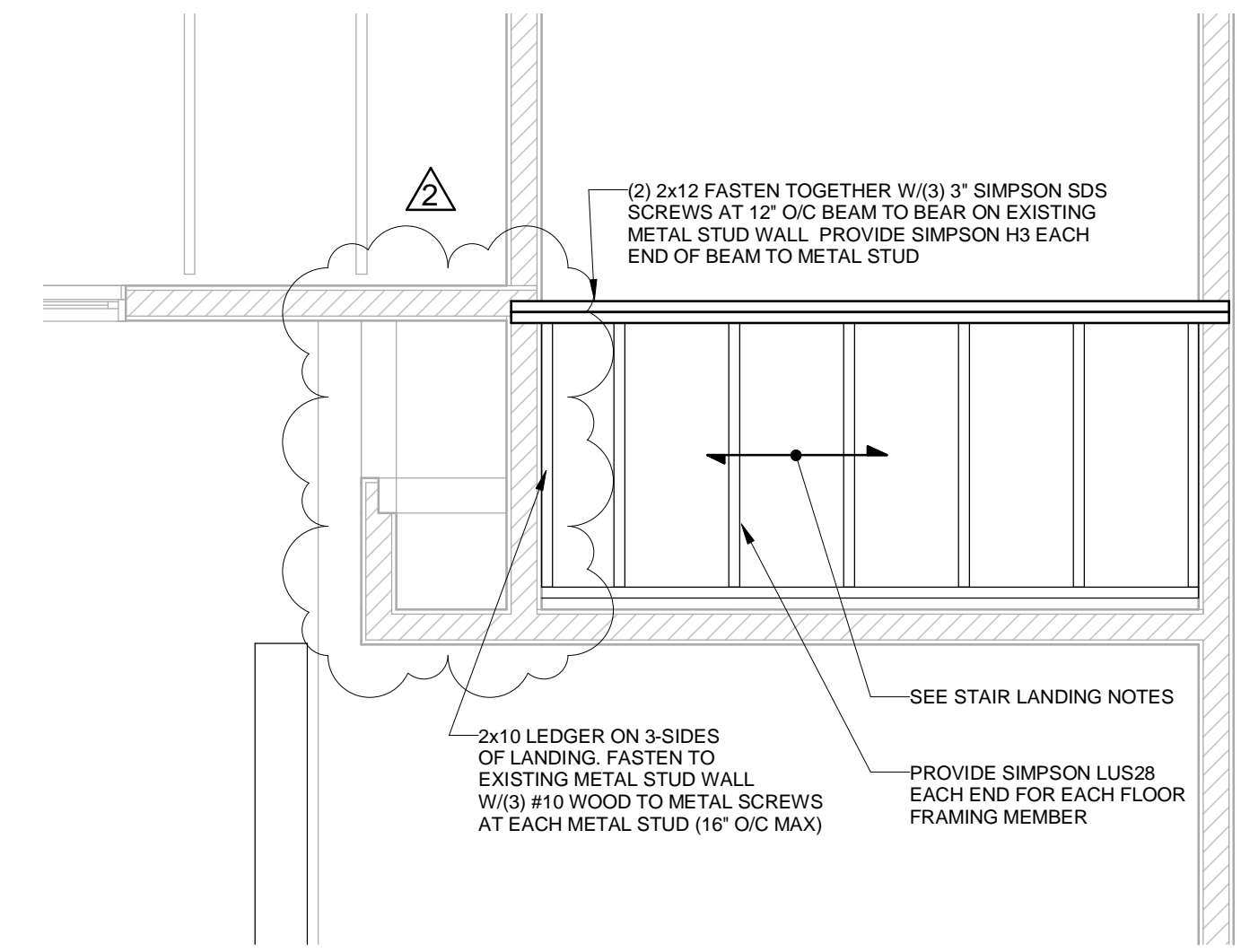


**P3** THIRD FLOOR FRAMING PLAN  
SCALE: 3/32" = 1'-0"

FOR CEILING REPLACEMENT INFORMATION  
SEE ARCHITECTURAL DRAWINGS

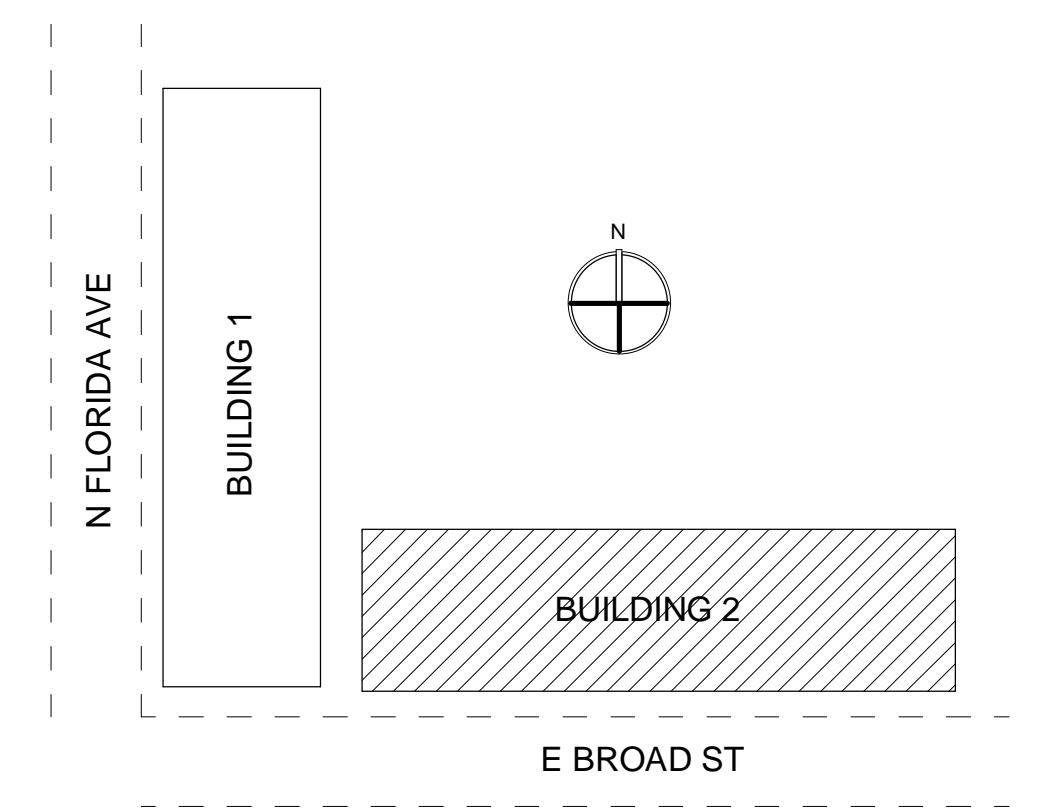
**NOTE:**  
LANDING FRAMING DETAIL D1 SHALL NOT BE USED UNTIL APPROVED BY E.O.R. AFTER A VISUAL SURVEY OF EACH EXPOSED LANDING IS COMPLETED.

- STAIR LANDING NOTES:**
- STAIR LANDING FLOOR FRAMING SHALL BE 2x10 FLOOR MEMBERS SPACED AT 16" O/C WITH 3/4" THICK (CDX) EXTERIOR GRADE PLYWOOD SHEATHING GLUED AND SCREWED TO TOP CHORD OF FLOOR MEMBERS. PROVIDE PU-DECK TOPPING FINISH. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - PLYWOOD TO BE FASTENED TO FLOOR MEMBERS WITH 10D COMMON NAILS AT 4" O/C. SEE TYPICAL DETAIL ON S-301.
  - ALL STRUCTURAL WOOD FRAMING EXPOSED TO WEATHER SHALL BE PRESSURE TREATED SOUTHERN YELLOW PINE NO. 2 OR BETTER, UNLESS NOTED OTHERWISE.



**D1** LANDING FRAMING DETAIL  
SCALE: 1/2" = 1'-0"

FINISHED SURFACE OF NEW LANDING TO MATCH ELEVATION OF EXISTING LANDING FINISHED SURFACE.



THESE STRUCTURAL DRAWINGS ARE BASED UPON FIELD OBSERVED AS-BUILT CONDITIONS WHERE ACCESS WAS AVAILABLE. AS MORE EXISTING STRUCTURE IS EXPOSED, IF ANY DISCREPANCIES ARE FOUND NOTIFY THE ENGINEER OF RECORD.

REFER TO IBA CONSULTANTS, INC. OAKS AT RIVERVIEW ASSESSMENT REPORT AND RECOMMENDATIONS DATED FEBRUARY 16, 2023 FOR ADDITIONAL INFORMATION REGARDING EXTERIOR STAIR LANDINGS, CORRIDORS, EXTERIOR WALLS AND ROOFING.

No.	Date	Description
1	02/24/2023	Permit Comments
2	03/01/2023	Revisions

**FSG** FULLONE STRUCTURAL GROUP, INC.  
2253 CENTRAL AVENUE, UNIT #105  
ST. PETERSBURG, FLORIDA 33713  
PHONE: (727) 577-2222  
FAX: (727) 577-2221  
EB: #28152  
Project No.: 1236-001

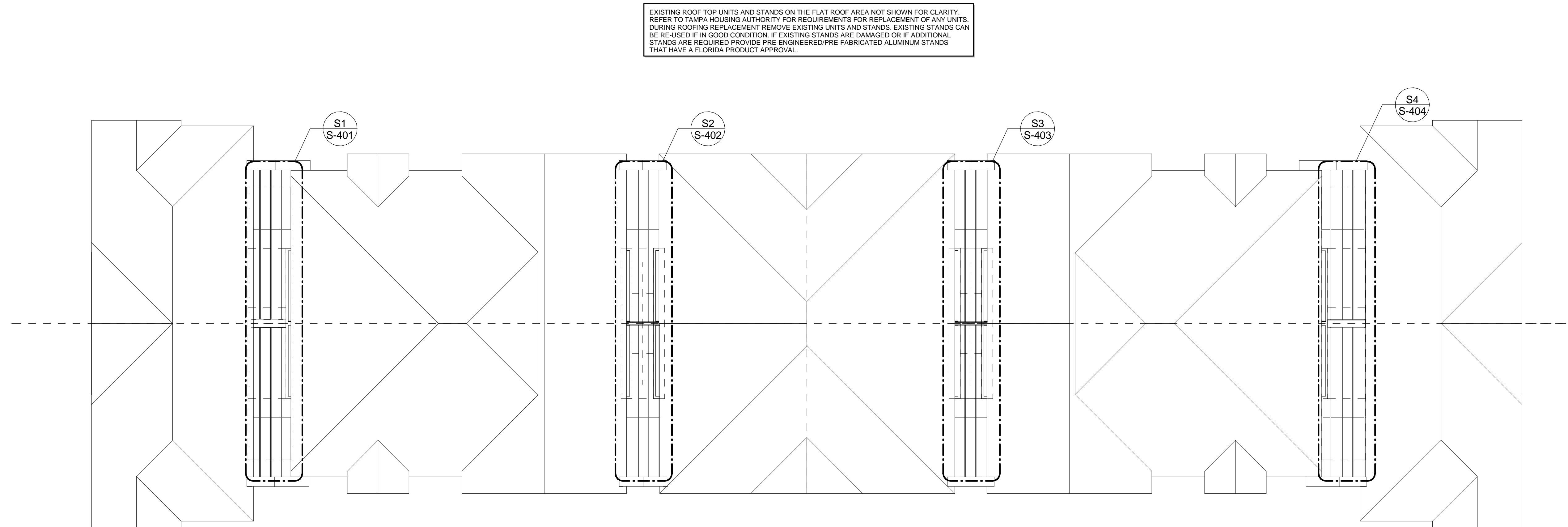
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<input type="checkbox"/> BIDDING	
<input type="checkbox"/> PERMIT	
<input type="checkbox"/> CONSTRUCTION	

THIRD FLOOR FRAMING PLAN  
**Project Info:**  
Oaks at Riverview Apartments  
**Project Street Address:**  
110 E. Broad St. Tampa, FL 33604

Seal

Project No.: 1236-001  
Drawing No.: **S-203**  
Drawn by: AM Checked by: MDB

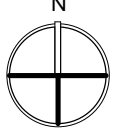
BID SET  
DATE ISSUED: 03/03/2023



EXISTING ROOF TOP UNITS AND STANDS ON THE FLAT ROOF AREA NOT SHOWN FOR CLARITY. REFER TO TAMPA HOUSING AUTHORITY FOR REQUIREMENTS FOR REPLACEMENT OF ANY UNITS. DURING ROOFING REPLACEMENT REMOVE EXISTING UNITS AND STANDS. EXISTING STANDS CAN BE RE-USED IF IN GOOD CONDITION. IF EXISTING STANDS ARE DAMAGED OR IF ADDITIONAL STANDS ARE REQUIRED PROVIDE PRE-ENGINEERED/PRE-FABRICATED ALUMINUM STANDS THAT HAVE A FLORIDA PRODUCT APPROVAL.

FOR CEILING REPLACEMENT INFORMATION SEE ARCHITECTURAL DRAWINGS

**P3** THIRD FLOOR REFLECTED CEILING PLAN  
SCALE: 3/32" = 1'-0"



**ROOF PLAN NOTES:**

1. DURING RE-ROOFING, IF DAMAGE TO THE ROOF SHEATHING IS DISCOVERED ON THE SLOPED ROOF AREAS OF THE BUILDING, REMOVE AND REPLACE WITH 5/8" (CDX) EXTERIOR GRADE EXPOSURE 1 PLYWOOD SHEATHING. FOR NAILING PATTERN SEE "SLOPED ROOF SHEATHING", NAILING SCHEDULE+ON SHEET S-301.
2. AT SLOPED ROOF AREAS, EXISTING DRAWINGS CALL FOR 7/16" SHEATHING. PER CURRENT CODE 5/8" SHEATHING IS REQUIRED. IF THERE ARE ISSUES WITH THICKNESS DIFFERENCES IN THE FIELD, ADDITIONAL EXISTING SHEATHING MAY NEED TO BE REMOVED AND REPLACED WITH THE NEW 5/8" SHEATHING.
3. AT FLAT ROOF AREAS OVER BREEZEWAYS, PROVIDE (2) LAYERS OF 3/4" (CDX) EXTERIOR GRADE EXPOSURE 1 PLYWOOD SHEATHING. FOR NAILING PATTERN SEE "FLAT ROOF SHEATHING", NAILING SCHEDULE+ON SHEET S-301.
4. PLYWOOD IS TO BE NAILED TO NEW REPAIR MEMBERS AT REPAIRED TOP CHORD LOCATIONS.

IF IT IS DETERMINED THAT IN-FIELD REPAIRS OF TRUSSES IS NOT POSSIBLE PER THESE DRAWINGS DUE TO SPACE RESTRICTIONS OR ANY OTHER REASON, THEN A REMOVAL OF THE EXISTING ROOF TRUSS AND THE INSTALLATION OF A NEW ROOF TRUSS WILL BE REQUIRED.

IF DURING DEMOLITION AND/OR TRUSS REPAIR ANY ADDITIONAL DAMAGE (WATER/INSECT) IS FOUND THAT IS NOT WITHIN AN AREA OF REPAIR PER THESE DRAWINGS, NOTIFY THE E.O.R. TO PERFORM A SITE VISIT TO SURVEY THE DAMAGE.

CONTRACTOR TO SHORE ROOF AS NEEDED TO REMOVE ANY SAG/DEFLECTION FROM EXISTING ROOF TRUSSES PRIOR TO INSTALLING TRUSS REPAIRS.

AFTER REPAIRS ARE COMPLETE, CONTACT THE E.O.R. TO PERFORM A SITE VISIT TO VIEW REPAIRS PRIOR TO COVERING.

THESE STRUCTURAL DRAWINGS ARE BASED UPON FIELD OBSERVED AS-BUILT CONDITIONS WHERE ACCESS WAS AVAILABLE. AS MORE EXISTING STRUCTURE IS EXPOSED, IF ANY DISCREPANCIES ARE FOUND NOTIFY THE ENGINEER OF RECORD.

REFER TO IBA CONSULTANTS, INC. "OAKS AT RIVERVIEW" ASSESSMENT REPORT AND RECOMMENDATIONS DATED FEBRUARY 16, 2023 FOR ADDITIONAL INFORMATION REGARDING EXTERIOR STAIR LANDINGS, CORRIDORS, EXTERIOR WALLS AND ROOFING.

No.	Date	Description
1	02/24/2023	Permit Comments
2	03/01/2023	Repairs

**FSG** FULLONE STRUCTURAL GROUP, INC.  
2253 CENTRAL AVENUE, UNIT #105  
ST. PETERSBURG, FLORIDA 33713  
PHONE: (727) 577-2222  
FAX: (727) 577-2221  
EB: #28152  
Project No.: 1236-001

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<input type="checkbox"/> BIDDING	
<input type="checkbox"/> PERMIT	
<input type="checkbox"/> CONSTRUCTION	

THIRD FLOOR REFLECTED CEILING PLAN  
**Project Info:**  
Oaks at Riverview Apartments  
Project Street Address:  
110 E. Broad St. Tampa, FL 33604

Seal

Project No.: 1236-001

Drawing No.: **S-204**  
Drawn by: AM Checked by: MDB

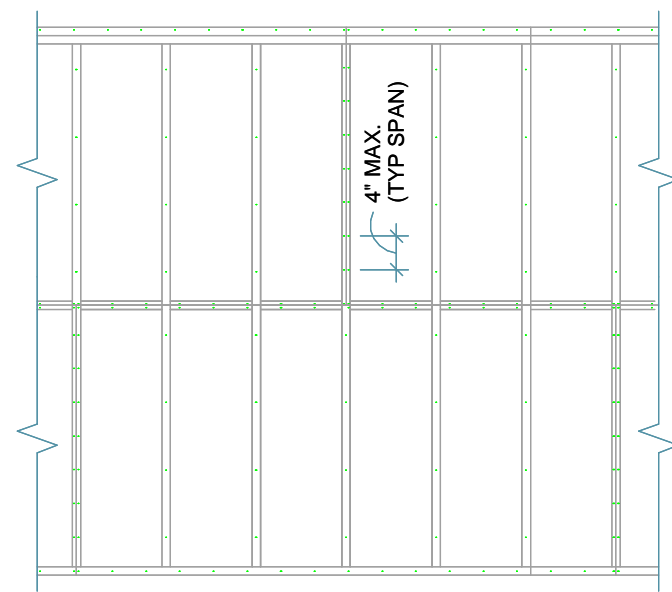
DATE ISSUED: 03/03/2023

BID SET

FASTENER SCHEDULE		
CONNECTION	FASTENER	NO. OR SPACING
BAND JOIST TO SILL OR TOP PLATE, TOE NAIL	8d	6 IN. O.C.
JOIST TO BAND JOIST, FACE NAIL	16d COMMON	3
JOIST TO SILL OR GRIDER, TOE NAIL	8d COMMON	3
BRIDGING TO JOIST, TOE NAIL EACH END	8d COMMON	2
LEDGER STRIP	16d COMMON	3 @ EACH JOIST
1x6 OR LESS SUBFLOOR TO EACH JOIST, FACE NAIL	8d COMMON	2
OVER 1x6 SUBFLOOR TO EACH JOIST, FACE NAIL	8d COMMON	3
2-INCH SUBFLOOR TO JOIST OR GRIDER, BLIND & FACE NAIL	16d COMMON	2
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d COMMON	16 IN. O.C.
TOP OR SOLE PLATE TO STUD, END NAIL	16d COMMON	2
STUD TO SOLE PLATE, TOE NAIL	8d COMMON	4
DOUBLE STUDS, FACE NAIL	10d COMMON	24 IN. O.C.

FASTENER SCHEDULE (CONT.)		
CONNECTION	FASTENER	NO. OR SPACING
DOUBLE TOP PLATES, FACE NAIL	10d COMMON	16 IN. O.C.
TOP PLATES, LAP & INTERSECTIONS FACE NAIL	--	2-16d OR 3-10d COMMON
CONTINUOUS HEADER, TWO PIECES	16d COMMON	16 IN. O.C. ALONG EA. EDGE
CEILING JOIST TO PLATE, TOE NAIL	8d COMMON	3
CONTINUOUS HEADER TO STUD, TOE NAIL	8d COMMON	3
CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL	--	3-16d OR 4-10d COMMON
CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL	--	3-16d OR 4-10d COMMON
RAFTER TO PLATE, TOE NAIL	8d COMMON	3
1-INCH BRACE TO EACH STUD & PLATE, FACE NAIL	8d COMMON	2
5:1 RATIO PROVIDE BLOCKING AT END BAYS, TYPICAL	--	--
OVER 1x8 SHEATHING TO EACH BEARING, FACE NAIL	8d COMMON	3
BUILT-UP CORNER STUDS	16d COMMON	24 IN. O.C.

FASTENER SCHEDULE (CONT.)		
CONNECTION	FASTENER	NO. OR SPACING
BUILT-UP GRIDERS & BEAMS OF THREE MEMBERS	20d COMMON	32 IN. O.C. @ TOP & BOTTOM AND STAGGERED 2 ENDS & @ EACH SPLICE
LAP JOIST 3" ON BEAMS	--	--
STUDS TO SOLE PLATE, END NAIL	16d COMMON	2 EACH END
SHEATHING - SUBFLOORING	8d COMMON	6d OR 12d COMMON
SHEATHING - WALL	8d COMMON	6d OR 12d COMMON
SHEATHING - ROOF	8d COMMON	6d COMMON



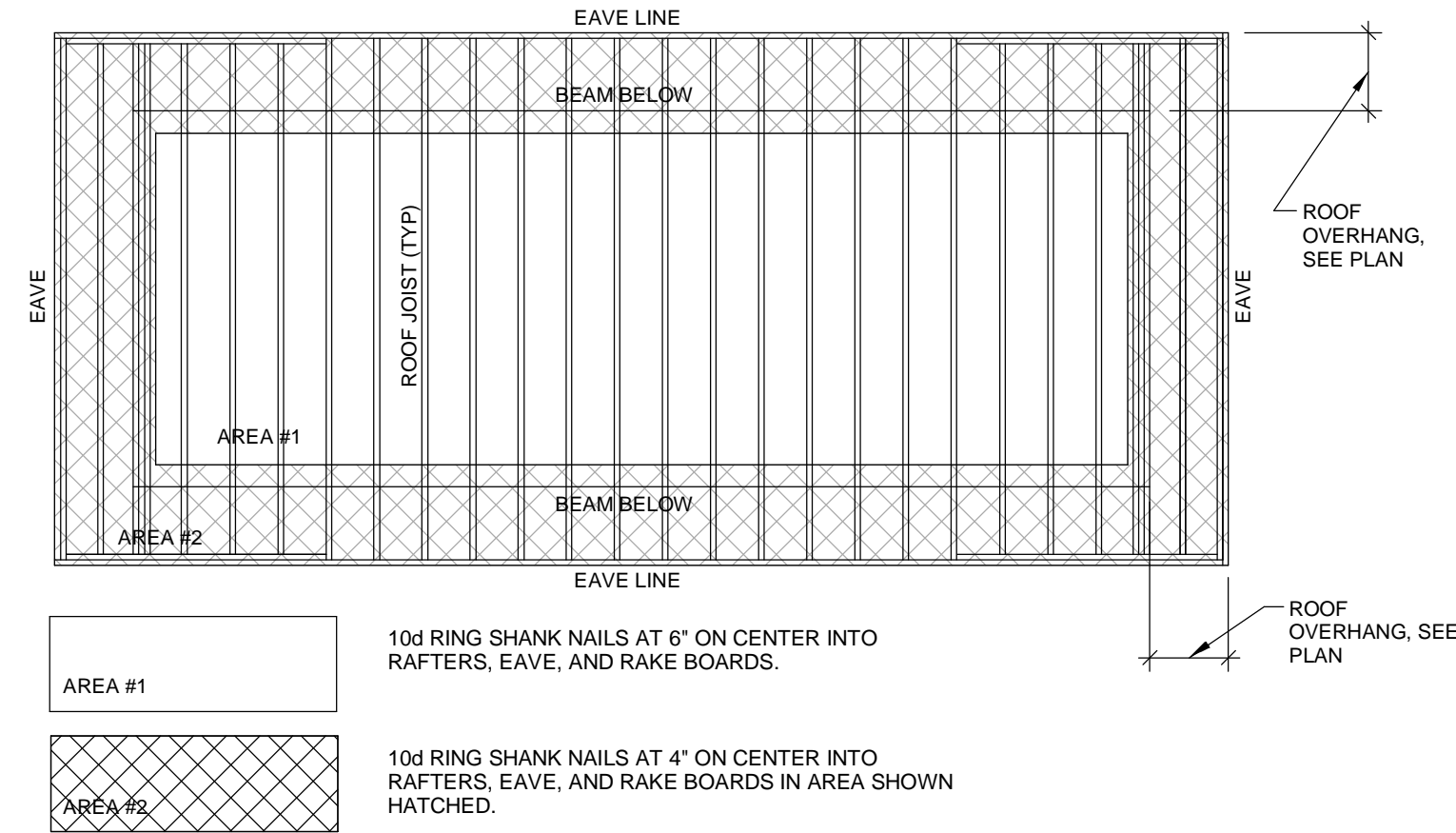
- NOTES:
- SEE STRUCTURAL NOTES FOR DECKING SPECIFICATIONS.
  - END JOINTS OF THE WALL SHEATHING SHALL BE STAGGERED AND OCCUR OVER FRAMING MEMBER.
  - PROVIDE INTERMEDIATE BLOCKING AT JOINT LOCATIONS WHERE NO FRAMING OCCURS.
  - CONTINUOUSLY GLUE DECKING TO FLOOR TRUSS.
  - DECKING & NAILING SCHEDULE:
- 15/32" 10d COMMON NAILS @ 4" OC @ PANEL EDGES.  
19/32" 10d COMMON NAILS @ 4" OC @ INTERMEDIATE SUPPORT.

FLOOR DECKING ATTACHMENT SCHEDULE:  
NOT TO SCALE

NOTE:  
IN CASE OF CONFLICT BETWEEN INFORMATION SHOWN ON THIS DRAWING, SECTION DRAWINGS, OR ARCHITECTURAL DRAWINGS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO INFORM THE ARCHITECT AND ENGINEER OF SUCH CONFLICT IN ORDER TO RECEIVE A CLARIFICATION BEFORE PROCEEDING TO WORK. DIMENSIONS, SIZES, AND REINFORCEMENT OF STRUCTURAL ELEMENTS SHOWN IN THIS DRAWING ARE MINIMUM TO BE USED UNLESS NOTED OTHERWISE (U.N.O.) IN PLANS.

**FLAT ROOF SHEATHING - NAILING SCHEDULE**

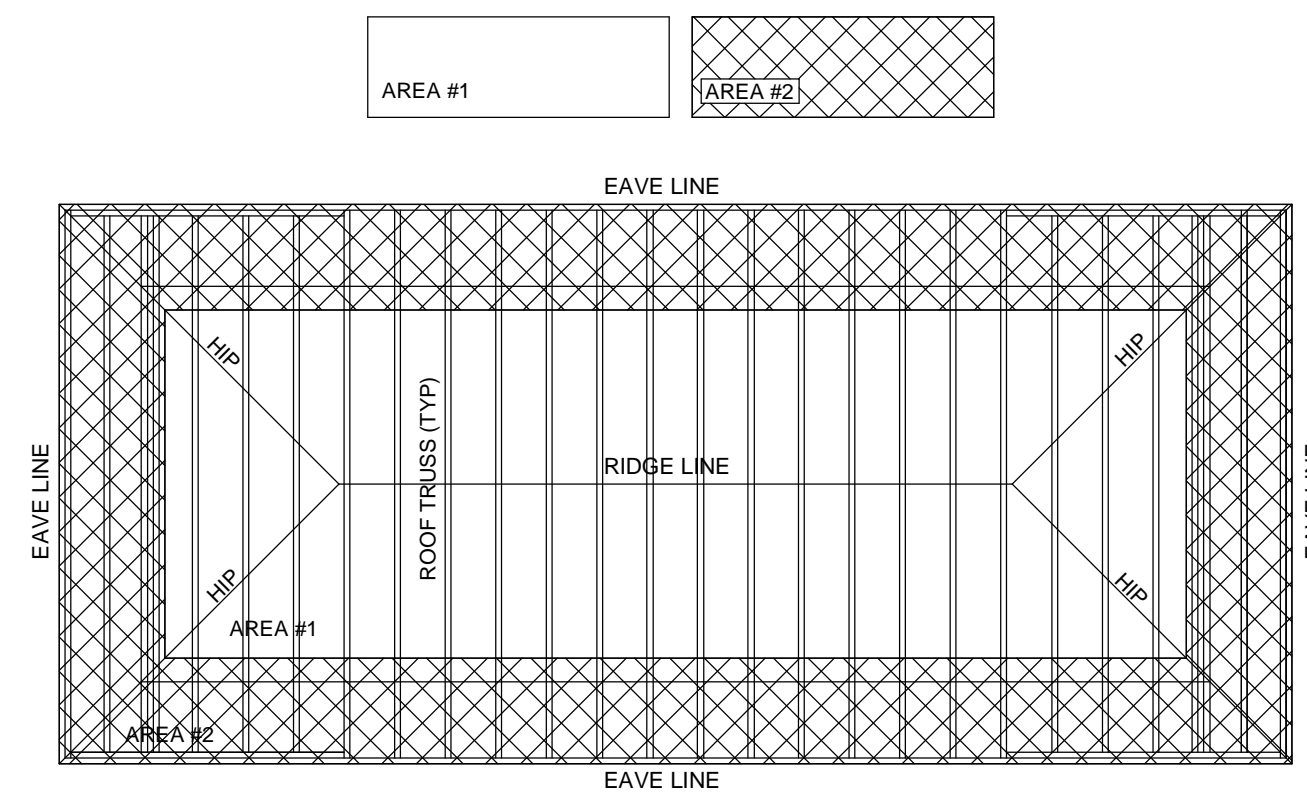
- NOTES:
- SEE STRUCTURAL NOTES FOR SHEATHING SPECIFICATIONS AND SHEET S-101 FOR WIND DESIGN DATA.
  - END JOINTS OF THE ROOF SHEATHING SHALL BE STAGGERED AND OCCUR OVER FRAMING MEMBER.



FLAT ROOF SHEATHING - NAILING SCHEDULE  
NOT TO SCALE

**HIP ROOF SHEATHING - NAILING SCHEDULE**

- NOTES:
- SEE STRUCTURAL NOTES FOR SHEATHING SPECIFICATIONS AND DRAWING S101 OR S102 FOR WIND DESIGN DATA.
  - END JOINTS OF THE ROOF SHEATHING SHALL BE STAGGERED AND OCCUR OVER FRAMING MEMBERS.
  - AT AREA #1, ATTACH ROOF SHEATHING WITH 10d RING SHANK NAILS AT 6" ON CENTER INTO RAFTERS, EAVE, AND RAKE BOARDS.
  - AT AREA #2, ATTACH ROOF SHEATHING WITH 10d RING SHANK NAILS AT 4" ON CENTER INTO RAFTERS, EAVE, AND RAKE BOARDS.



HIP ROOF SHEATHING - NAILING SCHEDULE  
NOT TO SCALE

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No.	Date	Description
1	02/24/2023	Permit Comments
2	03/01/2023	Revisions

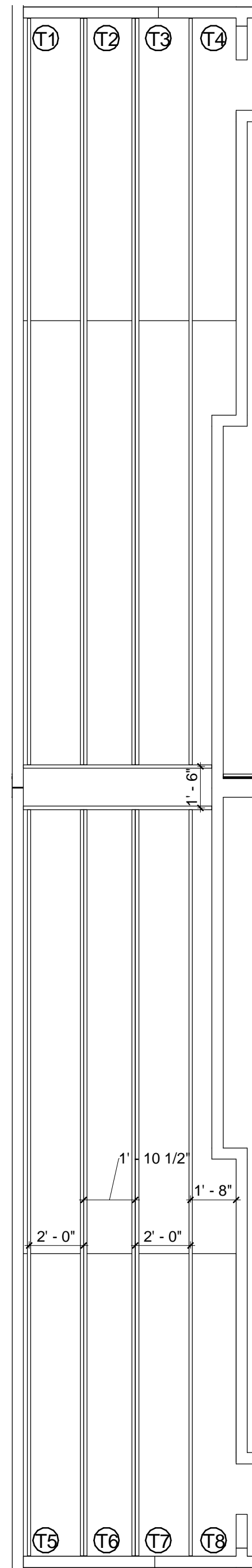
**FSG**  
FULLONE  
STRUCTURAL  
GROUP, INC.  
2253 CENTRAL AVENUE, UNIT #105  
ST. PETERSBURG, FLORIDA 33713  
PHONE: (727) 577-2222  
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EB: #28152  
Project No.: 1236-001

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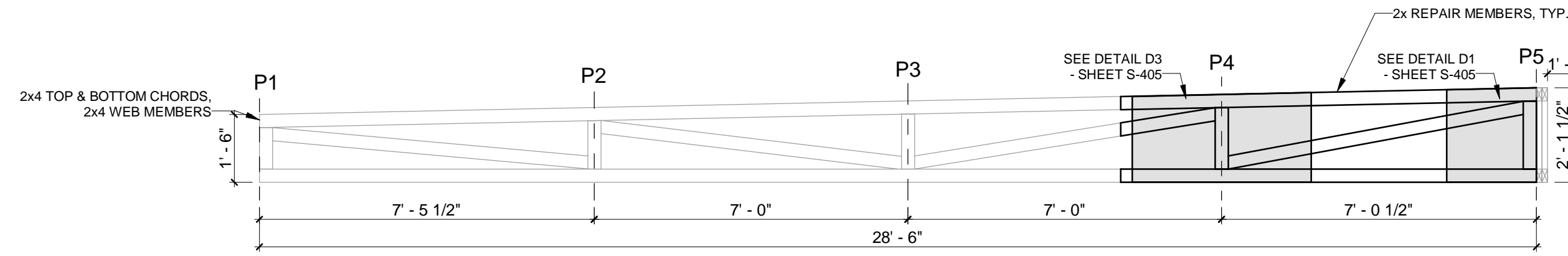
TYPICAL DETAILS  
Drawing Title:  
Project Info:  
Oaks at Riverview Apartments  
Project Street Address:  
110 E. Broad St. Tampa, FL 33604

Seal  
DATE ISSUED: 03/03/2023

Project No.: 1236-001  
Drawing No:  
**S-301**  
Drawn by: AM Checked by: MDB  
BID SET

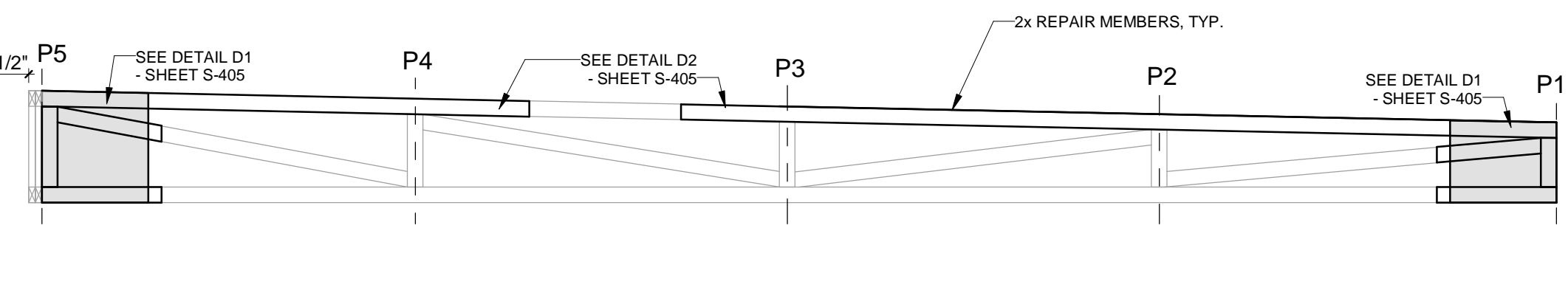


**S1** THIRD FLOOR REFLECTED CEILING/ROOF PLAN - CALLOUT 1  
SCALE: 1/4" = 1'-0"



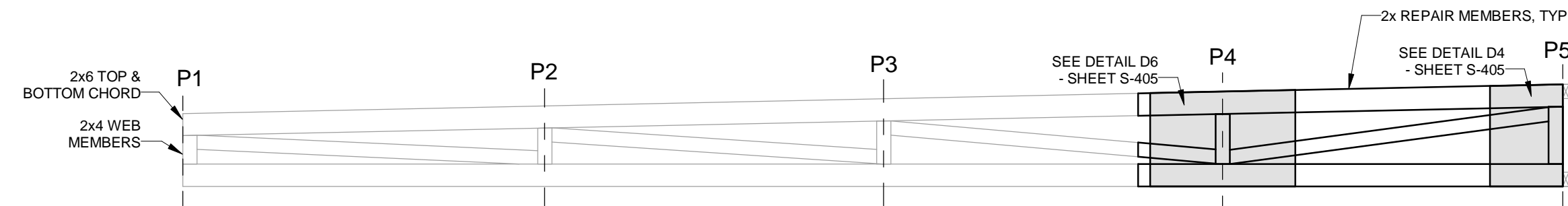
**T1 Truss T1 Repair Detail**  
SCALE: 3/8" = 1'-0"

(APPLY REPAIR TO ONE SIDE OF TRUSS)  
DIMENSION PROVIDED IN 'T1' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



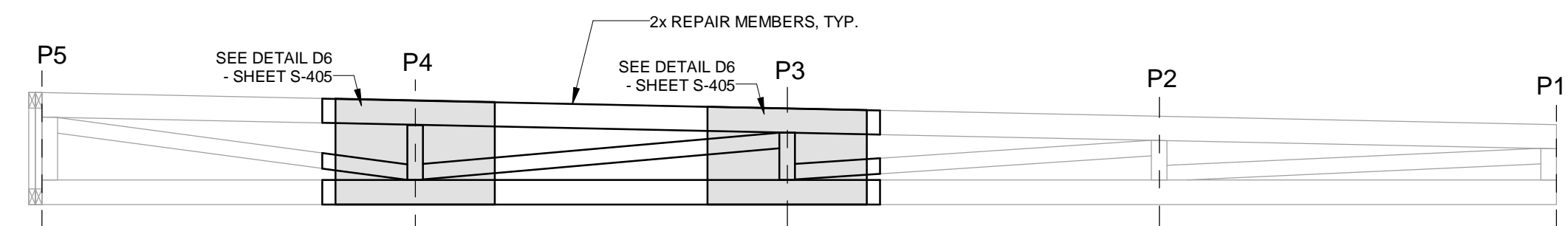
**T5 Truss T5 Repair Detail**  
SCALE: 3/8" = 1'-0"

(APPLY REPAIR TO ONE SIDE OF TRUSS)  
DIMENSION PROVIDED IN 'T1' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



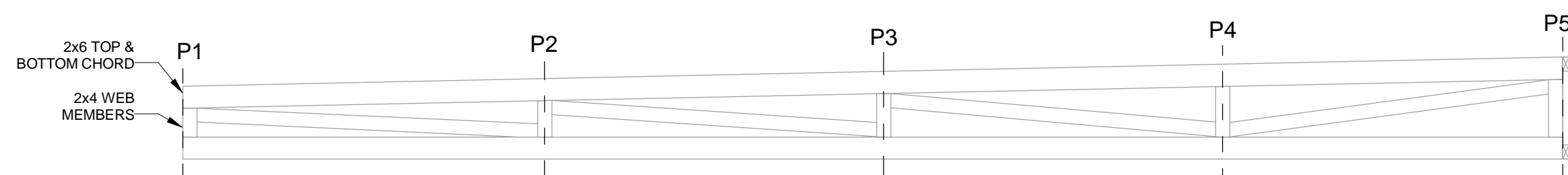
**T2 Truss T2 Repair Detail**  
SCALE: 3/8" = 1'-0"

(APPLY REPAIR TO BOTH SIDES OF TRUSS)  
DIMENSION PROVIDED IN 'T1' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



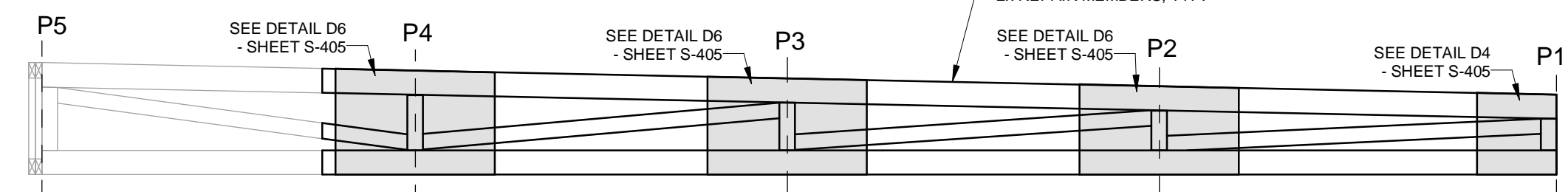
**T6 Truss T6 Repair Detail**  
SCALE: 3/8" = 1'-0"

(APPLY REPAIR TO BOTH SIDES OF TRUSS)  
DIMENSION PROVIDED IN 'T1' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



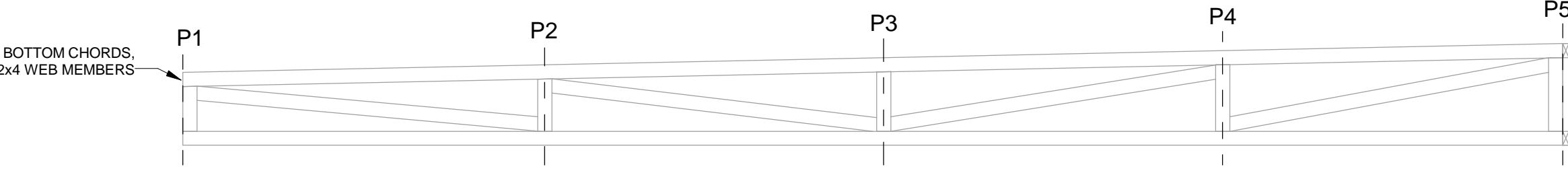
**T3 Truss T3 Repair Detail**  
SCALE: 3/8" = 1'-0"

(APPLY REPAIR TO BOTH SIDES OF TRUSS)  
DIMENSION PROVIDED IN 'T1' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



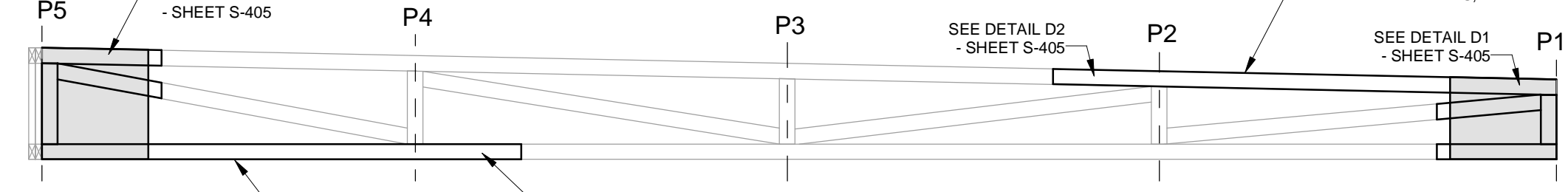
**T7 Truss T7 Repair Detail**  
SCALE: 3/8" = 1'-0"

(APPLY REPAIR TO BOTH SIDES OF TRUSS)  
DIMENSION PROVIDED IN 'T1' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



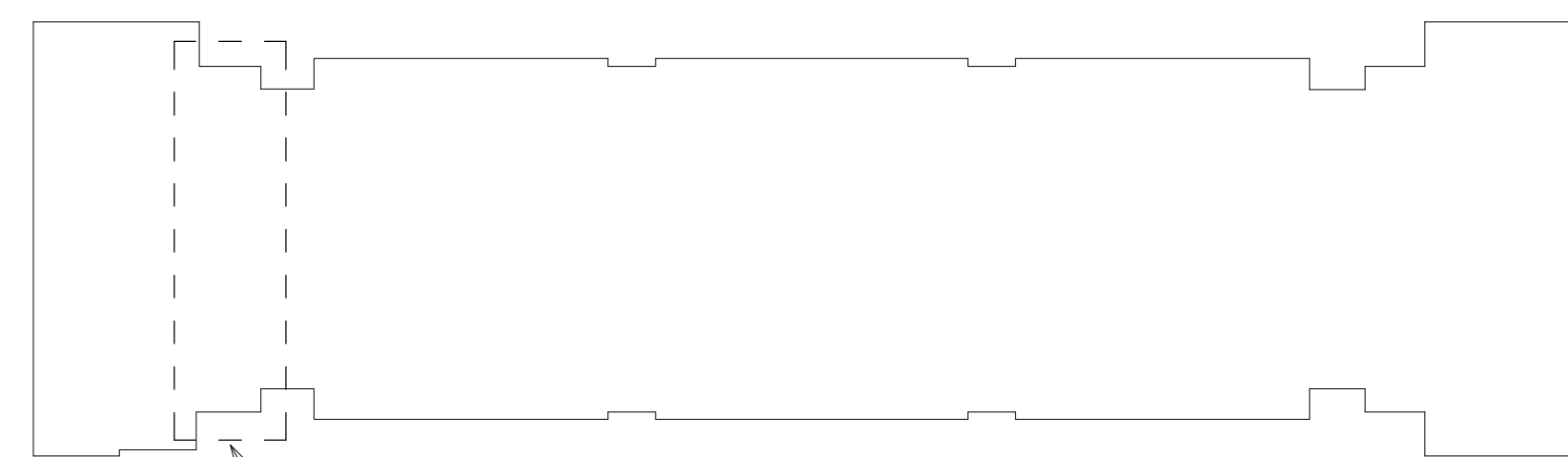
**T4 Truss T4 Repair Detail**  
SCALE: 3/8" = 1'-0"

(APPLY REPAIR TO ONE SIDE OF TRUSS)  
DIMENSION PROVIDED IN 'T1' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

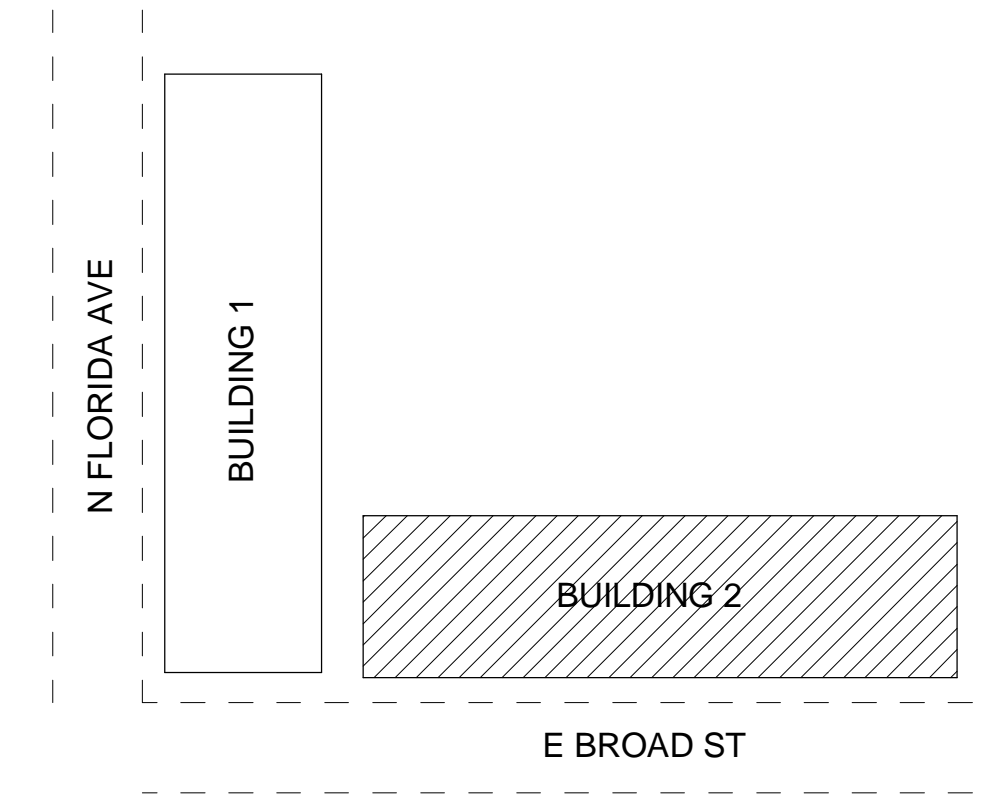


**T8 Truss T8 Repair Detail**  
SCALE: 3/8" = 1'-0"

(APPLY REPAIR TO ONE SIDE OF TRUSS)  
DIMENSION PROVIDED IN 'T1' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



**S1**



IF IT IS DETERMINED THAT IN-FIELD REPAIRS OF TRUSSES IS NOT POSSIBLE PER THESE DRAWINGS DUE TO SPACE RESTRICTIONS OR ANY OTHER REASON, THEN A REMOVAL OF THE EXISTING ROOF TRUSS AND THE INSTALLATION OF A NEW ROOF TRUSS WILL BE REQUIRED.  
IF DURING DEMOLITION AND/OR TRUSS REPAIR ANY ADDITIONAL DAMAGE (WATER/INSECT) IS FOUND THAT IS NOT WITHIN AN AREA OF REPAIR PER THESE DRAWINGS, NOTIFY THE E.O.R. TO PERFORM A SITE VISIT TO SURVEY THE DAMAGE.  
CONTRACTOR TO SHORE ROOF AS NEEDED TO REMOVE ANY SAG/DEFLECTION FROM EXISTING ROOF TRUSSES PRIOR TO INSTALLING TRUSS REPAIRS.  
AFTER REPAIRS ARE COMPLETE, CONTACT THE E.O.R. TO PERFORM A SITE VISIT TO VIEW REPAIRS PRIOR TO COVERING.

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REVISIONS	
No.	Description
1	02/24/2023 Permit Comments
2	03/01/2023 Repairs

**FSG** FULLONE STRUCTURAL GROUP, INC.  
2253 CENTRAL AVENUE, UNIT #105  
ST. PETERSBURG, FLORIDA 33713  
PHONE: (727) 577-2222  
FAX: (727) 577-2221  
EB: #28152  
Project No.: 1236-001

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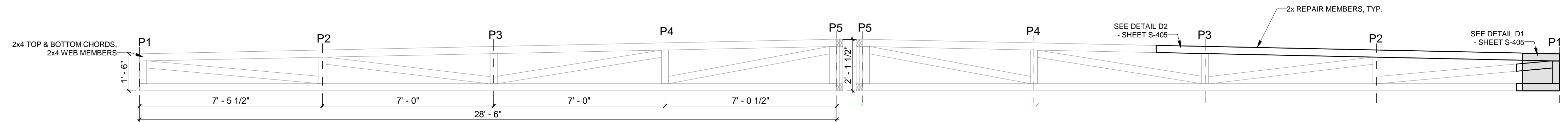
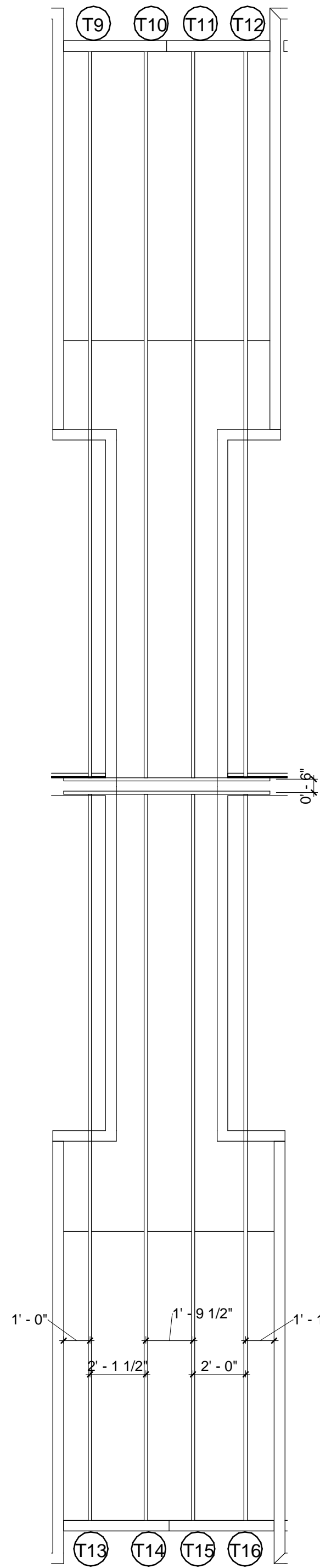
**Project Info:**  
Oaks at Riverview Apartments  
Project Street Address:  
110 E. Broad St. Tampa, FL 33604

Seal

Project No.: 1236-001  
Drawing No.: **S-401**  
Drawn by: AM Checked by: MDB

DATE ISSUED: 03/03/2023

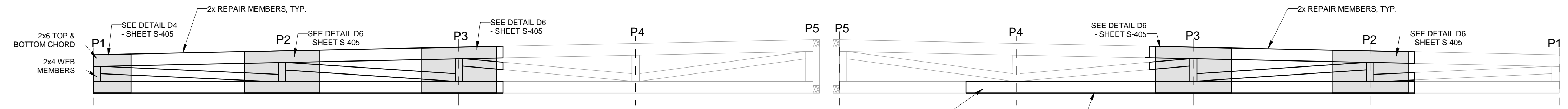
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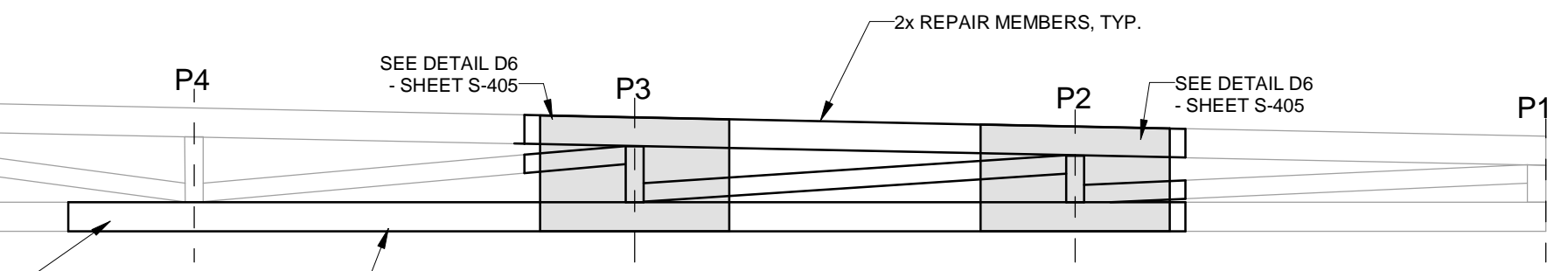
**T9 Truss T9 Repair Detail**  
SCALE: 3/8" = 1'-0"  
(APPLY REPAIR TO ONE SIDE OF TRUSS)  
DIMENSION PROVIDED IN 'T9' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



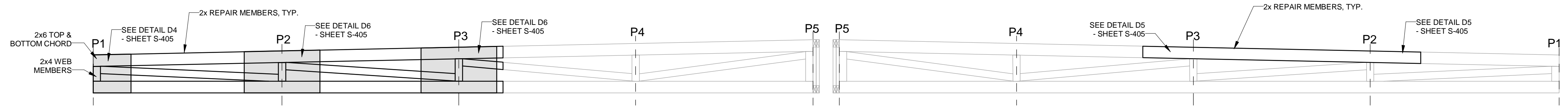
**T13 Truss T13 Repair Detail**  
SCALE: 3/8" = 1'-0"  
(APPLY REPAIR TO ONE SIDE OF TRUSS)  
DIMENSION PROVIDED IN 'T9' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



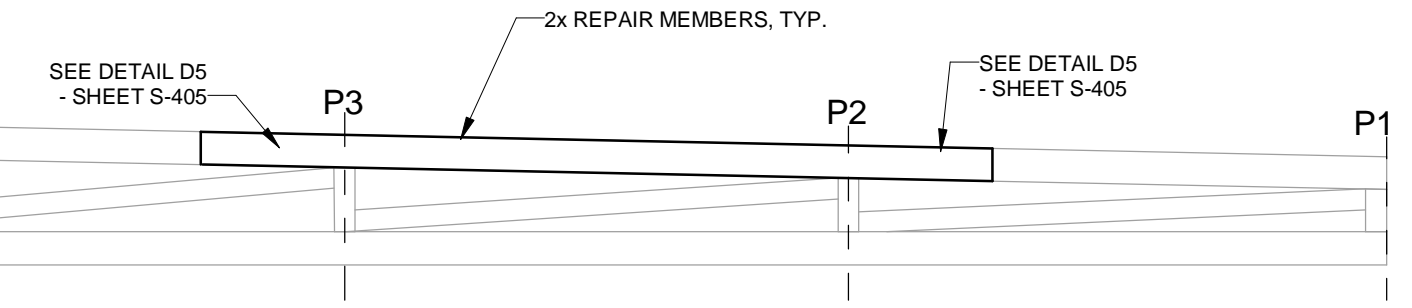
**T10 Truss T10 Repair Detail**  
SCALE: 3/8" = 1'-0"  
(APPLY REPAIR TO BOTH SIDES OF TRUSS)  
DIMENSION PROVIDED IN 'T9' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



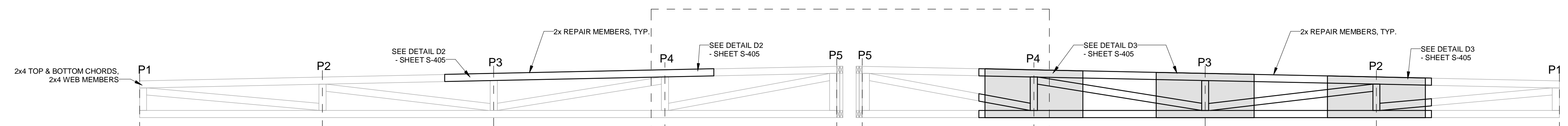
**T14 Truss T14 Repair Detail**  
SCALE: 3/8" = 1'-0"  
(APPLY REPAIR TO BOTH SIDES OF TRUSS)  
DIMENSION PROVIDED IN 'T9' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



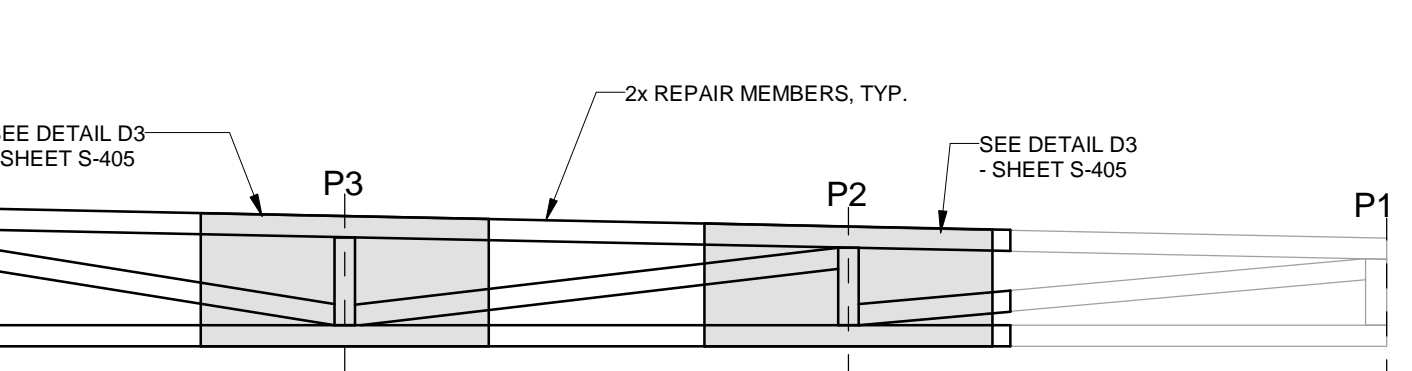
**T11 Truss T11 Repair Detail**  
SCALE: 3/8" = 1'-0"  
(APPLY REPAIR TO BOTH SIDES OF TRUSS)  
DIMENSION PROVIDED IN 'T9' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



**T15 Truss T15 Repair Detail**  
SCALE: 3/8" = 1'-0"  
(APPLY REPAIR TO BOTH SIDES OF TRUSS)  
DIMENSION PROVIDED IN 'T9' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

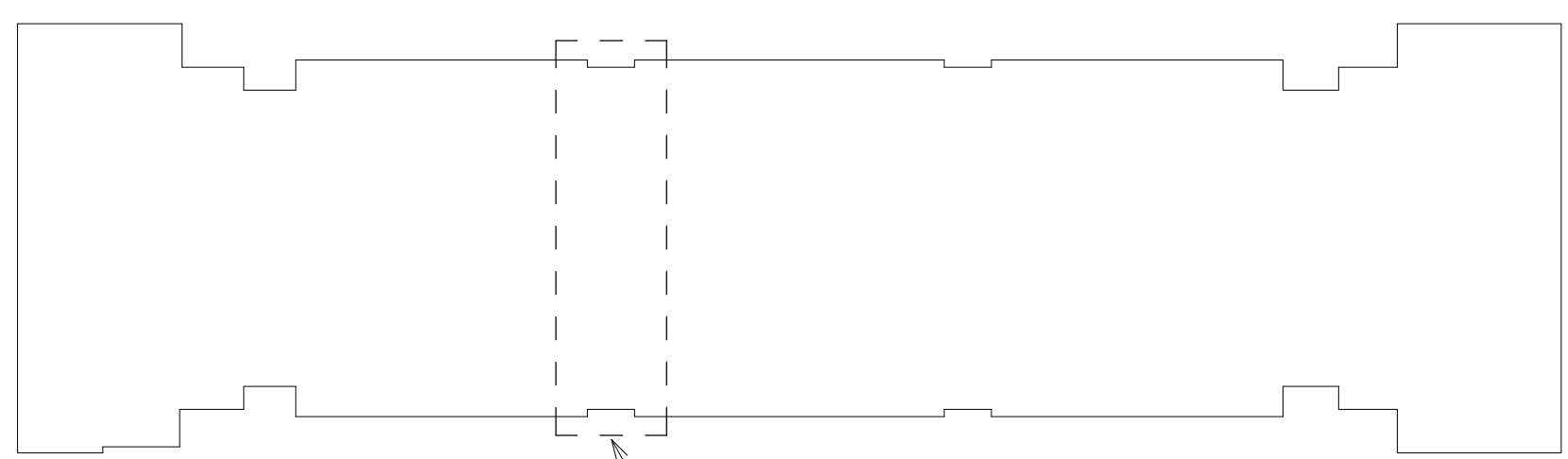


**T12 Truss T12 Repair Detail**  
SCALE: 3/8" = 1'-0"  
(APPLY REPAIR TO ONE SIDE OF TRUSS)  
DIMENSION PROVIDED IN 'T9' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

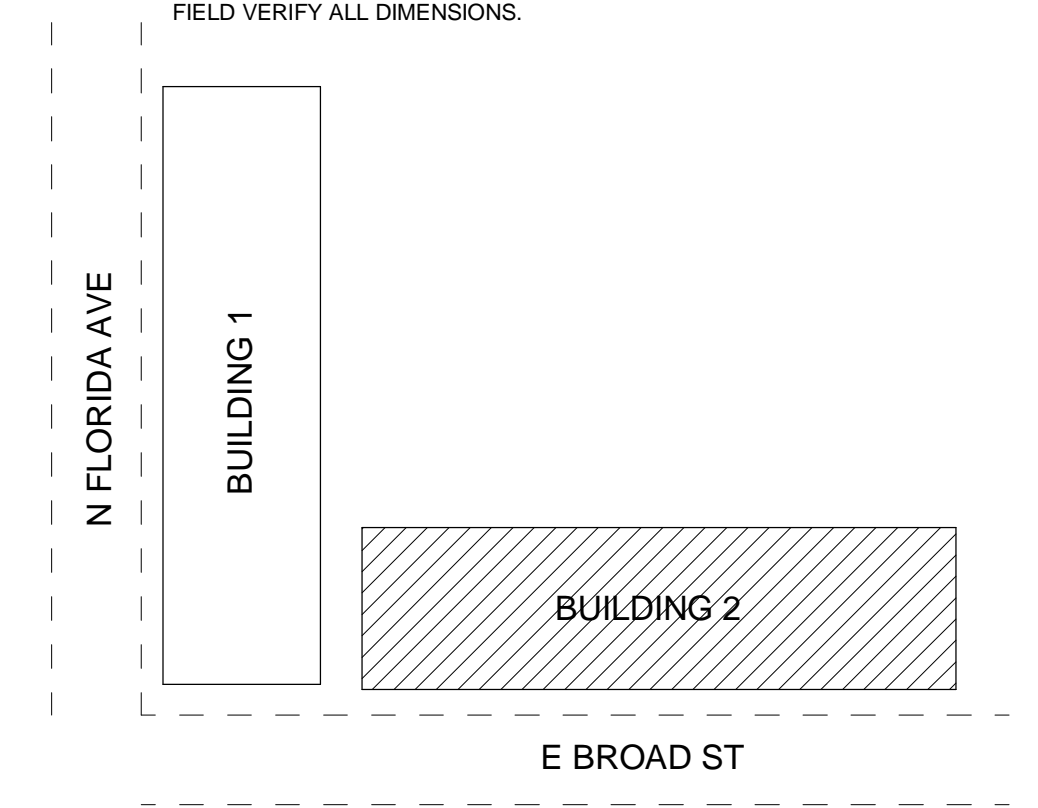


**T16 Truss T16 Repair Detail**  
SCALE: 3/8" = 1'-0"  
(APPLY REPAIR TO ONE SIDE OF TRUSS)  
DIMENSION PROVIDED IN 'T9' ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

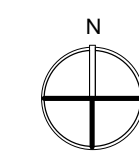
TRUSS WILL BE SURVEYED FOR STRUCTURAL DAMAGE BY THE E.O.R. AFTER EXISTING DRYWALL IS FULLY REMOVED TO EXPOSED FULL LENGTH OF TRUSS. ONCE CEILING IS REMOVED NOTIFY E.O.R. SO A SITE VISIT CAN BE PERFORMED



S2



**S2 THIRD FLOOR REFLECTED CEILING/ROOF PLAN - CALLOUT 2**  
SCALE: 1/4" = 1'-0"



IF IT IS DETERMINED THAT IN-FIELD REPAIRS OF TRUSSES IS NOT POSSIBLE PER THESE DRAWINGS DUE TO SPACE RESTRICTIONS OR ANY OTHER REASON, THEN A REMOVAL OF THE EXISTING ROOF TRUSS AND THE INSTALLATION OF A NEW ROOF TRUSS WILL BE REQUIRED.

IF DURING DEMOLITION AND/OR TRUSS REPAIR ANY ADDITIONAL DAMAGE (WATER/INSECT) IS FOUND THAT IS NOT WITHIN AN AREA OF REPAIR PER THESE DRAWINGS, NOTIFY THE E.O.R. TO PERFORM A SITE VISIT TO SURVEY THE DAMAGE.

CONTRACTOR TO SHORE ROOF AS NEEDED TO REMOVE ANY SAG/DEFLECTION FROM EXISTING ROOF TRUSSES PRIOR TO INSTALLING TRUSS REPAIRS.

AFTER REPAIRS ARE COMPLETE, CONTACT THE E.O.R. TO PERFORM A SITE VISIT TO VIEW REPAIRS PRIOR TO COVERING.

THESE STRUCTURAL DRAWINGS ARE BASED UPON FIELD OBSERVED AS-BUILT CONDITIONS WHERE ACCESS WAS AVAILABLE. AS MORE EXISTING STRUCTURE IS EXPOSED, IF ANY DISCREPANCIES ARE FOUND NOTIFY THE ENGINEER OF RECORD.

REFER TO IBA CONSULTANTS, INC. OAKS AT RIVERVIEW ASSESSMENT REPORT AND RECOMMENDATIONS DATED FEBRUARY 16, 2023 FOR ADDITIONAL INFORMATION REGARDING EXTERIOR STAIR LANDINGS, CORRIDORS, EXTERIOR WALLS AND ROOFING.

No.	Date	Description
1	02/24/2023	Permit Comments
2	03/01/2023	Repairs

**FSG** FULLONE STRUCTURAL GROUP, INC.  
2253 CENTRAL AVENUE, UNIT #105  
ST. PETERSBURG, FLORIDA 33713  
PHONE: (727) 577-2222  
FAX: (727) 577-2221  
EB: #28152  
Project No.: 1236-001

Issued for:	Date:
<input type="checkbox"/> PRELIMINARY	
<input type="checkbox"/> PRICING	
<input type="checkbox"/> BIDDING	
<input type="checkbox"/> PERMIT	
<input type="checkbox"/> CONSTRUCTION	

**Project Info:**  
Oaks at Riverview Apartments  
Project Street Address:  
110 E. Broad St. Tampa, FL 33604

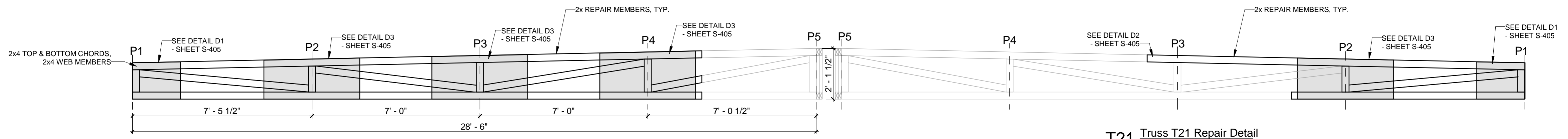
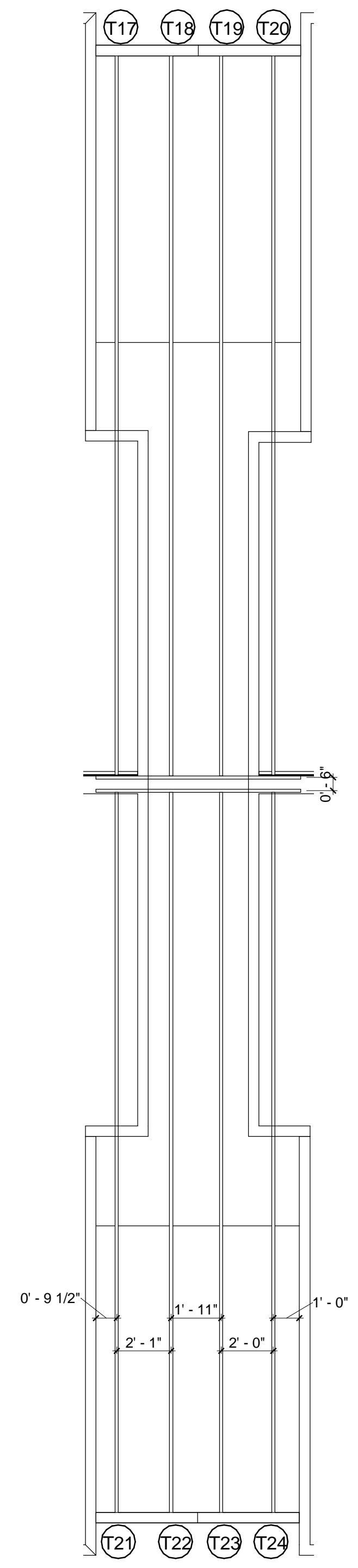
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Project No.: 1236-001  
Drawing No.: **S-402**  
Drawn by: AM Checked by: MDB

03/03/2023

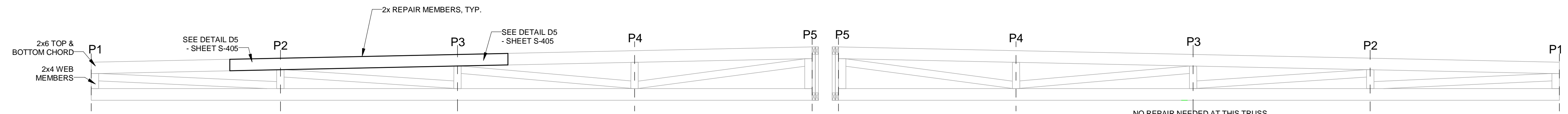
DATE ISSUED:

BID SET



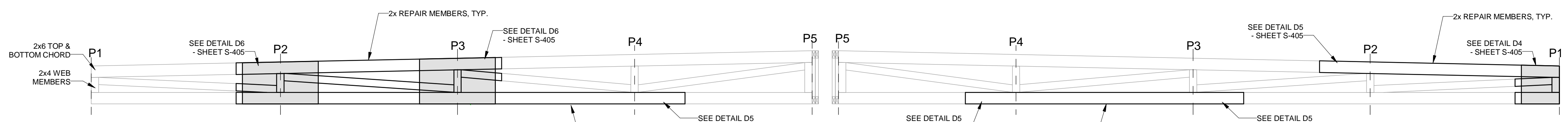
**T17 Truss T17 Repair Detail**  
SCALE: 3/8" = 1'-0"  
(APPLY REPAIR TO ONE SIDE OF TRUSS)  
DIMENSION PROVIDED IN "T17" ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

**T21 Truss T21 Repair Detail**  
SCALE: 3/8" = 1'-0"  
(APPLY REPAIR TO ONE SIDE OF TRUSS)  
DIMENSION PROVIDED IN "T17" ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



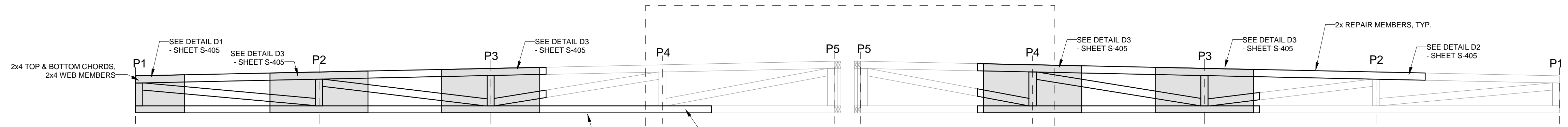
**T18 Truss T18 Repair Detail**  
SCALE: 3/8" = 1'-0"  
(APPLY REPAIR TO BOTH SIDES OF TRUSS)  
DIMENSION PROVIDED IN "T17" ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

**T22 Truss T22 Repair Detail**  
SCALE: 3/8" = 1'-0"  
(APPLY REPAIR TO BOTH SIDES OF TRUSS)  
DIMENSION PROVIDED IN "T17" ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



**T19 Truss T19 Repair Detail**  
SCALE: 3/8" = 1'-0"  
(APPLY REPAIR TO BOTH SIDES OF TRUSS)  
DIMENSION PROVIDED IN "T17" ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

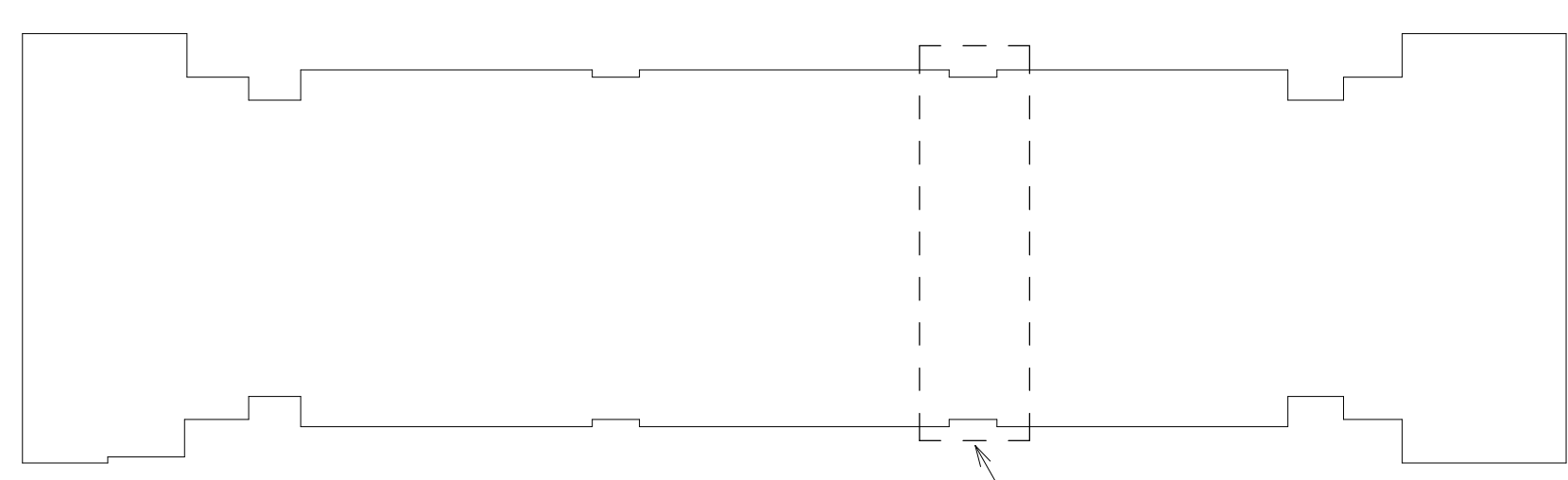
**T23 Truss T23 Repair Detail**  
SCALE: 3/8" = 1'-0"  
(APPLY REPAIR TO BOTH SIDES OF TRUSS)  
DIMENSION PROVIDED IN "T17" ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



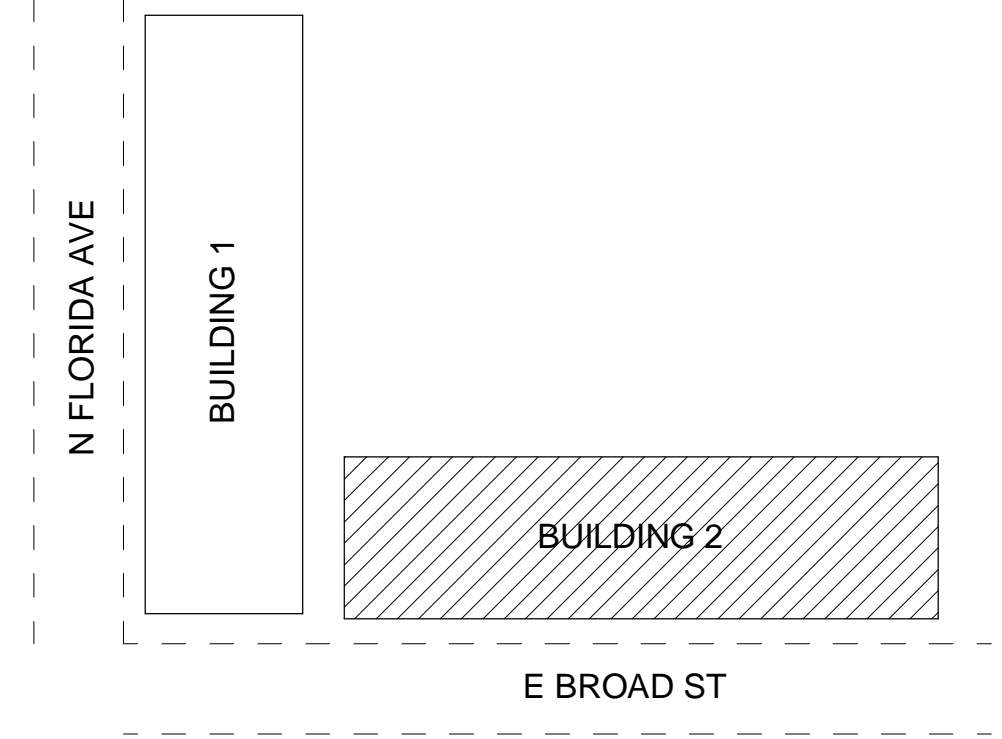
**T20 Truss T20 Repair Detail**  
SCALE: 3/8" = 1'-0"  
(APPLY REPAIR TO ONE SIDE OF TRUSS)  
DIMENSION PROVIDED IN "T17" ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

**T24 Truss T24 Repair Detail**  
SCALE: 3/8" = 1'-0"  
(APPLY REPAIR TO ONE SIDE OF TRUSS)  
DIMENSION PROVIDED IN "T17" ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

TRUSS WILL BE SURVEYED FOR STRUCTURAL DAMAGE BY THE E.O.R. AFTER EXISTING DRYWALL IS FULLY REMOVED TO EXPOSE FULL LENGTH OF TRUSS. ONCE CEILING IS REMOVED NOTIFY E.O.R. SO A SITE VISIT CAN BE PERFORMED



S3



**S3 THIRD FLOOR REFLECTED CEILING/ROOF PLAN - CALLOUT 3**  
SCALE: 1/4" = 1'-0"

- IF IT IS DETERMINED THAT IN-FIELD REPAIRS OF TRUSSES IS NOT POSSIBLE PER THESE DRAWINGS DUE TO SPACE RESTRICTIONS OR ANY OTHER REASON, THEN A REMOVAL OF THE EXISTING ROOF TRUSS AND THE INSTALLATION OF A NEW ROOF TRUSS WILL BE REQUIRED.
- IF DURING DEMOLITION AND/OR TRUSS REPAIR ANY ADDITIONAL DAMAGE (WATER/INSECT) IS FOUND THAT IS NOT WITHIN AN AREA OF REPAIR PER THESE DRAWINGS, NOTIFY THE E.O.R. TO PERFORM A SITE VISIT TO SURVEY THE DAMAGE.
- CONTRACTOR TO SHORE ROOF AS NEEDED TO REMOVE ANY SAG/DEFLECTION FROM EXISTING ROOF TRUSSES PRIOR TO INSTALLING TRUSS REPAIRS.
- AFTER REPAIRS ARE COMPLETE, CONTACT THE E.O.R. TO PERFORM A SITE VISIT TO VIEW REPAIRS PRIOR TO COVERING.

THESE STRUCTURAL DRAWINGS ARE BASED UPON FIELD OBSERVED AS-BUILT CONDITIONS WHERE ACCESS WAS AVAILABLE. AS MORE EXISTING STRUCTURE IS EXPOSED, IF ANY DISCREPANCIES ARE FOUND NOTIFY THE ENGINEER OF RECORD.

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No.	Date	Description
1	02/24/2023	Permit Comments
2	03/01/2023	Repairs

**FSG**  
FULLONE STRUCTURAL GROUP, INC.  
2253 CENTRAL AVENUE, UNIT #105  
ST. PETERSBURG, FLORIDA 33713  
PHONE: (727) 577-2222  
FAX: (727) 577-2221  
EB: #28152  
Project No.: 1236-001

Issued for:	Date:
<input type="checkbox"/> PRELIMINARY	
<input type="checkbox"/> PRICING	
<input type="checkbox"/> BIDDING	
<input type="checkbox"/> PERMIT	
<input type="checkbox"/> CONSTRUCTION	

**Project Info:**  
Oaks at Riverview Apartments  
Project Street Address:  
110 E. Broad St. Tampa, FL 33604

Seal

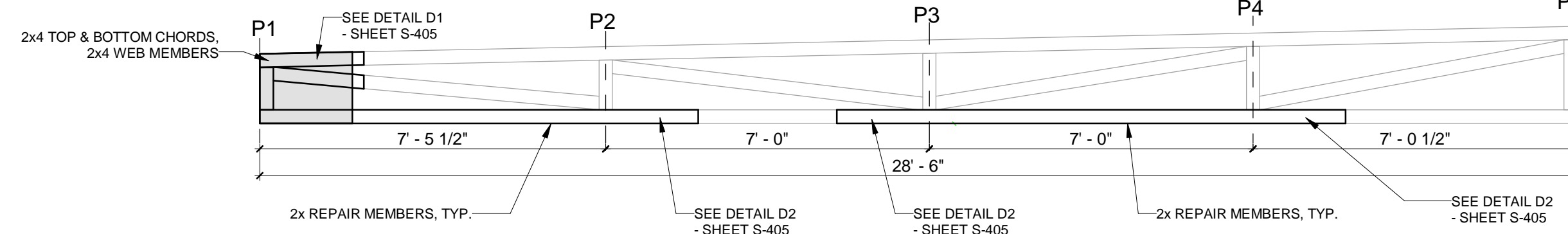
DATE ISSUED: 03/03/2023

Project No.: 1236-001  
Drawing No.: **S-403**  
Drawn by: AM Checked by: MDB

BID SET

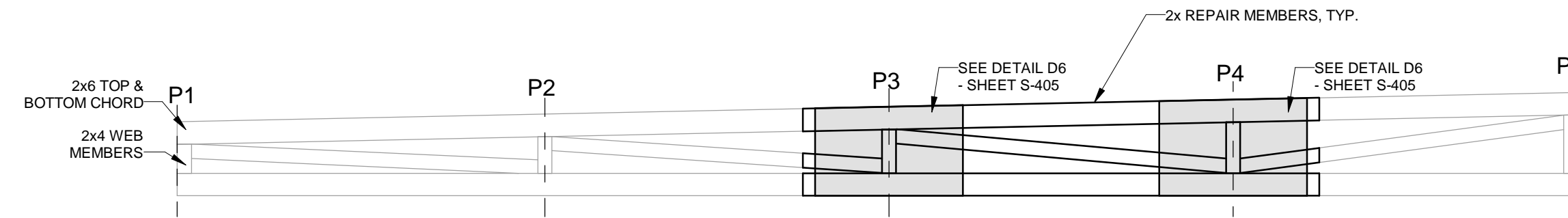
T25 T26 T27 T29

T29 T30 T31 T32



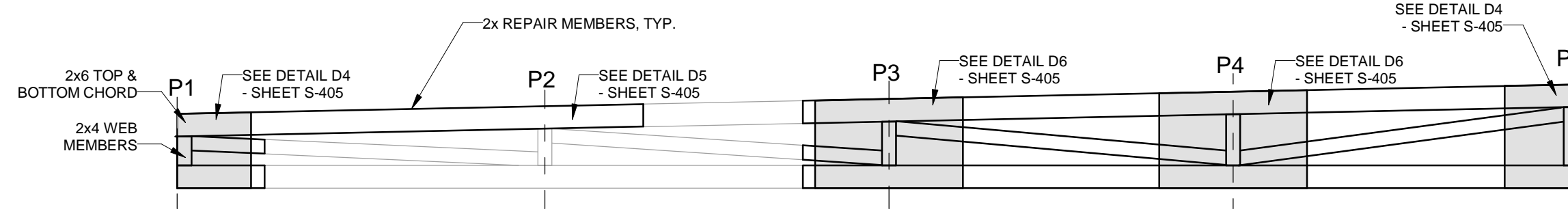
**T25 Truss T25 Repair Detail**  
SCALE: 3/8" = 1'-0"

(APPLY REPAIR TO ONE SIDE OF TRUSS)  
DIMENSION PROVIDED IN "T25" ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



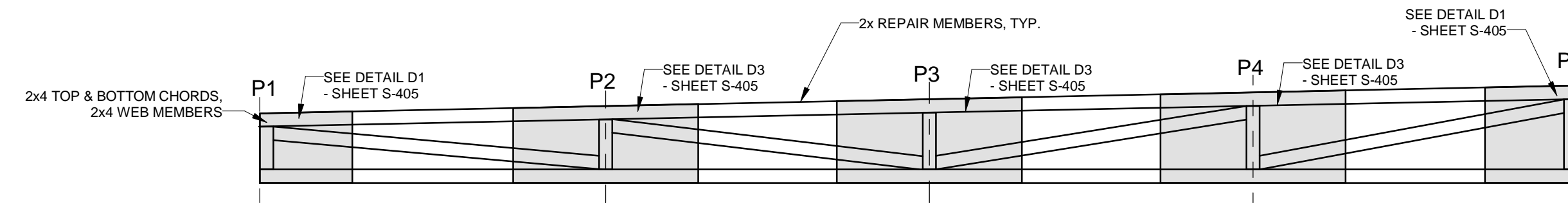
**T26 Truss T26 Repair Detail**  
SCALE: 3/8" = 1'-0"

(APPLY REPAIR TO BOTH SIDES OF TRUSS)  
DIMENSION PROVIDED IN "T25" ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



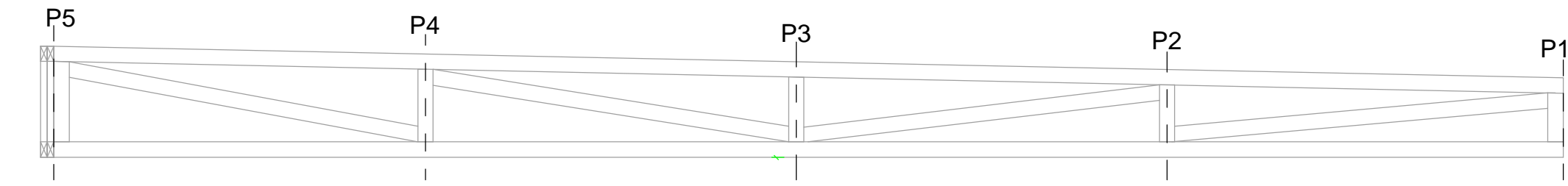
**T27 Truss T27 Repair Detail**  
SCALE: 3/8" = 1'-0"

(APPLY REPAIR TO BOTH SIDES OF TRUSS)  
DIMENSION PROVIDED IN "T25" ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



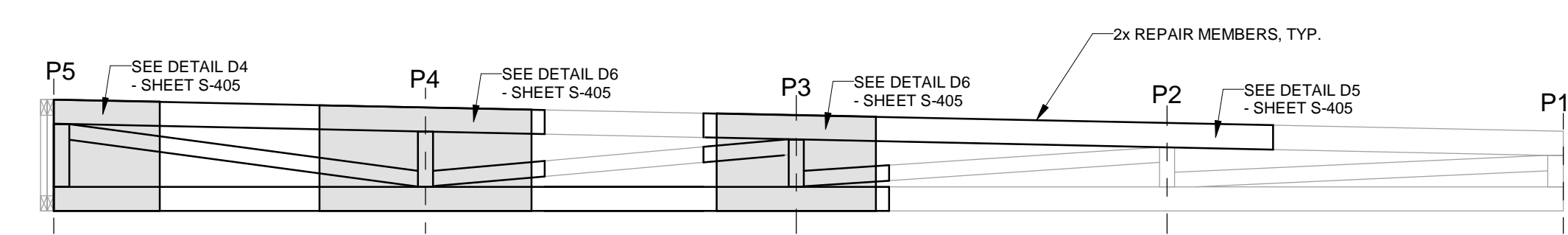
**T28 Truss T28 Repair Detail**  
SCALE: 3/8" = 1'-0"

(APPLY REPAIR TO ONE SIDE OF TRUSS)  
DIMENSION PROVIDED IN "T25" ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



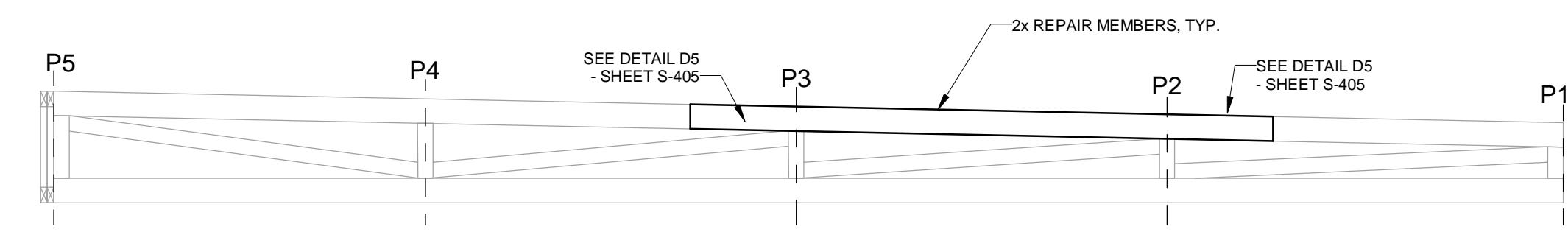
**T29 Truss T29 Repair Detail**  
SCALE: 3/8" = 1'-0"

(APPLY REPAIR TO ONE SIDE OF TRUSS)  
DIMENSION PROVIDED IN "T25" ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



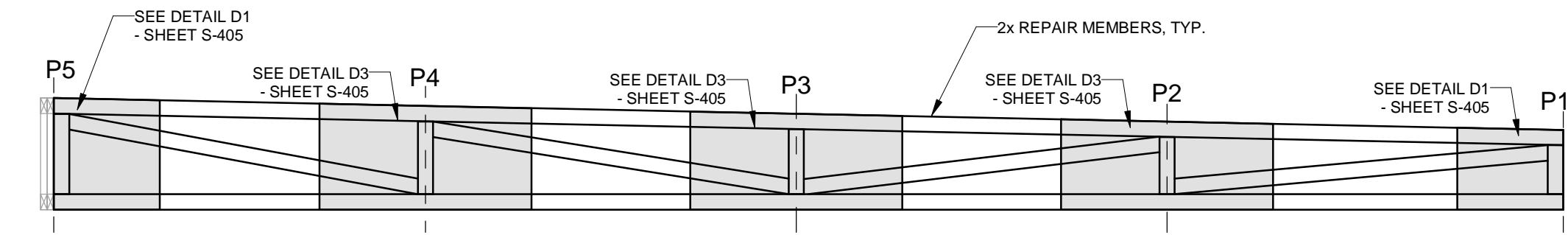
**T30 Truss T30 Repair Detail**  
SCALE: 3/8" = 1'-0"

(APPLY REPAIR TO BOTH SIDES OF TRUSS)  
DIMENSION PROVIDED IN "T25" ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



**T31 Truss T31 Repair Detail**  
SCALE: 3/8" = 1'-0"

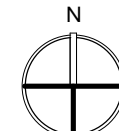
(APPLY REPAIR TO BOTH SIDES OF TRUSS)  
DIMENSION PROVIDED IN "T25" ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.



**T32 Truss T32 Repair Detail**  
SCALE: 3/8" = 1'-0"

(APPLY REPAIR TO ONE SIDE OF TRUSS)  
DIMENSION PROVIDED IN "T25" ARE TYPICAL FOR ALL TRUSSES SHOWN. FIELD VERIFY ALL DIMENSIONS.

**S4 THIRD FLOOR REFLECTED CEILING/ROOF PLAN - CALLOUT 4**  
SCALE: 1/4" = 1'-0"



IF IT IS DETERMINED THAT IN-FIELD REPAIRS OF TRUSSES IS NOT POSSIBLE PER THESE DRAWINGS DUE TO SPACE RESTRICTIONS OR ANY OTHER REASON, THEN A REMOVAL OF THE EXISTING ROOF TRUSS AND THE INSTALLATION OF A NEW ROOF TRUSS WILL BE REQUIRED.

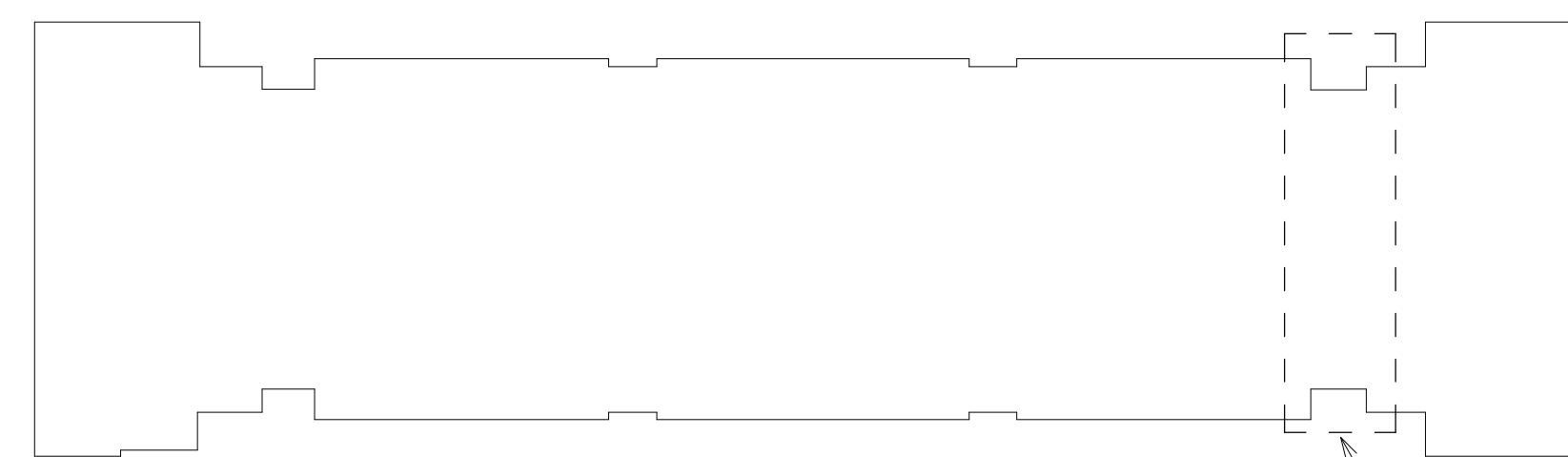
IF DURING DEMOLITION AND/OR TRUSS REPAIR ANY ADDITIONAL DAMAGE (WATER/INSECT) IS FOUND THAT IS NOT WITHIN AN AREA OF REPAIR PER THESE DRAWINGS, NOTIFY THE E.O.R. TO PERFORM A SITE VISIT TO SURVEY THE DAMAGE.

CONTRACTOR TO SHORE ROOF AS NEEDED TO REMOVE ANY SAG/DEFLECTION FROM EXISTING ROOF TRUSSES PRIOR TO INSTALLING TRUSS REPAIRS.

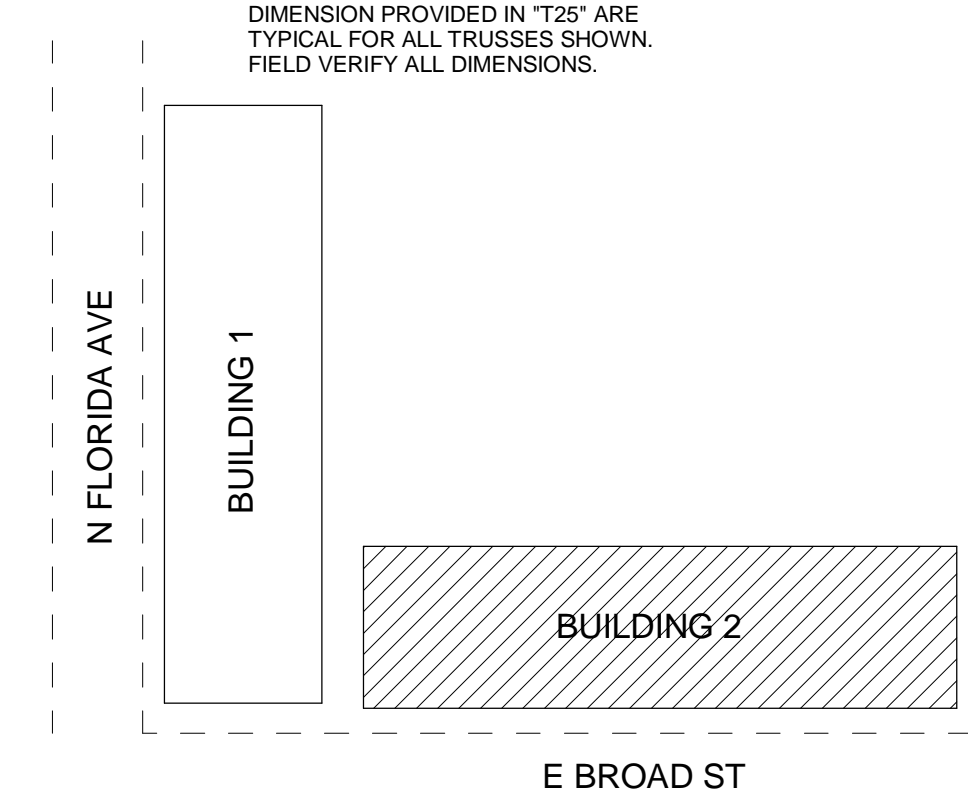
AFTER REPAIRS ARE COMPLETE, CONTACT THE E.O.R. TO PERFORM A SITE VISIT TO VIEW REPAIRS PRIOR TO COVERING.

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S4



No.	Date	Description
1	02/24/2023	Permit Comments
2	03/01/2023	Repairs

**FULLONE STRUCTURAL GROUP, INC**  
2253 CENTRAL AVENUE, UNIT #105  
ST. PETERSBURG, FLORIDA 33713  
PHONE: (727) 577-2222  
FAX: (727) 577-2221  
EB: #28152  
Project No.: 1236-001

Issued for:	Date:
<input type="checkbox"/> PRELIMINARY	
<input type="checkbox"/> PRICING	
<input type="checkbox"/> BIDDING	
<input type="checkbox"/> PERMIT	
<input type="checkbox"/> CONSTRUCTION	

**Project Info:**  
Oaks at Riverview Apartments  
Project Street Address:  
110 E. Broad St. Tampa, FL 33604

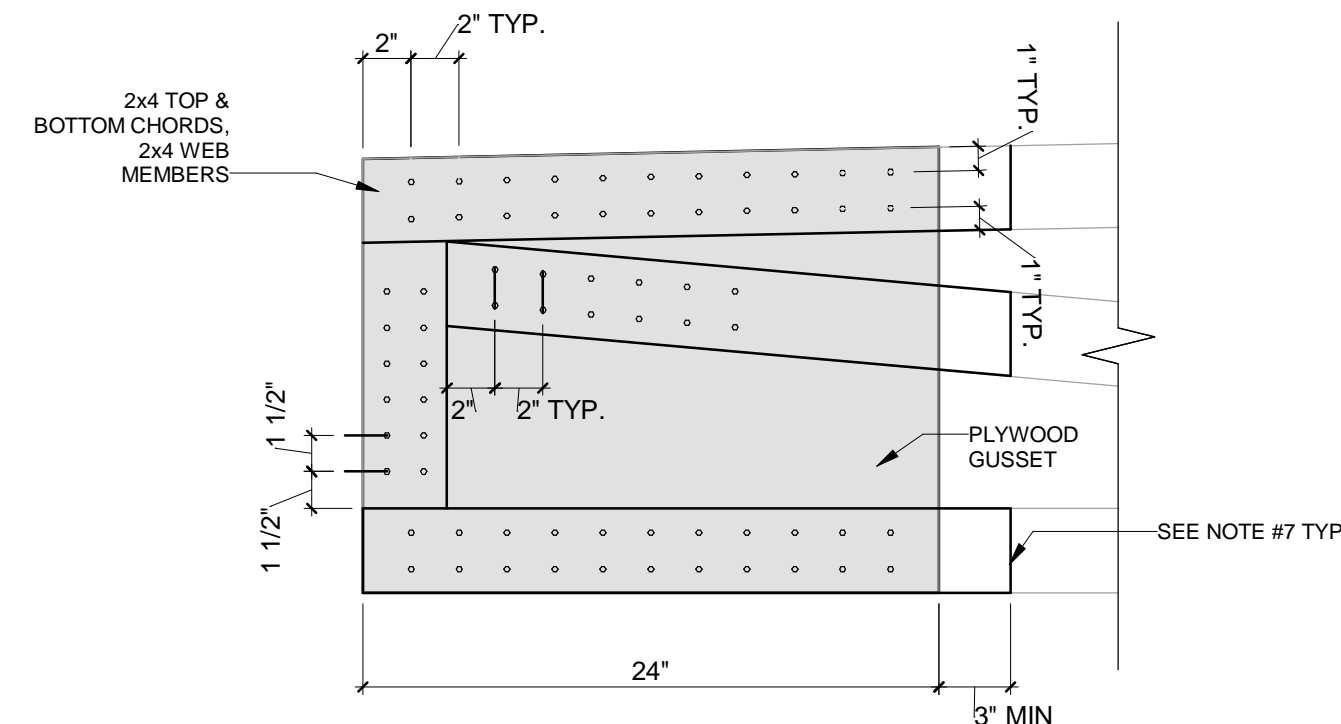
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DATE ISSUED: 03/03/2023

Project No.: 1236-001  
Drawing No.: **S-404**  
Drawn by: AM Checked by: MDB

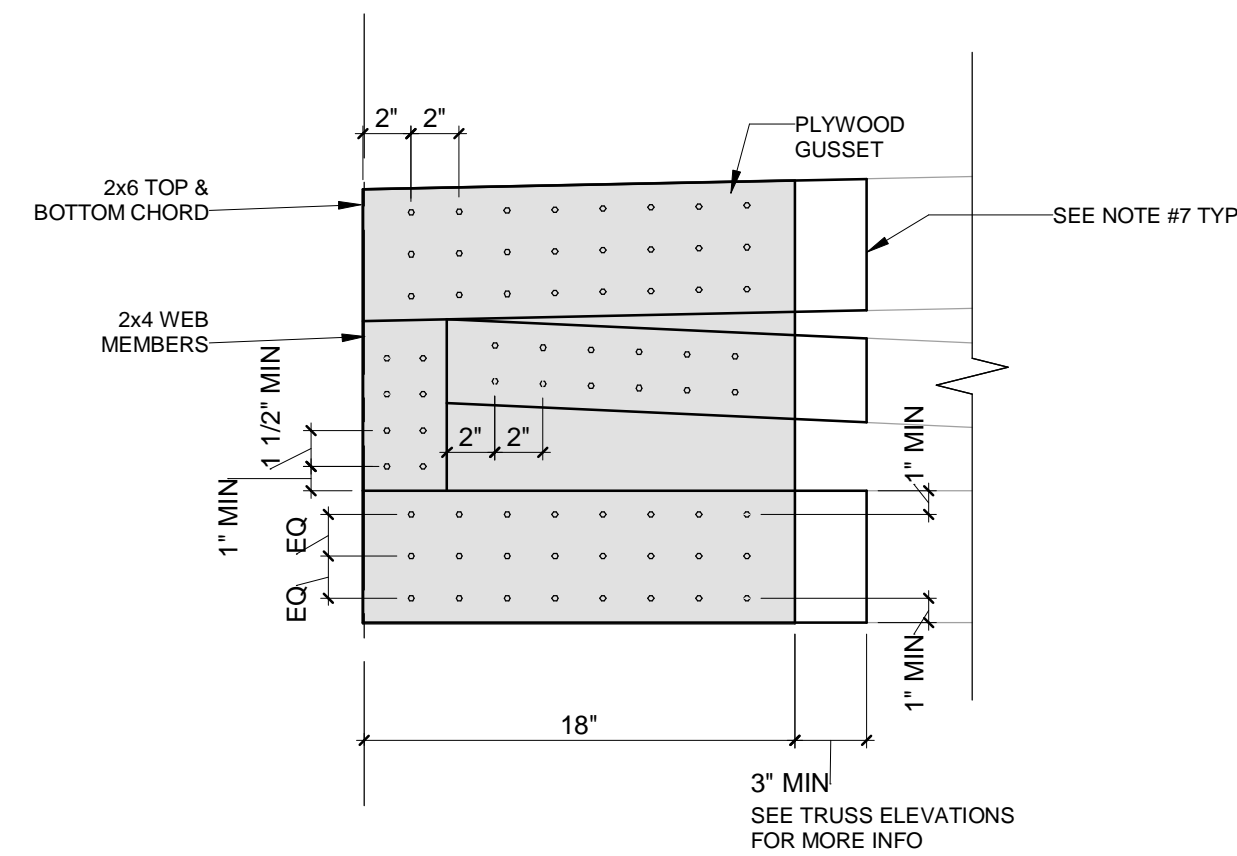
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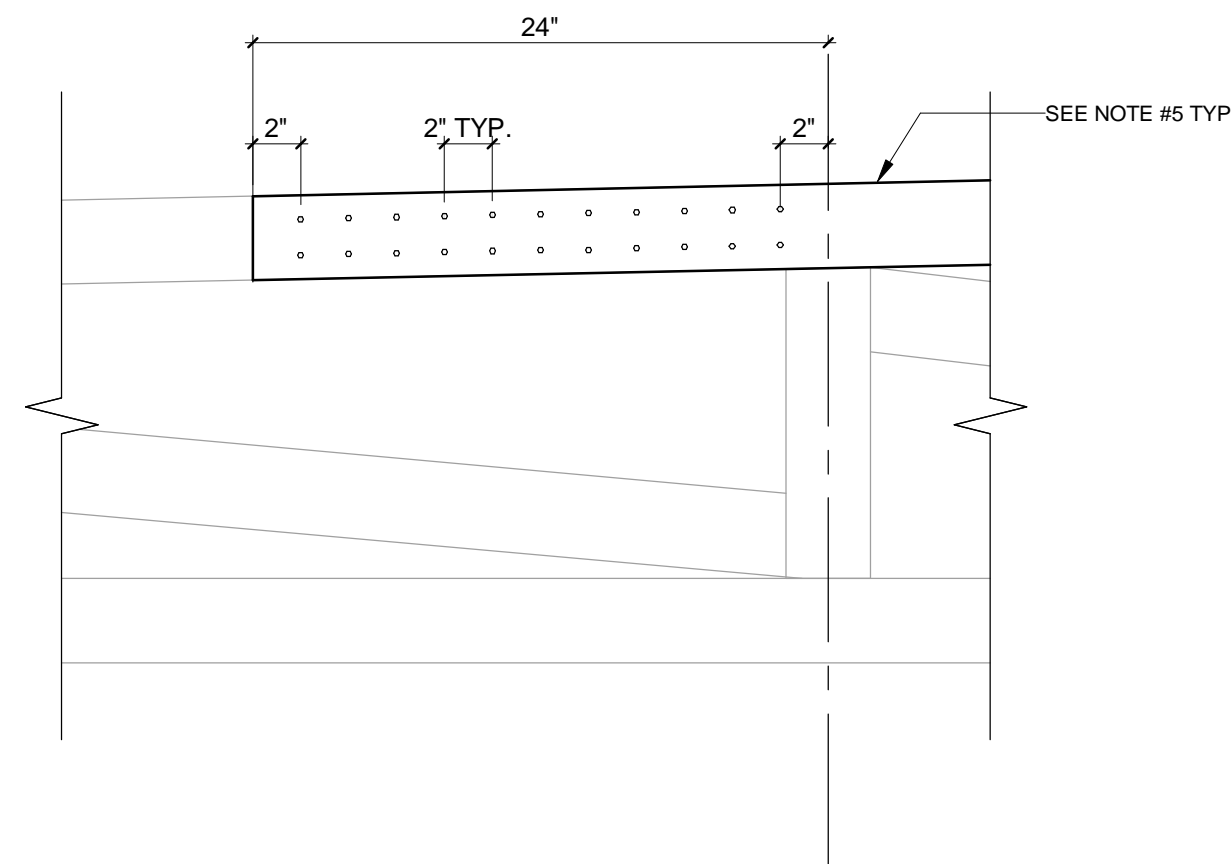
**D1 Detail 1**  
SCALE: 1 1/2" = 1'-0"

- DETAIL D1 NOTES:**
- ALL SHORING IS TO REMAIN IN PLACE UNTIL REPAIR IS COMPLETE AND HAS BEEN INSPECTED.
  - NEW REPAIR MEMBERS TO BE 2x4 SOUTHERN YELLOW PINE NO. 2 OR BETTER.
  - PROVIDE NEW 2x4 ON **ONE SIDE** OF EXISTING TRUSS TOP & BOTTOM CHORDS AND AT VERTICAL AND DIAGONAL WEB MEMBERS AS SHOWN.
  - PROVIDE 1/2" PLYWOOD GUSSET PLATE FULL HEIGHT OF TRUSS. LENGTH AS SHOWN IN DETAIL.
  - USE HIGH STRENGTH CONSTRUCTION ADHESIVE BETWEEN EXISTING TRUSS AND NEW 2x4 MEMBERS AND BETWEEN NEW 2x4 MEMBERS AND NEW GUSSET PLATE.
  - FASTEN NEW GUSSET AND 2x4 MEMBERS TO EXISTING TRUSS AS FOLLOWS:
    - AT TOP & BOTTOM CHORDS USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 2'-0" (22 TOTAL SCREWS). SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
    - AT VERTICAL WEB MEMBER USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 1'-1/2" O.C. SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
    - AT DIAGONAL WEB MEMBER USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 2'-0" (12 TOTAL SCREWS). SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
  - FOR BALANCE OF NEW 2x4 REPAIR MEMBER BETWEEN END SCREW FASTENING LOCATIONS, PROVIDE (2) 10d NAILS AT 4" O/C TO EXISTING TRUSS.



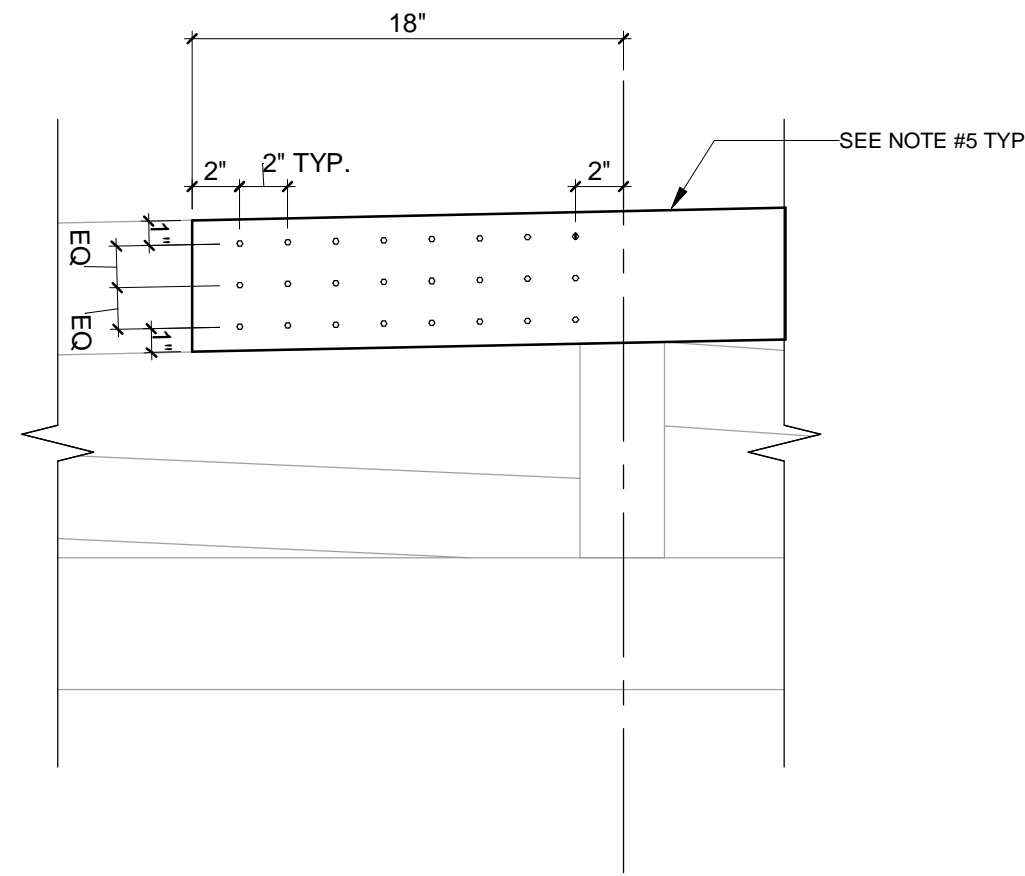
**D4 Detail 4**  
SCALE: 1 1/2" = 1'-0"

- DETAIL D1 NOTES:**
- ALL SHORING IS TO REMAIN IN PLACE UNTIL REPAIR IS COMPLETE AND HAS BEEN INSPECTED.
  - NEW REPAIR MEMBERS TO BE 2x4 SOUTHERN YELLOW PINE NO. 2 OR BETTER.
  - PROVIDE NEW 2x4 ON **ONE SIDE** OF EXISTING TRUSS TOP & BOTTOM CHORDS AND AT VERTICAL AND DIAGONAL WEB MEMBERS AS SHOWN.
  - PROVIDE 1/2" PLYWOOD GUSSET PLATE FULL HEIGHT OF TRUSS. LENGTH AS SHOWN IN DETAIL.
  - USE HIGH STRENGTH CONSTRUCTION ADHESIVE BETWEEN EXISTING TRUSS AND NEW 2x4 MEMBERS AND BETWEEN NEW 2x4 MEMBERS AND NEW GUSSET PLATE.
  - FASTEN NEW GUSSET AND 2x4 MEMBERS TO EXISTING TRUSS AS FOLLOWS:
    - AT TOP & BOTTOM CHORDS USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 2'-0" (22 TOTAL SCREWS). SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
    - AT VERTICAL WEB MEMBER USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 1'-1/2" O.C. SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
    - AT DIAGONAL WEB MEMBER USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 2'-0" (12 TOTAL SCREWS). SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
  - FOR BALANCE OF NEW 2x4 REPAIR MEMBER BETWEEN END SCREW FASTENING LOCATIONS, PROVIDE (2) 10d NAILS AT 4" O/C TO EXISTING TRUSS.



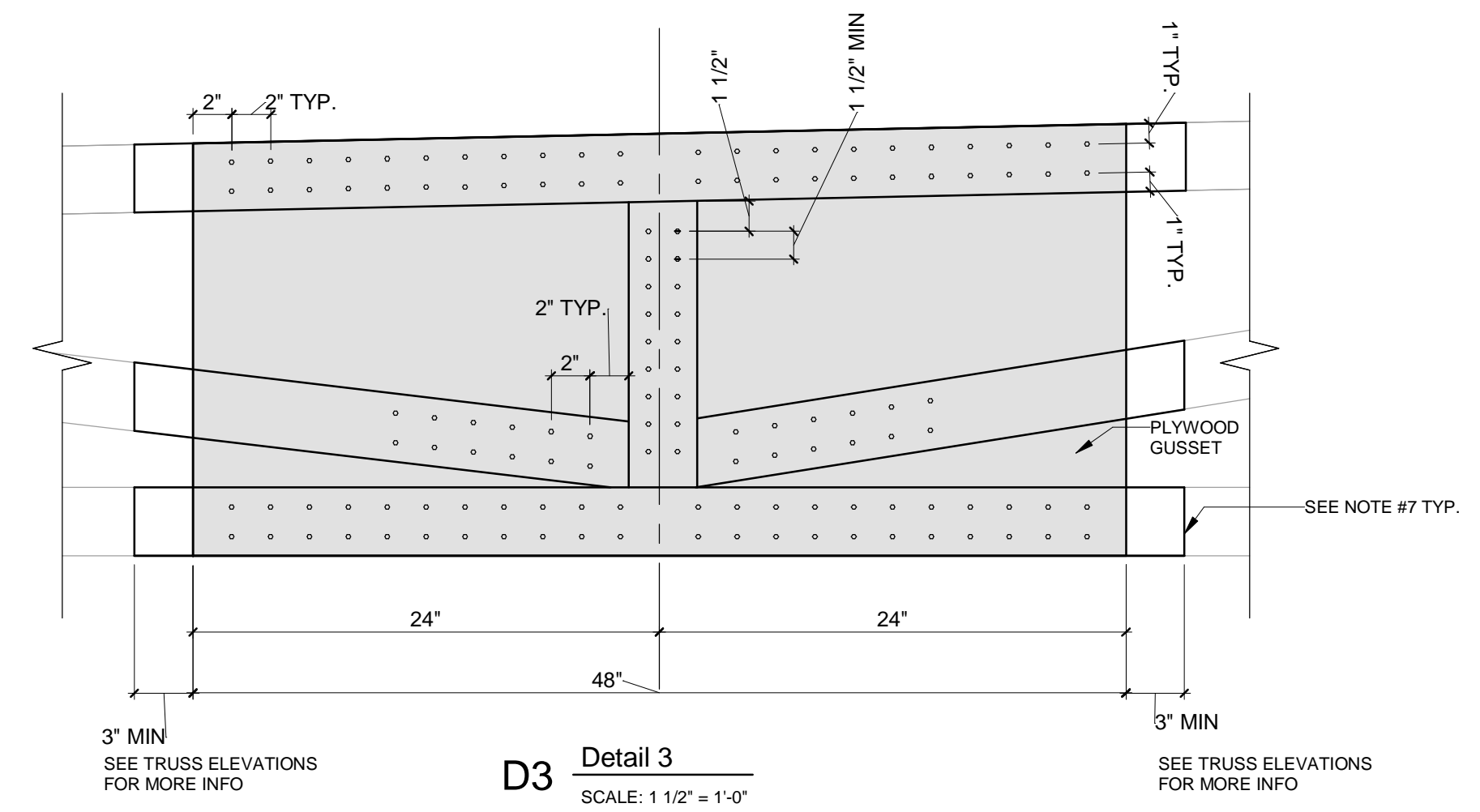
**D2 Detail 2**  
SCALE: 1 1/2" = 1'-0"

- DETAIL D2 NOTES:**
- ALL SHORING IS TO REMAIN IN PLACE UNTIL REPAIR IS COMPLETE AND HAS BEEN INSPECTED.
  - NEW REPAIR MEMBERS TO BE 2x4 SOUTHERN YELLOW PINE NO. 2 OR BETTER.
  - PROVIDE NEW 2x4 ON **ONE SIDE** OF EXISTING TRUSS TOP AND/OR BOTTOM CHORDS TO EXTEND BEYOND PANEL POINT A MINIMUM OF 2'-0" AS SHOWN.
  - FASTEN 2x4 MEMBERS TO EXISTING TRUSS AS FOLLOWS:
    - USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 2'-0" (22 TOTAL SCREWS). SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
  - FOR BALANCE OF NEW 2x4 REPAIR MEMBER BETWEEN END SCREW FASTENING LOCATIONS, PROVIDE (2) 10d NAILS AT 4" O/C TO EXISTING TRUSS.



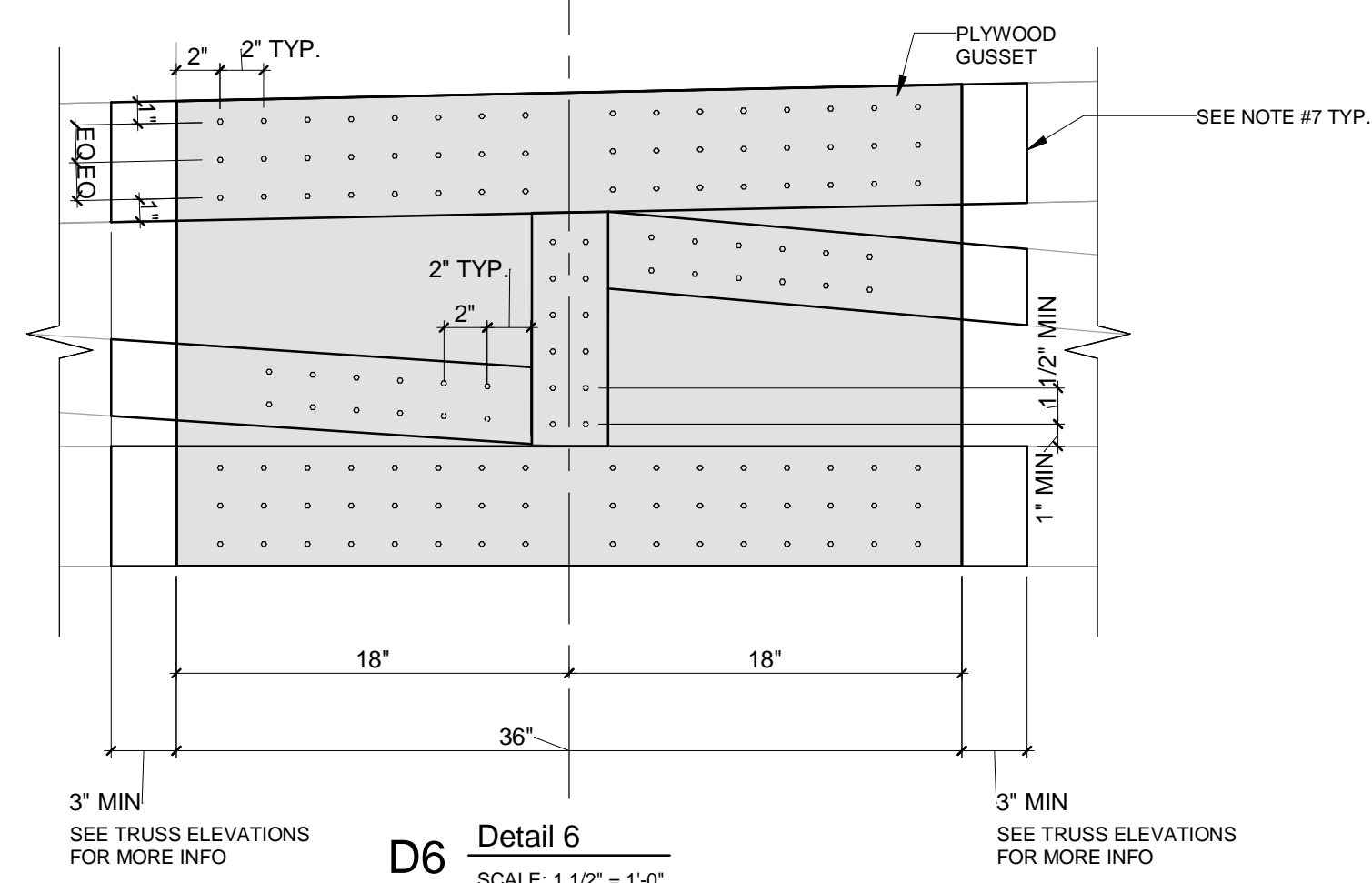
**D5 Detail 5**  
SCALE: 1 1/2" = 1'-0"

- DETAIL D2 NOTES:**
- ALL SHORING IS TO REMAIN IN PLACE UNTIL REPAIR IS COMPLETE AND HAS BEEN INSPECTED.
  - NEW REPAIR MEMBERS TO BE 2x4 SOUTHERN YELLOW PINE NO. 2 OR BETTER.
  - PROVIDE NEW 2x4 ON **ONE SIDE** OF EXISTING TRUSS TOP AND/OR BOTTOM CHORDS TO EXTEND BEYOND PANEL POINT A MINIMUM OF 2'-0" AS SHOWN.
  - FASTEN 2x4 MEMBERS TO EXISTING TRUSS AS FOLLOWS:
    - USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 2'-0" (22 TOTAL SCREWS). SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
  - FOR BALANCE OF NEW 2x4 REPAIR MEMBER BETWEEN END SCREW FASTENING LOCATIONS, PROVIDE (2) 10d NAILS AT 4" O/C TO EXISTING TRUSS.



**D3 Detail 3**  
SCALE: 1 1/2" = 1'-0"

- DETAIL D3 NOTES:**
- ALL SHORING IS TO REMAIN IN PLACE UNTIL REPAIR IS COMPLETE AND HAS BEEN INSPECTED.
  - NEW REPAIR MEMBERS TO BE 2x4 SOUTHERN YELLOW PINE NO. 2 OR BETTER.
  - PROVIDE NEW 2x4 ON **ONE SIDE** OF EXISTING TRUSS TOP & BOTTOM CHORDS AND AT VERTICAL AND DIAGONAL WEB MEMBERS AS SHOWN.
  - PROVIDE 1/2" PLYWOOD GUSSET PLATE FULL HEIGHT OF TRUSS. LENGTH AS SHOWN IN DETAIL.
  - USE HIGH STRENGTH CONSTRUCTION ADHESIVE BETWEEN EXISTING TRUSS AND NEW 2x4 MEMBERS AND BETWEEN NEW 2x4 MEMBERS AND NEW GUSSET PLATE.
  - FASTEN NEW GUSSET AND 2x4 MEMBERS TO EXISTING TRUSS AS FOLLOWS:
    - AT TOP & BOTTOM CHORDS USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 2'-0" (22 TOTAL SCREWS) ON EACH SIDE OF PANEL POINT AS SHOWN. SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
    - AT VERTICAL WEB MEMBER USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 1'-1/2" O.C. SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
    - AT DIAGONAL WEB MEMBERS USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 2'-0" (12 TOTAL SCREWS) ON EACH SIDE OF PANEL POINT AS SHOWN. SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
  - FOR BALANCE OF NEW 2x4 REPAIR MEMBER BETWEEN END SCREW FASTENING LOCATIONS, PROVIDE (2) 10d NAILS AT 4" O/C TO EXISTING TRUSS.



**D6 Detail 6**  
SCALE: 1 1/2" = 1'-0"

- DETAIL D3 NOTES:**
- ALL SHORING IS TO REMAIN IN PLACE UNTIL REPAIR IS COMPLETE AND HAS BEEN INSPECTED.
  - NEW REPAIR MEMBERS TO BE 2x4 SOUTHERN YELLOW PINE NO. 2 OR BETTER.
  - PROVIDE NEW 2x4 ON **ONE SIDE** OF EXISTING TRUSS TOP & BOTTOM CHORDS AND AT VERTICAL AND DIAGONAL WEB MEMBERS AS SHOWN.
  - PROVIDE 1/2" PLYWOOD GUSSET PLATE FULL HEIGHT OF TRUSS. LENGTH AS SHOWN IN DETAIL.
  - USE HIGH STRENGTH CONSTRUCTION ADHESIVE BETWEEN EXISTING TRUSS AND NEW 2x4 MEMBERS AND BETWEEN NEW 2x4 MEMBERS AND NEW GUSSET PLATE.
  - FASTEN NEW GUSSET AND 2x4 MEMBERS TO EXISTING TRUSS AS FOLLOWS:
    - AT TOP & BOTTOM CHORDS USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 2'-0" (22 TOTAL SCREWS) ON EACH SIDE OF PANEL POINT AS SHOWN. SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
    - AT VERTICAL WEB MEMBER USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 1'-1/2" O.C. SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
    - AT DIAGONAL WEB MEMBERS USE HIGH STRENGTH CONSTRUCTION ADHESIVE AND (2) ROWS OF SIMPSON SDS 3 1/2" LONG SCREWS SPACED AT 2'-0" (12 TOTAL SCREWS) ON EACH SIDE OF PANEL POINT AS SHOWN. SEE DETAIL FOR REQUIRED END AND EDGE DISTANCES.
  - FOR BALANCE OF NEW 2x4 REPAIR MEMBER BETWEEN END SCREW FASTENING LOCATIONS, PROVIDE (2) 10d NAILS AT 4" O/C TO EXISTING TRUSS.

IF IT IS DETERMINED THAT IN-FIELD REPAIRS OF TRUSSES IS NOT POSSIBLE PER THESE DRAWINGS DUE TO SPACE RESTRICTIONS OR ANY OTHER REASON, THEN A REMOVAL OF THE EXISTING ROOF TRUSS AND THE INSTALLATION OF A NEW ROOF TRUSS WILL BE REQUIRED.

IF DURING DEMOLITION AND/OR TRUSS REPAIR ANY ADDITIONAL DAMAGE (WATER/INSECT) IS FOUND THAT IS NOT WITHIN AN AREA OF REPAIR PER THESE DRAWINGS, NOTIFY THE E.O.R. TO PERFORM A SITE VISIT TO SURVEY THE DAMAGE.

CONTRACTOR TO SHORE ROOF AS NEEDED TO REMOVE ANY SAG/DEFLECTION FROM EXISTING ROOF TRUSSES PRIOR TO INSTALLING TRUSS REPAIRS.

AFTER REPAIRS ARE COMPLETE, CONTACT THE E.O.R. TO PERFORM A SITE VISIT TO VIEW REPAIRS PRIOR TO COVERING.

THESE STRUCTURAL DRAWINGS ARE BASED UPON FIELD OBSERVED AS-BUILT CONDITIONS WHERE ACCESS WAS AVAILABLE. AS MORE EXISTING STRUCTURE IS EXPOSED, IF ANY DISCREPANCIES ARE FOUND NOTIFY THE ENGINEER OF RECORD.

REFER TO IBA CONSULTANTS, INC. OAKS AT RIVERVIEW ASSESSMENT REPORT AND RECOMMENDATIONS-DATED FEBRUARY 16, 2023 FOR ADDITIONAL INFORMATION REGARDING EXTERIOR STAIR LANDINGS, CORRIDORS, EXTERIOR WALLS AND ROOFING.

No.	Date	Description
1	02/24/2023	Permit Comments
2	03/01/2023	Revisions

**FULLONE STRUCTURAL GROUP, INC.**

**FSG**

2253 CENTRAL AVENUE, UNIT #105  
ST. PETERSBURG, FLORIDA 33713  
PHONE: (727) 577-2222  
FAX: (727) 577-2221  
EB: #28152

Project No.: 1236-001

Issued for:	Date:
<input type="checkbox"/> PRELIMINARY	
<input type="checkbox"/> PRICING	
<input type="checkbox"/> BIDDING	
<input type="checkbox"/> PERMIT	
<input type="checkbox"/> CONSTRUCTION	

**Project Info:**  
Oaks at Riverview Apartments  
Project Street Address:  
110 E. Broad St. Tampa, FL 33604

Seal

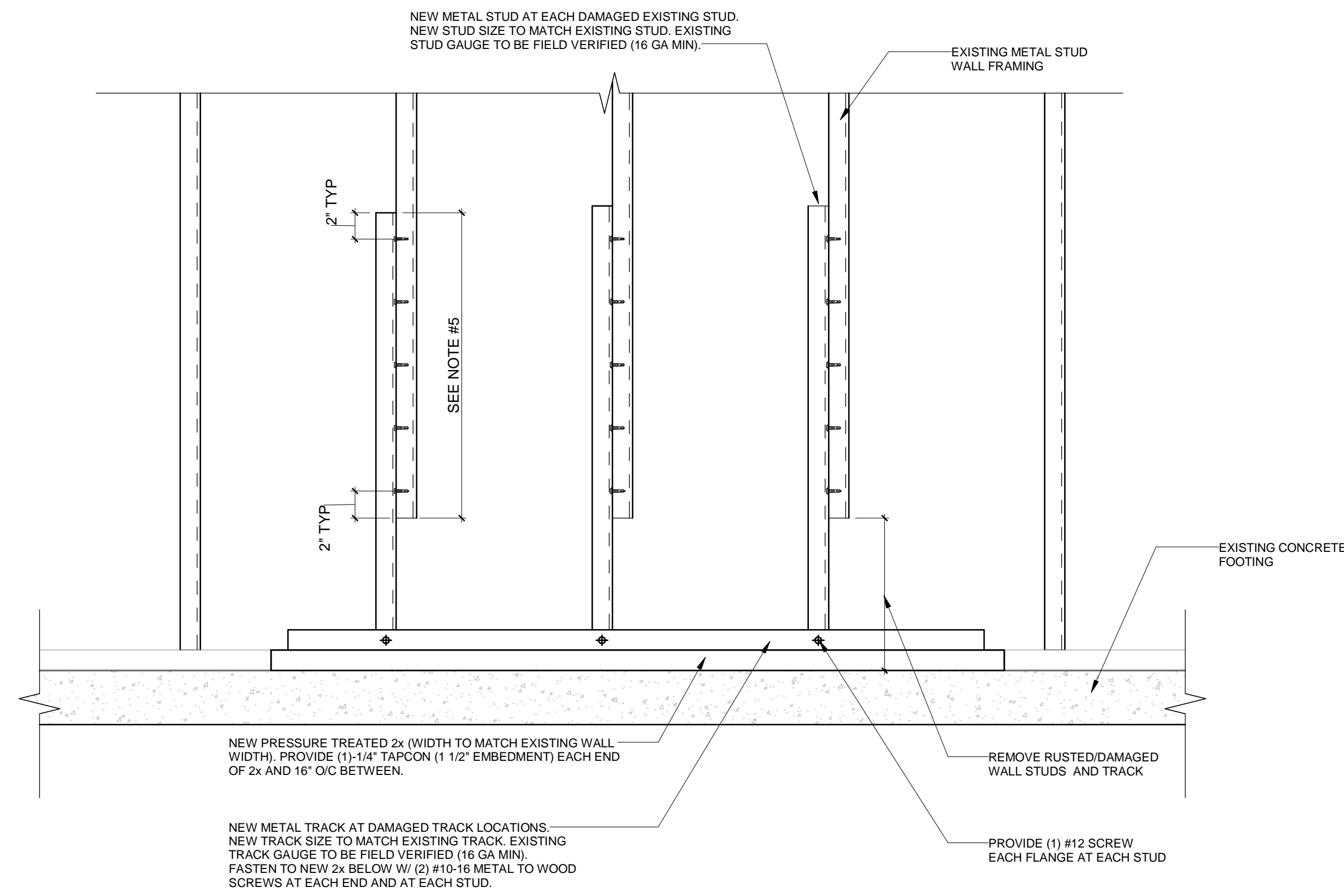
DATE ISSUED: 03/03/2023

Project No.: 1236-001

Drawing No. **S-405**

Drawn by: AM Checked by: MDB

**EXISTING METAL STUD WALL REPAIR DETAIL**



NEW PRESSURE TREATED 2x (WIDTH TO MATCH EXISTING WALL WIDTH), PROVIDE (1)-1/4" TAPCON (1 1/2" EMBEDMENT) EACH END OF 2x AND 16" O/C BETWEEN.

NEW METAL TRACK AT DAMAGED TRACK LOCATIONS. NEW TRACK SIZE TO MATCH EXISTING TRACK. EXISTING TRACK GAUGE TO BE FIELD VERIFIED (16 GA MIN). FASTEN TO NEW 2x BELOW W/ (2) #10-16 METAL TO WOOD SCREWS AT EACH END AND AT EACH STUD.

PROVIDE (1) #12 SCREW EACH FLANGE AT EACH STUD

**NOTES**

1. THE CONTRACTOR SHALL BRACE AND/OR SHORE EXISTING STRUCTURE AND STRUCTURAL ELEMENTS AS NECESSARY PRIOR TO AND DURING DEMOLITION AND REPAIR. ALL REQUIRED SHORING IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THIS DETAIL **DOES NOT** INCLUDE REPAIRS FOR ANY BUILD UP STUD COLUMNS/PACKS. IF ANY DAMAGED STUD COLUMNS/PACKS ARE FOUND NOTIFY THE E.O.R.
2. CONTRACTOR TO FORMALLY DOCUMENT ALL REPAIR AREAS AND SUBMIT LOCATIONS TO E.O.R.
3. ONCE THE EXISTING STRUCTURE IS PROPERLY SHORED, REMOVE ALL RUSTED/DAMAGED WALL STUDS AND BOTTOM OF WALL TRACKS.
4. PROVIDE A MINIMUM LAP BETWEEN NEW AND EXISTING STUDS OF 2x AND PROVIDE (2) #12 SCREWS AT 4" O/C (12 TOTAL SCREWS). PROVIDE 2" FROM END OF STUD TO FIRST SET OF SCREWS.
5. AFTER REPAIRS ARE COMPLETE, CONTACT THE E.O.R. TO PERFORM A SITE VISIT TO VIEW REPAIRS PRIOR TO COVERING.
6. REPLACE DEMOLISHED PORTION OF WALL SHEATHING / FINISH. SEE ARCHITECTURAL PLANS.

AT THIS TIME IT IS NOT KNOWN HOW MANY LOCATIONS OR EXTENTS OF EXISTING METAL STUD WALL REQUIRE REPAIR. CONTRACTOR TO REMOVE WALL COVERING FROM BOTTOM PORTION OF EXISTING WALLS FOR OBSERVATION TO DETERMINE AREAS REQUIRED TO BE REPAIRED.

**D7** Detail 7  
SCALE: 1 1/2" = 1'-0"

THESE STRUCTURAL DRAWINGS ARE BASED UPON FIELD OBSERVED AS-BUILT CONDITIONS WHERE ACCESS WAS AVAILABLE. AS MORE EXISTING STRUCTURE IS EXPOSED, IF ANY DISCREPANCIES ARE FOUND NOTIFY THE ENGINEER OF RECORD.

REFER TO IBA CONSULTANTS, INC. OAKS AT RIVERVIEW ASSESSMENT REPORT AND RECOMMENDATIONS DATED FEBRUARY 16, 2023 FOR ADDITIONAL INFORMATION REGARDING EXTERIOR STAIR LANDINGS, CORRIDORS, EXTERIOR WALLS AND ROOFING.

No.	Date	Description
1	02/24/2023	Permit Comments
2	03/01/2023	Repairs

**FSG**  
FULLONE STRUCTURAL GROUP, INC  
2253 CENTRAL AVENUE, UNIT #105  
ST. PETERSBURG, FLORIDA 33713  
PHONE: (727) 577-2222  
FAX: (727) 577-2221  
EB: #28152  
Project No.: 1236-001

Issued for:	Date:
<input type="checkbox"/> PRELIMINARY	
<input type="checkbox"/> PRICING	
<input type="checkbox"/> BIDDING	
<input type="checkbox"/> PERMIT	
<input type="checkbox"/> CONSTRUCTION	

DETAILS  
Project Info:  
Oaks at Riverview Apartments  
Project Street Address:  
110 E. Broad St. Tampa, FL 33604

Seal

Project No.: 1236-001  
Drawn by: AM  
Checked by: MDB  
**S-406**

DATE ISSUED: 03/03/2023

BID SET

# EXHIBIT C



February 16<sup>th</sup> , 2023

Rossana Dolan  
**Tampa Housing Authority**  
5301 W. Cypress Tampa, Florida 33607

P. 813-341-9101

Subject: Oaks at Riverview.

Dear Ms. Dolan

As requested, IBA Consultants performed a condition assessment of the subject project's exterior stair landings, corridors, exterior walls and roofing. The purpose of our survey is to assess the existing conditions and determine a course of action / recommendations for repair, maintenance, or replacement options. IBA's assessment was limited one building of the complex with commercial storefront on the ground level. The conditions observed at this time are considered typical for all like conditions, in all buildings within the complex. The following is IBA's recommendations for the various building envelope components.

## **Executive Summary**

### **Stair landings and corridors**

As determined during by others during the site visits and deconstruction, The wood framed stair landing have deteriorated due to water infiltration and are not structurally sound. The structural aspect of the remediation is not part of IBA's scope of work. As discussed on site, the landings will be removed and reconstructed. Once the structural remediation is completed, IBA has included recommendations for waterproofing the landing to prevent water infiltration in the future. IBA has also included recommendations for waterproofing of the corridors.

### **Exterior Wall:**

The deconstruction observed at the stair landing revealed damaged underlayment and lack of a drainage plane under the cement board siding on the building. In addition, IBA noted areas of the exterior wall assemblies with a brick façade. IBA has included product and design considerations for the exterior wall assemblies.



**Roofing:** IBA noted water infiltration entering the corridor ceiling from the flat roof area. As discussed on site, the single ply roofing assemblies and the asphalt shingle roofing assemblies are slated to be replaced. IBA has included product and design considerations for the roof replacement.

## **Background**

1. The subject project is located at 202 East Broad Street, Tampa, FL 33604.
2. The date of construction is unknown.
3. IBA was hired by Tampa Housing Authority to perform a condition assessment. Refer to IBA proposal dated Dec. 12<sup>th</sup>, 2022.

## **Description of Survey**

1. IBA Consultant's preliminary condition assessment is performed in general compliance with ASCE 30 *Guideline for Condition Assessments of Building Envelopes*.
2. IBA performed a visual survey only. IBA did not remove or disassemble any components or parts for our survey, but the stair landing and corridor ceiling were partially by others prior to our assessment.
3. The following condition assessment is based on the condition of the subject project existing and apparent on the date and time of our survey; not all conditions may have been apparent on the date and time of our survey due to weather conditions, inaccessibility of areas of the subject project or for other reasons. Environmental changes, either naturally occurring or artificially induced, may cause changes or alterations to the subject project as compared to the conditions present at the time of our survey.
4. The following condition survey should not be relied upon to represent conditions at any other location or for conditions beyond that indicated in the following report.
5. As such, the Client understands and agrees that our preliminary condition assessment can only report deficiencies in existence on the date of the survey and as observed by IBA Consultants, Inc.
6. **The following report is not a building code inspection report, title examination, home inspection or by-law compliance inspection.** Nothing herein is intended as an opinion as to the advisability or inadvisability of the purchase, sale, or replacement of the property or its components. This report is not a home warranty, guaranty, insurance policy or substitute for real estate transfer disclosures which may be required by law.

## Observations

The following conditions were observed at the building and location noted in this report. These conditions are assumed to be typical at all locations and building in the complex.

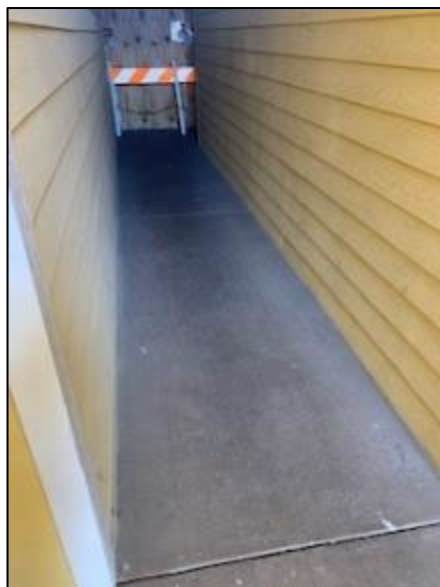
7. **Observation:** The stair landing plywood deck and underlying supporting trusses are noted to be deteriorated due to long term water infiltration through the thin concrete topping used to provide the walking surface above. The photographs below show the rotted wood at the underside of the stairs and unit below:



Comment a: Once the Structural Engineer determines a remediation / removal and replacement plan, IBA recommends incorporating the waterproofing system and details provide at the end of this report.



Comment b: IBA has also included recommendations for applying a waterproofing over the existing topping on the 2<sup>nd</sup> level corridor floor. Refer to the photographs below.



8. **Observation:** The deconstruction observed at the stair landing revealed damaged underlayment and lack of a drainage plane under the cement board siding on the building. Refer to the photograph below.



*Cement board siding fastened to building paper leaving no gap for drainage.*



Comment a: The damaged building paper and lack of drainage plane issue is compounded by the gaps and failing sealant joints in the cement siding and exterior trim application.



Comment b: IBA's recommendations at the end of this report address this condition.

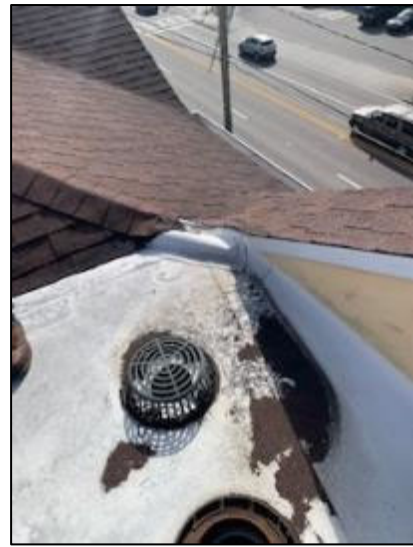
9. **Observation:** IBA noted water infiltration entering the corridor ceiling from the flat roof area.







Comment a: As discussed on site, the single ply roofing assemblies and the asphalt shingle roofing assemblies are slated to be replaced. IBA has included product and design considerations for the roof replacement. Photographs below depict some of the roofing conditions found on site.

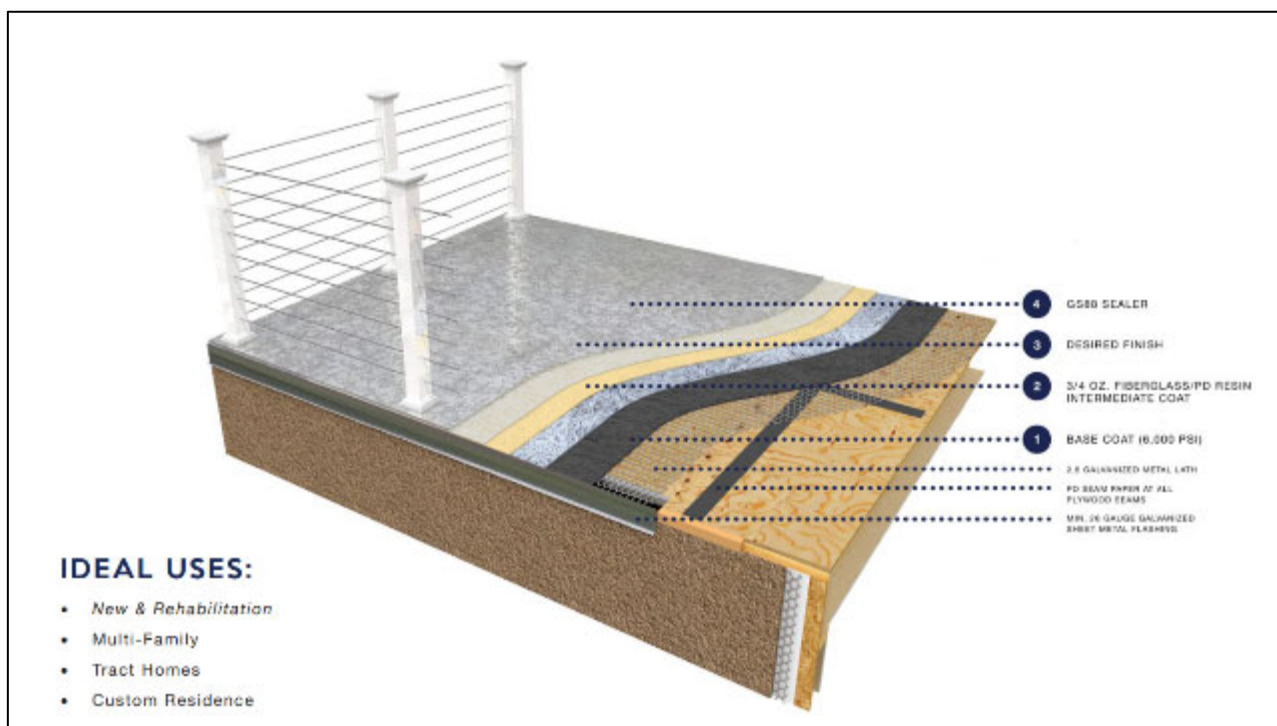




## Recommendations

**Stair Landings:** Once the stair landings have had the concrete topping removed and the underlying wood structure has been replaced, including a new sloped plywood deck, then the following waterproofing applications can be installed.

- A. The system proposed will eliminate the concrete overlay currently found on the stair landings.
- B. IBA recommends using the complete Pli-Dek waterproofing system specifically the system for use over plywood decking. Refer to the detail below.



- The product data are included at the end of this report.
- The installation of the system is to be installed in strict compliance with the manufacturers recommendations for locations with Inclement weather (extreme humidity)



C. Criteria for Inclement Weather:

"

1. Pli-Dek "F" System: All plywood decks require the intermediate coat of Fiberglass & PD Resin.
2. Metal Lath: All Metal Lath shall be 2.5lbs sq yard hot dipped G90 Galvanized.
3. Flashing: In Inclement Weather (IW) areas, all edge metal shall be 26 ga. galvanized, 302 Stainless Steel or Copper (contact Pli-Dek for Alternatives).
  - a. All metal flashing surfaces are required to be wiped clean with a solvent prior to product installation. [MEK, Acetone, Xylene, Isopropyl Alcohol or Vinegar].
  - b. Flashing Overlaps: All flashing overlaps shall be a minimum of 4", installed not to "buck" water, and be caulked horizontally and vertically at the furthest edge with a 3/4" bead of sealant between any pieces of flashing that adjoin. (Surface caulking is NOT acceptable) When installed properly, the flashing overlap should visibly have continuous caulking exposed. Next, apply continuous sealant 1" in both directions from the seam (vertical and horizontal) and embed 1 7/8" paperless drywall joint tape with a putty knife to the entire seam and ensure the paperless drywall joint tape is completely embedded in sealant. The sealant is required to be a Polyurethane Sealant per ASTM C 920, or approved equal.
  - c. All vertical flashing shall be coated with Fiberglass and PD Resin or PD Flash Coat and Flash Coat Seam Tape or a self-adhering drywall mesh tape, GU80 Top Coat, and GS88 pigmented sealer at the time of applying each product. It is optional to coat all perimeter flashings with PD Flash Coat and Flash Coat Seam Tape or a self-adhering drywall mesh tape in addition to the mandatory GS88 Pigmented Sealer.
  - d. All door pans, threshold flashing, and deck to wall flashings shall be coated with Fiberglass and PD Resin or PD Flash Coat and Flash Coat Seam Tape or a self-adhering drywall mesh tape.

D. The manufacturer details at the end of this report are to be incorporated and implemented in the reconstruction of the stair landings. Manufacturer to provide approved details for the job specific conditions that are not included in their typical details.

- Note: Details show stucco but on this project, it will be cement board siding.

**Corridors:** IBA recommends continuing the Pli-Dek waterproofing system on the second floor corridors. If this application is to be included as part of the scope, we will need to consult with the manufacturer to see if we can use there ply-Dek or Con-Dek system over the existing concrete topping and underlying waterproofing application. If this is not an option, IBA can provide alternate manufacturers and materials for this application.



**Cement board siding and trim:** IBA recommends the use of a high build acrylic coating such as Sherwin Williams Loxon XP on all exterior siding. This would include removing all failing sealants and applying the Loxon H1 sealant at all open joints in the siding and trim accessories.

- Note: The bottom lap joint at each horizontal siding panel should be kept open to allow any incidental water, that gets behind the siding to weep to the exterior.
- IBA has included the Sherwin Williams loxon XP product data at the end of this report.

**Brick Facade:** IBA recommends the use of a clear sealer on all exterior brick such as Drylok Siloxane Brick and masonry penetrating sealer. Product data included with this report.

- All failing sealant joints associated with brick façade to be removed and replaced using a silicone sealant such as DowSil 790. Product data included with this report.

**Roofing replacement:** IBA recommends the single ply roofing and shingle roofing system be provided by the same manufacturer. IBA has included the product data for a TPO roofing system and shingle roofing system both manufactured by GAF. The following is a list of items that will need to be addressed during the roof replacement.

- A. It is assumed that all roofing on all buildings will be replaced. Square footage of the roof systems will need to be determined for accurate pricing.
- B. IBA recommends GAF Stormguard self-adhered underlayment be provided under the asphalt shingle. Product data included at the end of this report.
- C. Shop drawings to be provide showing all job specific details, including but not limited to:
  - Shingle to building exterior transition detail at brick and cement board siding.
  - Shingle roof underlayment transition to the TPO roofing system.
  - Shingle roof to gutter transition.
  - TPO roof primary and secondary drain detail.
  - TPO perimeter flashing details
  - TPO mechanical stand flashing.

**F6527 IBA Consultants, Inc.**

Oaks at Riverview

Balcony Assessment

February 16<sup>th</sup>, 2023

Page 10 of 10



Please call me at 561-756-2261 should you have any questions or concerns regarding the above assessment.

Respectfully submitted by,

Michael Presciti  
Senior Consultant  
IBA Consultants, Inc.

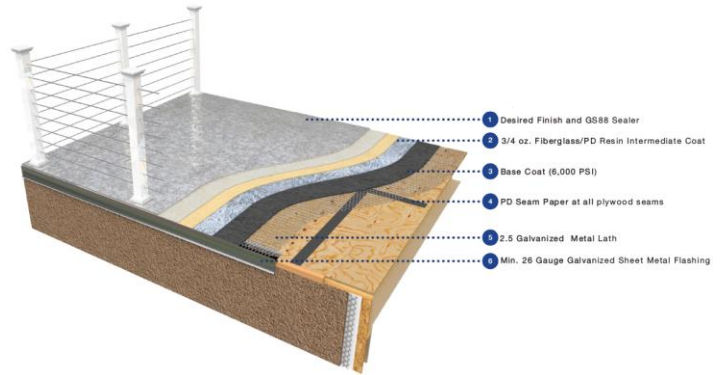
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## SYSTEM DATE SHEET

### PLI-DEK SYSTEM

#### WATERPROOFING OVER PLYWOOD SUBSTRATE



**D** :  
The Pli-Dek Waterproofing System is a 1-Hour, Class “A” Fire Rated deck system. It uses a poly-acrylic emulsion membrane, combined with elastomeric, acrylic, or cementitious finishes. The system consists of 2.5lbs/sq. yd. galvanized metal lath, base coat, and a wide range of finishes. This system offers high durability with low maintenance. .

- U** :
- Plywood Balconies
  - Walking Decks
  - Stairways
  - Roof Decks
  - Interior & Exterior
  - New Construction
  - Rehabilitation

**S** :  
The Pli-Dek System meets the requirements of the ASTM E119 for a 1-Hour Fire Rating and the ASTM E108 for a Class “A” Fire Retardant Roof.

**C** :  
The ambient air and surface temperature must be a minimum of 4.44°C (40°F) and a maximum of 43°C (110°F) and shall remain so for at least 24 hours. Do not install over wet substrates or in rainy conditions.

The Pli-Dek installer shall inspect the substrate for any deficiencies and notify the architect or general contractor in writing of the corrections that need to be made before application of the Pli-Dek products.

**C** :  
The finish coat of the Pli-Dek System is available in Pli-Dek’s standard colors. Custom color matching is also available, refer to the Pli-Dek System brochure or contact Pli-Dek LLC. for further information.

**P** :  
The GU80-1 Powders are available in 46 lb. bags. The PD Resin, GU80-1 Liquid Admixture, GS88-1 Pigmented Sealer, and the GS99-1 or GS13 Sealer are supplied in 5 gallon pails. The flashing, metal lath, and staples are sold separately in various quantities.

**S L** :  
One year from the ship date. Do not allow products to freeze. Do not store GU80-1 powders in wet or damp areas.

#### T D :

Spread of Flame (ASTM E-108)	Class “A”
Freeze Thaw (ASTM C67-03)	Pass
1-Hour (ASTM E119)	Pass
Bond Strength – Plywood (ASTM C-297)	126 psi
Tensile Strength (ASTM D 2707)	1505 psi after weathering
Impact Test (ASTM D-3320)	No Cracking
Water Transmission (ASTM E-96)	31g/24hrs.
Abrasion Test (ASTM D-1242)	2.9%
Static Coefficient of Friction (ASTM C-1028-96)	835
Surface Burning (ASTM E84)	10-minute Class A 30-minute Extended Pass
Decking for Wildland Urban Interface W.U.I. Listing No.	8110-2327:0500

**L** :  
Not for use in areas intended for vehicular traffic.

**W** :  
Contact Pli-Dek LLC. for warranty information.

**T A** :  
Pli-Dek LLC. or its local authorized representatives are available for technical assistance and/or inspections for the Pli-Dek line of products.



Scan here to visit the Pli-Dek website

## I. Substrate Inspection/Preparation:

### A. General

1. All building permits are required by local authorities shall be produced by contractor, owner, and/or their agent.
2. All inspections, as required by local building authorities, shall be the responsibility of the contractor, owner, and/or their agent.
3. Verify all necessary tools and PPE according to the various SDS Sheets are on the job site.

### B. Traditional Plywood Substrates

1. Plywood shall be a minimum of 16mm, 5/8" (3/4" recommended) sound and dry, exposure 1 sheathing, and have a recommended span between supports of 410mm (16") on center. All plywood shall be securely fastened to the supports with screws or ring shank nails spaced in accordance with APA guidelines and Building Code requirements. \*\*Contact Pli-Dek, LLC. for installation approvals over OSB, pressure treated, or marine grade, etc. substrates.
2. Maximum deflection of the deck shall be less than L/360th of the span.
3. Framing or blocking must support all plywood edges, except as per APA guidelines; blocking is not required when tongue and groove plywood is used.
4. The plywood surface shall be clean, dry, and free of dirt, dust, oil, paint, or any other contaminants that may impair adhesion.
5. All plywood seams shall be staggered and gapped 3.2mm (1/8"). NOTE: If plywood is butted tightly, the seams shall be saw cut to provide a 3.2mm (1/8") gap between sheets, except tongue & groove. Ensure that the tongue and groove section of the plywood is installed to allow for expansion.
6. All adjacent edges of the plywood sheets shall not be more than 0.78mm (1/32") out of plane (i.e. above or below each other).
7. Plywood should be installed with a 6.4mm/.3m (1/4") per linear foot slope. Decks with parapet enclosures must be sloped to a drain or scupper.
8. Any variation from the framing specifications mentioned in Section I, requires written approval and system recommendations from Pli-Dek, LLC.

### C. Flashing

1. The following items that involve flashing must be completed or adhered to:
  - a) Flashing shall be minimum 26 gauge galvanized, 302 Stainless Steel, or Copper. (Contact Pli-Dek for Alternatives).
  - b) Ensure ALL metal flashing is wiped clean with a solvent to ensure oils are completely removed from the Surface. Dissimilar metals, such as Copper and galvanized, should NEVER come in direct contact with each other, please contact Pli-Dek for instructions on dissimilar metals.
  - c) Openings shall be flashed before installation of doors and sliders. NOTE: If doors or sliders have been installed without proper flashing, we recommend they be removed, and proper flashing installed.

- d) All penetrations, including posts, or other objects that protrude through the deck shall be installed and flashed prior to applying the Pli-Dek materials.
- e) All decks with a parapet surround require a scupper not less than 76mm (3") wide, and 100mm (4") high, spaced a maximum of 3.65m (12') apart. Any scuppers or overflows shall be installed and flashed prior to applying Pli-Dek materials.
- f) All deck drains must be flanged, and properly installed to a proper depth. NOTE: Brass drains with a sheet metal flange are recommended. Pli-Dek requires a galvanized or stainless-steel drain as per Drain Detail, PD-24-IW, on all plywood installations. Please contact Pli-Dek for help in acquiring these drains. Do not use plastic, cast iron, or shower drains. If copper drains are used, please contact Pli-Dek for instructions on dissimilar metals. The use of plastic deck drains will void warranty.
- g) Gravel stops shall have a maximum ground dimension of 3/16".
- h) All flashing must be attached to the substrate with galvanized ring shank nails a minimum 25mm (1") length.
- i) All flashing shall overlap adjacent pieces, a minimum of 100mm (4"), installed not to "buck" water, and be caulked horizontally and vertically with a Polyurethane Sealant per ASTM C 920, such as Sika-1a or 221 or equivalent, at the furthest edge with a 3/4" bead of sealant between any pieces of flashing that adjoin. (Surface caulking is NOT acceptable).
- j) All exposed sheet metal flashing, as well as all vertical flashing and door pans shall be coated with Fiberglass and PD Resin or PD Flash Coat and Flash Coat Seam Tape or self-adhering drywall mesh tape, GU80-1 Top Coat, and GS88 Pigmented Sealer at the time of applying each product. Door pans do not need Top Coat and Sealer.
- k) Deck/Wall interfaces and all stairs must be flashed.
- l) When copper flashing/drains are used, ensure that all galvanized metal; such as, nails, staples, lath, drains, etc. does not come into contact with copper (do not allow any dissimilar metals to come in contact with each other). The contact of the two dissimilar metals will create rust and corrosion (electrolysis). \*\*Contact Pli-Dek, LLC for additional details and recommendations.
- m) Contact Pli-Dek, LLC for written approval on flashing details that vary or are not included in Pli-Dek Details.

#### D. Sloping

1. It's the General Contractor's, his representative's, or individual owner's responsibility to assure adequate drainage.
2. All plywood substrates are recommended to be sloped 1/4" per foot.
3. If auxiliary slope is required, Slope Mix - DP may be applied. (See Sloping Application Instructions SP-121 for complete details and limitations). When this type of sloping will not accommodate the problem, then drains become a necessity.



4. Pli-Dek requires a galvanized or stainless-steel drain as per Drain Detail, PD-24-IW, on all plywood installations. Please contact Pli-Dek for help in acquiring these drains. Do not use plastic, cast iron, or shower drains. If copper drains are used, please contact Pli-Dek for instructions on dissimilar metals.
5. The alternatives available for proper drainage are the responsibility of the General Contractor. Contact Pli-Dek, LLC. for complete details.
6. Additional sloping required on a project should be confirmed through a written proposal given by the trained applicator prior to the commencement of work.

## II. Mixing Instructions:

### A. GU80-1 Gray Base {Base Coat}

1. Pour 3.8L (1 gallon) of GU80-1 Liquid Admixture into a clean 19L (5 gallon) plastic container.
2. Add one 21kg (46lb.) bag of GU80-1 Gray Base and mix thoroughly for 3 to 4 minutes. Use a Wind-lock B-M1 mixing blade, or equivalent, powered by a 13mm (1/2") variable speed drill, capable of producing 1000 RPMs. TIP: In areas subject to extremely dry and/or hot climates, it may be necessary to add water (up to .47L [1 pint] per mix). To avoid flash drying, it may be necessary to chill the GU80-1 Liquid Admixture before mixing. Proper PPE should be worn when working with all Pli-Dek products.

### B. GU80-1 Top Coat {Screed Coat & Knockdown Texture}

1. Pour 4.75L (1.25 gallons) of GU80-1 Liquid Admixture into a clean 19L (5-gallon) plastic container.
2. Add one 21kg (46 lbs.) bag of GU80-1 Top Coat powder. Mix thoroughly for 3 to 4 minutes, with a Wind-lock B-M1 mixing blade, or equivalent, powered by a 13mm (1/2 inch) variable speed drill, capable of producing 1000 RPMs. TIP: In areas subject to extremely dry, and/or hot climates, it may be necessary to add water (up to .47L {1 pint} per mix). In order to avoid flash drying it may be necessary to chill the GU80-1 Liquid Admixture before mixing. Proper PPE should always be worn when working with Pli-Dek Products.
3. Pli-Dek products must be stored in the shade to prevent overheating and reduction of pot life.
4. If colored cement is required, a Pli-Dek recommended tint pack may be added to the mix to achieve the desired color. NOTE: to ensure that all the colorant is dispersed out of the container.
5. ***All mixes must be consistent (use the same mix ratios) to maintain color consistency.***

### C. GU80-1 Custom Top Coat

1. Pour 4.75L (1.25 gallons) of GU80-1 Liquid Admixture into a clean 19L (5-gallon) plastic container.

2. Add one 21kg (46 lbs.) bag of GU80-1 Custom Top Coat powder. Mix thoroughly for 3 to 4 minutes, with a Wind-lock B-M1 mixing blade, or equivalent, powered by a 13mm (1/2" variable speed drill, capable of producing 1000 RPMs. TIP: In areas subject to extremely dry, and/or hot climates, it may be necessary to add water (up to .47L {1 pint} per mix). In order to avoid flash drying it may be necessary to chill the GU80-1 Liquid Admixture before mixing. Proper PPE should always be worn when working with Pli-Dek Products.
3. Pli-Dek products must be stored in the shade to prevent overheating and reduction of pot life.
4. If colored cement is required, a Pli-Dek recommended tint pack may be added to the mix to achieve the desired color. NOTE: to ensure that all the colorant is dispersed out of the container.
5. ***All mixes must be consistent (use the same mix ratios) to maintain color consistency.***

### III. Application:

#### A. General:

1. Ensure that the plywood surface has been prepared in accordance with Section I.
2. Ensure that all proper flashings are in place.
3. Air temperature for application of the GU80-1 Gray Base must be between 4°C (40°F) and 43°C (110°F) and must remain so for a minimum of 2 - 6 hours. Ensure humidity levels are low. Do not apply over any standing water, contact Pli-Dek for additional information.

#### B. Plywood Deck Preparation:

1. Install PD Seam Paper on all sides of plywood.
2. Lay out 2.5 lbs/sq yd G90 Hot Dipped Galvanized Metal Lath in a staggered pattern over the entire plywood surface overlapping the metal flashing, to the edge of the deck surface.
3. Overlap all edges of metal lath, a minimum of 13mm (3/4").
4. Offset metal lath edges a minimum of 150mm (6") from plywood seams. (as per Deck Plan Detail, PD-1-IW).
5. Secure metal lath to plywood with a minimum 22mm (7/8") crown by a minimum 16mm (5/8") long corrosion resistant staples spaced approximately 1½" on center around the perimeter and on overlapped lath seams, and 75mm (3") in the field (average 12 staples per square foot).
6. Additional staples spaced every 1½" on center are required where the metal lath overlaps as well as the seam paper, as installed in Section I.

#### C. Base Coat Application:

1. Mix the GU80-1 Gray Base as described in Section II – A.
2. Pour the GU80-1 Gray Base over the metal lath and trowel the product using the lathing as a screed, filling all voids at a rate of 25 - 30 square feet per mix. The metal lath must be completely covered in the GU80-1 Gray Base.

3. Allow the GU80-1 Gray Base to fully cure (approximately 4-6 hours depending on environmental conditions) prior to applying the next application. If the base coat does not cover the lath completely, a screed coat of GU80-1 Gray Base or GU80-1 Top Coat is required.

**D. Screed Coat Application:**

1. Screed coat may not be necessary in all applications. Contact Pli-Dek, LLC for application details and recommendations.
2. Prior to the screed coat application, remove any high or rough edges using a hand grinding stone or scraper.
3. The deck must be free of all surface contaminants, such as dust, dirt, etc., which will impair the adhesion of the Pli-Dek GU80-1 Top Coat or GU80-1 Custom Top Coat.
4. Mix the GU80-1 Top Coat or GU80-1 Custom Top Coat as described in Section II – B or C.
5. Trowel a screed coat over the GU80-1 Top Coat or GU80-1 Custom Top Coat at a rate of 150 square feet per mix. Allow to fully cure (approximately 2 - 6 hours).

**E. Pli-Dek “F” Fiberglass & Resin: PD Resin Application:**

1. First Coat:
  - a) The Pli-Dek Applicator must have sole right of access to the specified areas for the time needed, in order to complete the application of the Pli-Dek System and obtain an adequate cure.
  - b) Air temperature for application of the PD Resin and Fiberglass Coat must be between 4°C (40°F) and 43°C (110°F) and must remain so in the acceptable range until the product has cured.
  - c) Mix the PD Resin using a mechanical mixer at slow speed for approximately 1 minute or until completely homogenous.
  - d) The deck must be free of all surface contaminants, such as dust, dirt, etc., which will impair the adhesion of the PD Resin. The Pli-Dek GU80-1 Gray Base must be smooth so that the fiberglass properly adheres to the surface.
  - e) Lay out the ¾ oz fiberglass mat over entire deck surface extending to all edges of the deck and up all vertical transitions. Overlap fiberglass mat seams a minimum of 1/4” to a maximum of 1/2”.
  - f) Apply the PD Resin over fiberglass mat, at a rate of approximately 40 - 50 square feet per gallon with a trowel. Allow to completely cure, approximately 6 - 8 hours depending on environmental conditions. PD Resin must completely penetrate through the fiberglass mat. **PD Resin should not be exposed to construction traffic.**
2. Optional:
  - a) A screed coat of GU80-1 Top Coat can be applied over the fiberglass and PD Resin application in order to make a smoother surface, or to help protect the PD Resin if prolonged exposure to construction trade traffic is anticipated.

**F. Finish Options:**

1. Preparation:
  - a) Prior to any finish coat installation, the following must be completed:
    - i. Grind any rough areas, being careful not to damage Fiberglass and PD Resin coat. Rough areas will affect the aesthetic appearance of the finished product.
    - ii. The deck must be free of all surface contaminants, such as dust, dirt, etc. which will impair the adhesion of the Finish Coats.
2. Knockdown Texture Finish:
  - a) Air temperature for application of the Knockdown Texture Coat must be between 40°F and 110°F and must remain so for a minimum of 8 hours.
  - b) Mix the GU80-1 Top Coat as described in Section II - A.
  - c) Using a hopper gun, spray the Knockdown Coating over the entire deck surface at a rate of 175 square feet per mix. **CAUTION: AS WITH ANY SPRAY MATERIAL, BE CERTAIN TO PROTECT ALL SURROUNDING AREAS FROM OVER-SPRAY.**
  - d) When the material begins to dry, knock down the material with a trowel. TIP: In order to eliminate footprints, we suggest wearing metal spiked shoes (golf shoes) during this process.
  - e) Allow the Knockdown to dry a minimum of 2 - 6 hours, depending on weather.
  - f) Remove any sharp edges by scraping the surface with a scraper or trowel.
  - g) Air temperature for application of the GS88-1 Pigmented Sealer must be between 40°F and 110°F and must remain so for a minimum of 8 hours. Ensure humidity levels are low. Do not apply over moisture.
  - h) The deck must be free of all surface contaminants, such as dust, dirt, etc., which will impair adhesion of the GS88-1 Pigmented Sealer.
  - i) Mix the GS88-1 Pigmented Sealer thoroughly with the use of mechanical mixers. All containers should be boxed and mixed to ensure consistent coloring throughout.
  - j) Apply the GS88-1 Pigmented Sealer over the dry Knockdown application at a rate of 100 square feet per gallon using a 19mm (¾") paint roller nap, suitable for latex type coatings (2 coats may be necessary).
  - k) Allow GS88-1 Pigmented Sealer coat to dry for a minimum of 6 hours.
  - l) To make cleaning easier in high traffic areas, a coat of GS13 or PD Clear Sealer may be applied over the dry GS88-1 Pigmented Sealer at a rate of 200 square feet per gallon. Surface will become more slippery. Use of a non-skid agent is recommended.
3. Polymer Sand Finish:
  - a) Air temperature for application of the Sand Finish must be between 4°C (40°F) and 43°C (110°F) and must remain so for a minimum of 8 hours. Do not apply over moisture.

- b) (Optional) Apply a bead of manufacturer's recommended elastomeric joint sealant at all wall-to-deck junctions, wood posts, wrought iron posts, etc.
  - c) Before application, mix PD Resin using a mechanical mixer at slow speeds for approximately 1 minute or until completely homogenous.
  - d) Apply PD Resin, using a ¾" nap roller and a brush at a rate of 75 square feet per gallon, ensuring a constant wet edge while broadcasting the desired aggregate until refusal. Do not allow PD Resin to puddle.
  - e) Broadcast aggregates of washed, dry, rounded, crystal silica sand, approximately 16 mesh at a rate of 100 lbs. per 100 square feet or until refusal (depending on skid resistance requirements) into wet/uncured PD Resin.
  - f) After full cure remove all excess aggregates.
  - g) Air temperature for application of the GS88-1 Pigmented Sealer must be between 4°C (40°F) and 43°C (110°F), allow to completely cure, approximately 6 - 8 hours depending on environmental conditions. Ensure humidity levels are low.
  - h) The deck must be free of all surface contaminants, such as dust, dirt, etc., which will impair adhesion of the GS88-1 Pigmented Sealer.
  - i) Mix the GS88-1 Pigmented Sealer thoroughly using a mechanical mixer. All containers should be boxed and mixed to ensure consistent coloring throughout.
  - j) Apply the GS88-1 Pigmented Sealer over the dry sand finish at a rate of 75 to 100 sq. ft. per gallon, (2 coats may be necessary) using a 19mm (¾") paint roller nap, suitable for latex type coatings.
  - k) Allow GS88-1 Pigmented Sealer coat to dry for a minimum of 6 hours.
  - l) To make cleaning easier in high traffic areas, a coat of GS13 or PD Clear Sealer may be applied over the dry GS88-1 Pigmented Sealer at a rate of 200 square feet per gallon. (Surface will become more slippery. Use of a non-skid agent is recommended.)
4. Pli-Dek "U" (Underlayment): *Note: The vertical leg of all flashings should be coated with Fiberglass and PD Resin or PD Flash Coat and Flash Coat Seam Tape or self-adhering drywall mesh tape.*
- a) Air temperature for application of the Con-Dek "U" must be between 40°F and 110°F and must remain so for a minimum of 8 hours. Do not apply over any moisture.
  - b) PD Resin should not be exposed to construction traffic.
  - c) Mix the Pli-Dek GU80-1 Top Coat as described in Section II – A.
  - d) Apply a screed coat of GU80-1 Top Coat over the entire deck at a rate of 150 square feet per mix. Allow to dry for a minimum of 2 - 6 hours. Mix the GU80-1 Top Coat as described in Section II – B.
  - e) (Optional) Consult Tile Manufacturer or Sub for Recommendations: Broadcast aggregates of washed, dry, rounded crystal silica sand, approximately 16 mesh, at a rate of 100lbs. per 200 square feet.

5. Polyacrylic Smooth Finish:
  - a) Air temperature for application of the polyacrylic smooth finish must be between 4°C (40°F) and 43°C (110°F) and must remain so for a minimum of 8 hours. It may be necessary to grind the rough ridges of the Base Coat to minimize chatter lines.
  - b) Mix the GU80-1 Top Coat as described in Section II – B.
  - c) Trowel a screed coat over the entire deck surface at a rate of 150 square feet per mix. Allow it to dry for a minimum of 6 hours.
  - d) It may be necessary to apply an additional coat of GU80-1 Custom Top Coat to create a smoother finish. Coverage rate should be approximately 200 square feet per mix. \*\*Please note: Surface will not be perfectly smooth and will have some imperfections/variations.
  - e) (Optional) Apply a bead of Pli-Dek recommended elastomeric joint sealant to all wall-to-deck junctions, wood posts, wrought iron posts, etc.
  - f) Air temperature for application of the GS88-1 Sealer must be between 4°C (40°F) and 43°C (110°F) and must remain so for a minimum of 8 hours. Ensure humidity levels are low. Do not apply over standing water. \*\*Forced air electric heater maybe required. \*\*.
  - g) The deck must be free of all surface contaminants, such as dust, dirt, etc., which will impair adhesion of the GS88-1 Sealer.
  - h) Mix the GS88-1 Sealer thoroughly with the use of mechanical mixers for 1 minute or until completely homogenous.
  - i) All containers should be boxed and mixed to ensure consistent coloring throughout. Apply the GS88-1 Sealer over the polyacrylic smooth finish at a rate of 100 square feet per gallon using a 19mm (¾") paint roller nap, suitable for latex type coatings (2 coats may be necessary).
6. Epoxy Stone Finish:
  - a) Contact Pli-Dek, LLC for written instructions.
7. Custom Finish: Simulated Tile, Brick, and Stone
  - a) Air temperature for application of the Custom Finish must be between 40°F and 110°F and must remain so for a minimum of 8 hours.
  - b) Mix the GU80-1 Custom Top Coat as described in Section II - B. Add the selected color tint pack to establish the desired grout color. Note: All mixes must be consistent (use the same mix ratios) to maintain color consistency.
  - c) The deck must be free of all surface contaminants, such as dust, dirt, etc. which will impair adhesion of the GU80-1 Custom Top Coat.
  - d) Trowel a tinted GU80-1 Custom Top Coat over the entire deck surface at a rate of 150 square feet per mix. Allow to dry for a minimum of 2 – 6 hours. (Decorative scroll lines can be achieved at this step prior to screed coat drying, if no templates or tape are going to be used.)
  - e) Install one of the various types of stencil patterns or install tape pattern over cured screed coat to achieve desired pattern finish.
  - f) Mix the GU80-1 Custom Top Coat as described in Section II – B.

- g) Trowel a tinted screed coat over the stenciled or taped deck surface at a rate of 150 square feet per mix. Apply the desired texture while spreading the GU80 Custom Top Coat. Allow to dry for a minimum of 2 - 6 hours.
- h) Apply desired stain/shading with PD Stain using a low-pressure sprayer, soft broom, or sponge. Contact Pli-Dek, LLC. for complete details.
- i) Remove stencil or tape pattern.
- j) The deck must be free of all surface contaminants, such as dust, dirt, etc., which will impair adhesion of the GS13 or PD Clear Sealer.
- k) Apply a coat of PD Clear Sealer or GS13 Clear Sealer at a rate of 100 square feet per gallon. (2 coats may be necessary). Surface will become more slippery. Use of a non-skid agent is recommended.

#### IV. Slip and Fall Precautions:

OSHA, American Disabilities Act (ADA), and The Federal Housing Act (FHA) have now set enforceable standards for slip-resistance on pedestrian surfaces. Pli-Dek LLC recommends the use of angular slip-resistant aggregate in all coatings or flooring systems that may be exposed to wet, oily/greasy, or otherwise potentially slippery conditions. It is the end user's responsibility to provide a flooring system that meets current safety standards. Pli-Dek Systems, Inc or its sales agents will not be responsible for injury incurred in a slip and fall accident. Please consult local building codes for the current coefficient of friction requirement.

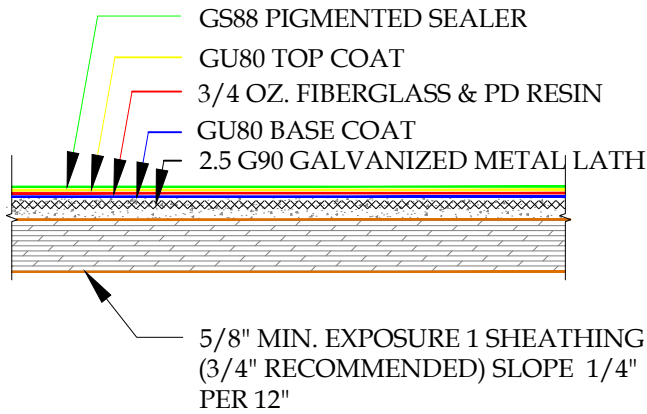
#### Disclaimer

Information contained in this specification conforms to standard detail and product recommendations for the installation of the Pli-Dek products as of the date of publication of this document and is presented in good faith. Pli-Dek LLC assumes no liability, expressed or implied, as to the architecture, engineering or workmanship of any project. To ensure that you are using the latest, most complete information, contact Pli-Dek LLC, at:



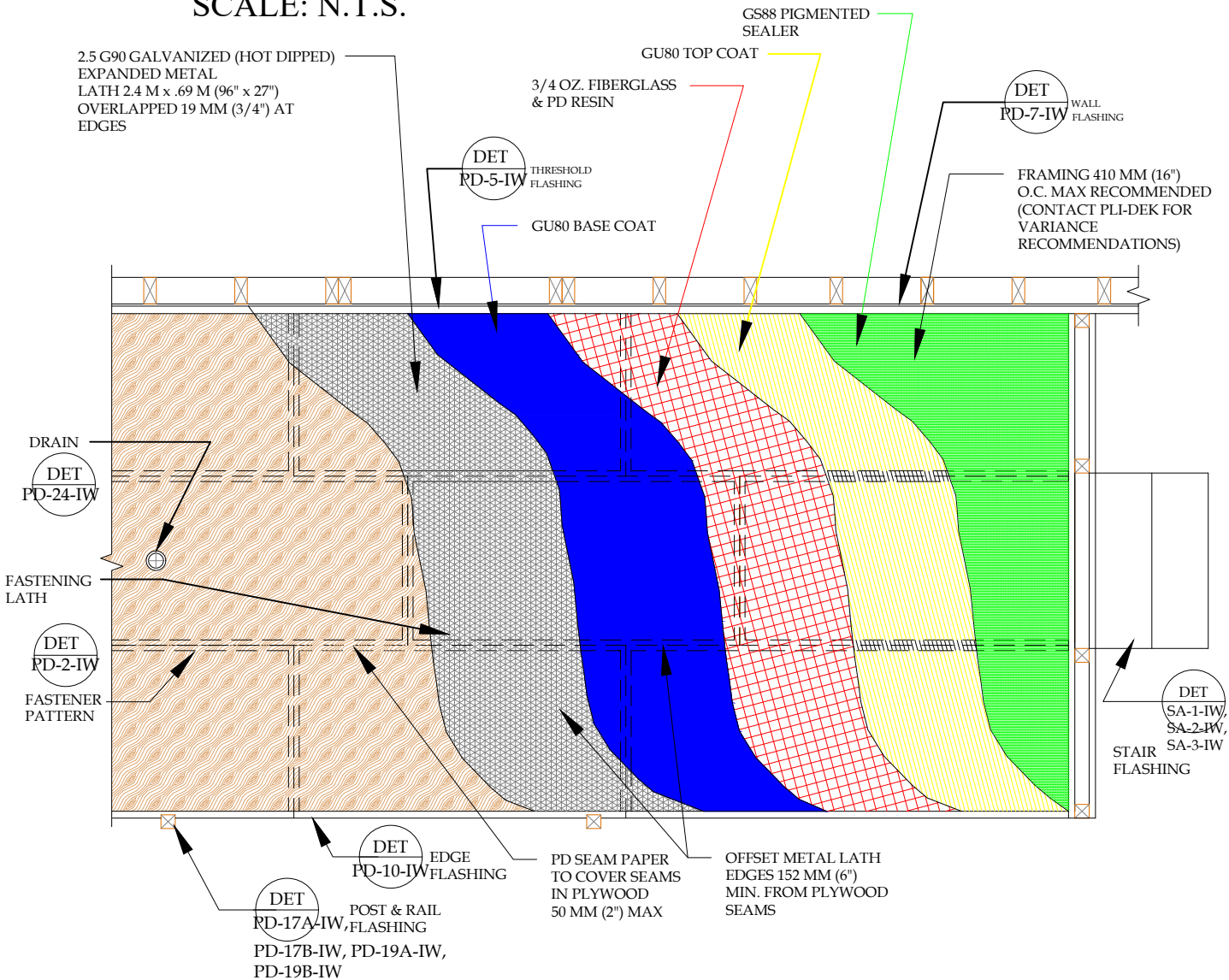
41610 Date St, Suite 104  
Murrieta, CA 92562  
Tel.: (800) 364-0287  
Website: [www.plidek.com](http://www.plidek.com)

\* The Trained Applicator Certificate indicates certain employees of the company have been instructed in the proper application of Pli-Dek products and have received copies of the Pli-Dek Application Instructions and Specifications. The Trained Contractor Program is not an apprenticeship. Each trained contractor is an independent company and bears responsibility for its own workmanship. Pli-Dek LLC assumes no liability for the workmanship of a trained contractor.



NOTE:  
 THE DESIGN, SPECIFICATIONS, AND CONSTRUCTION OF PLI-DEK PRODUCTS IS THE RESPONSIBILITY OF THE PROJECT DESIGN PROFESSIONAL. ALL SYSTEMS MUST COMPLY WITH LOCAL BUILDING CODES AND STANDARDS. THIS DETAIL IS FOR GENERAL INFORMATION AND GUIDANCE ONLY AND PLI-DEK SPECIFICALLY DISCLAIMS ANY LIABILITY FOR THE USE OF THIS DETAIL, AND FOR THE ARCHITECTURE, DESIGN, ENGINEERING OR WORKMANSHIP OF ANY PROJECT. THIS DETAIL IS SUBJECT TO CHANGE WITHOUT NOTICE. CONTACT PLI-DEK TO ENSURE YOU HAVE THE MOST RECENT VERSION. THIS DETAIL IS TO BE USED IN CONJUNCTION WITH CURRENT PLI-DEK SPECIFICATION & APPLICATION GUIDELINES.

**DETAIL A**  
**SCALE: N.T.S.**



**DETAIL-PLI-DEK SYSTEM - DECK PLAN VIEW - INCLEMENT WEATHER**  
**SCALE: N.T.S.**

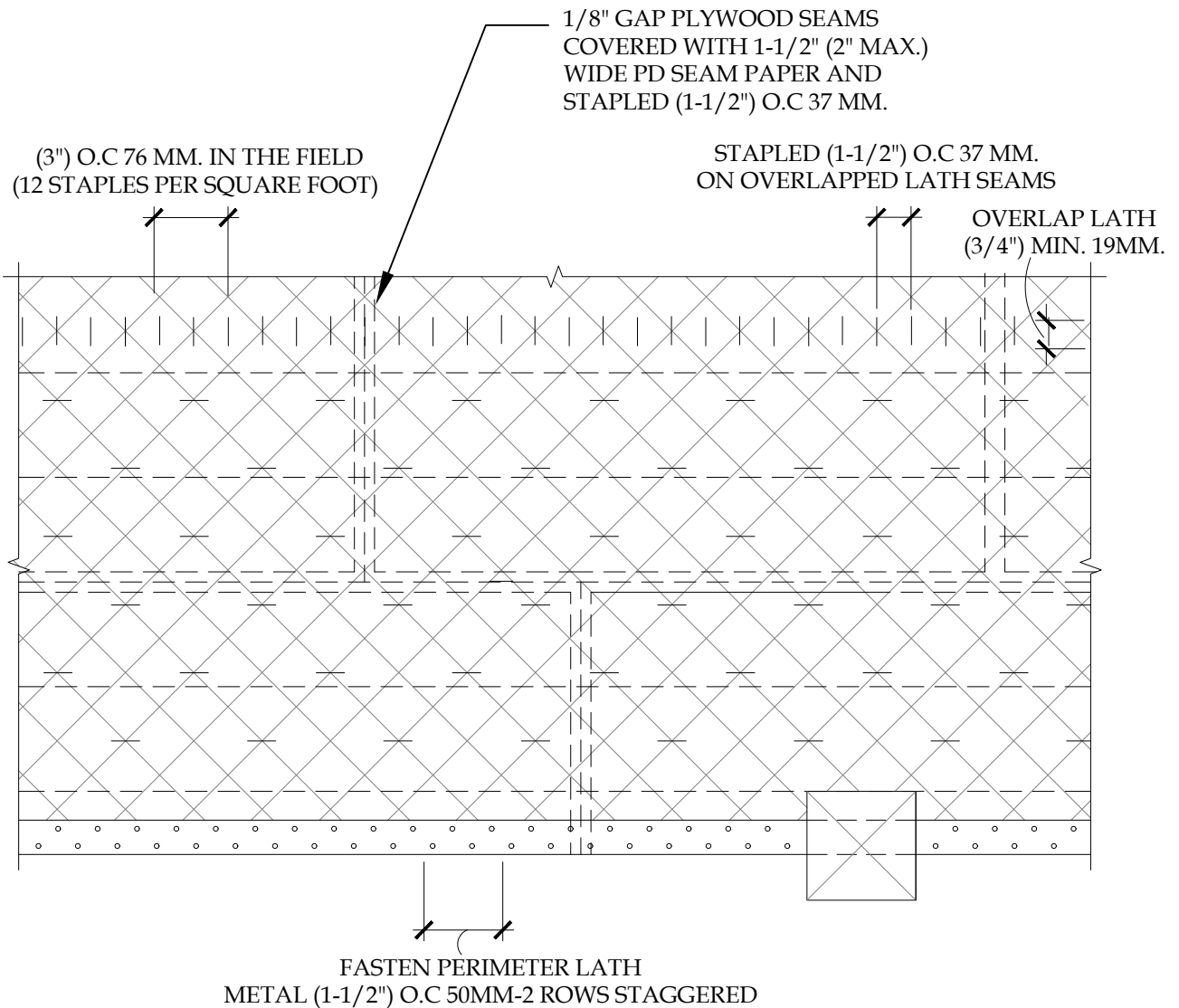


**PLI-DEK**  
 WATERPROOFING SOLUTIONS  
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 Phone: 800.364.0287 \* Fax: 951.834.9555  
 WWW.PLI-DEK.COM

These waterproofing procedures are not to be used for permit and should be reviewed by the project architect. The waterproofing procedures are not complete plans or specifications and a professional design professional should be contacted prior to performing major waterproofing and repairs.

System:	Pli-Dek System ICC-ES ESR-2097	
Detail:	DECK PLAN VIEW INCLEMENT WEATHER	
Job:		Drawing Number:
Date:	04/01/2019	<b>PD-1-IW</b>
Dwn:	E.L.	





NOTE:  
WHERE LATH OVERLAPS PERIMETER FLASHING AND PD SEAM PAPER  
(PLYWOOD SEAMS) STAPLE EVERY (1-1/2") O.C 37 MM.

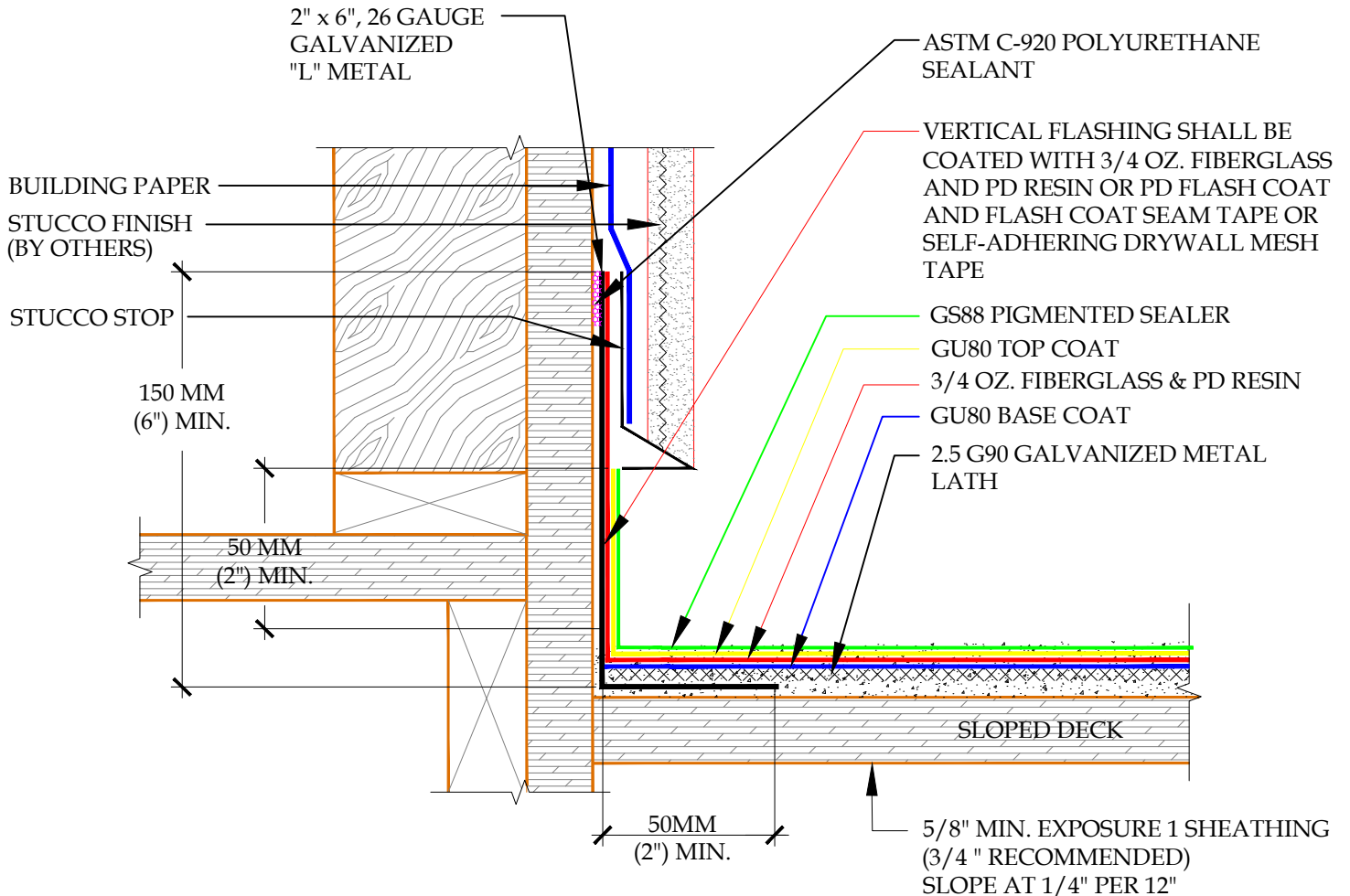
**DETAIL-FASTENER PATTERN FOR METAL LATH AND PERIMETER FLASHING**  
SCALE: N.T.S. **INCLEMENT WEATHER**



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System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		FASTENER PATTERN FOR METAL LATH AND PERIMETER FLASHING INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	04/01/2019	PD-2-IW	
Dwn:	E.L.		



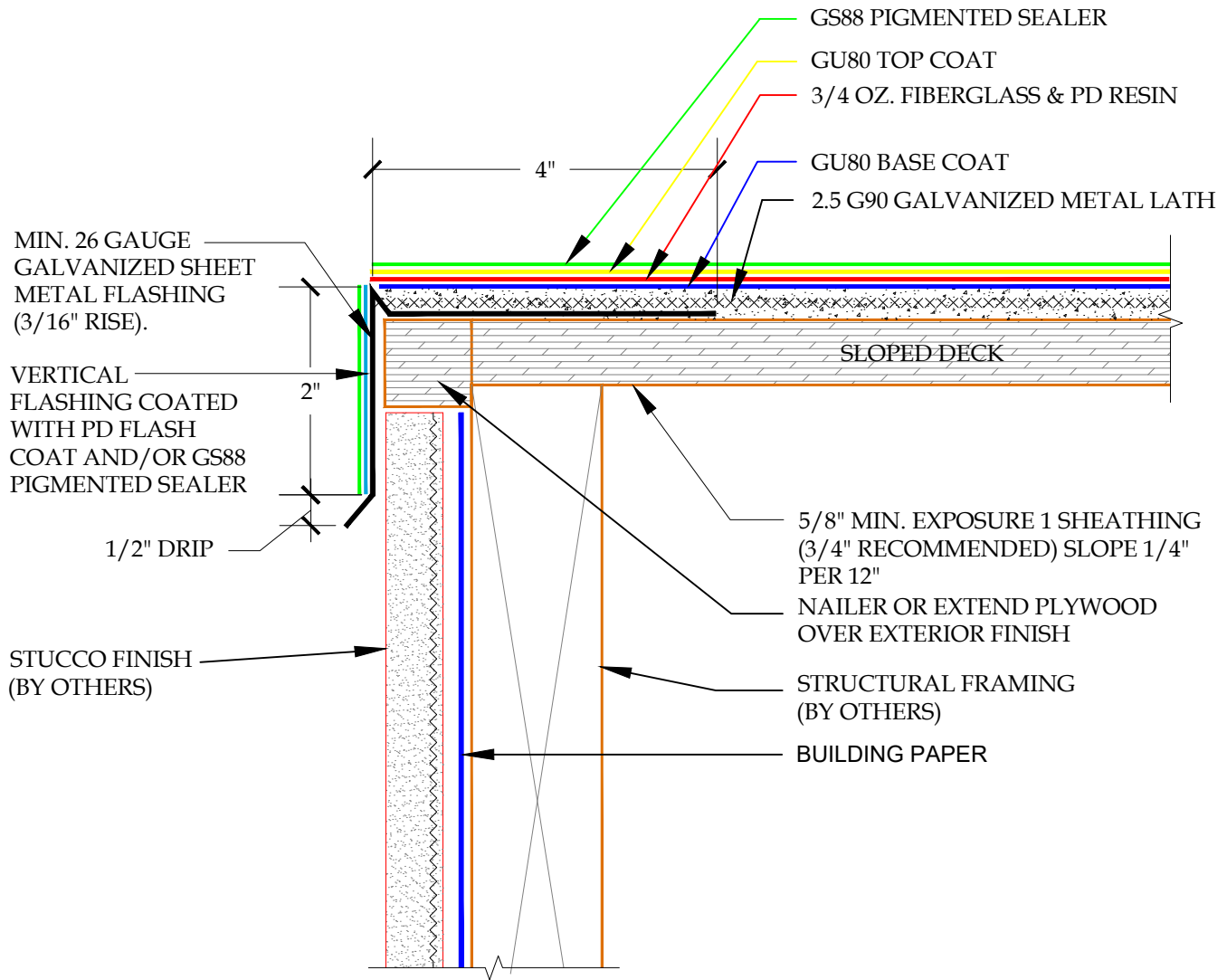
**DETAIL-DECK TO WALL FLASHING-STUCCO OR EIFS - INCLEMENT WEATHER**  
 SCALE: N.T.S.



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System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		DECK TO WALL FLASHING-STUCCO OR EIFS INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	04/01/2019	PD-7-IW	
Dwn:	E.L.		



**DETAIL-EDGE METAL FLASHING OVER STUCCO FASCIA-INCLEMENT WEATHER**

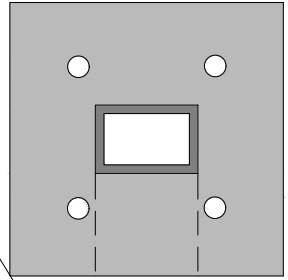
SCALE: N.T.S.



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System: Pli-Dek System ICC-ES ESR-2097		Drawing Number: <b>PD-10-IW</b>
Detail: EDGE METAL FLASHING OVER STUCCO FASCIA INCLEMENT WEATHER		
Job:		
Date:	04/01/2019	
Dwn:	E.L.	

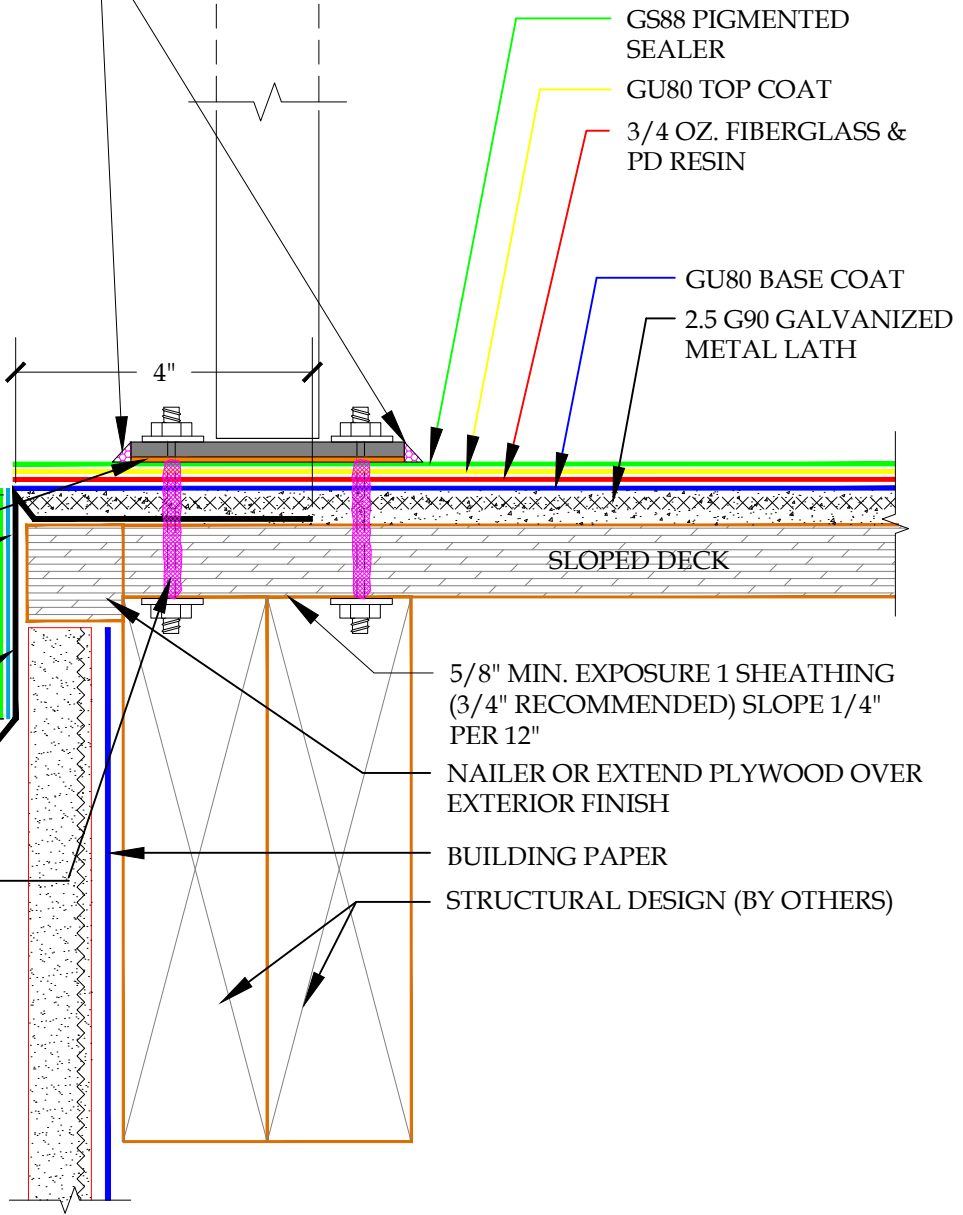


PLAN VIEW

APPLY ASTM C-920 POLYURETHANE SEALANT TO THE INSIDE AND OUTSIDE OF THE FASTENER/PENETRATIONS AS WELL AS UNDER THE BASE PLATE AND AROUND THE PERIMETER OF THE BASE PLATE. SEALANT WILL NEED TO BE MAINTAINED YEARLY. NOTE: LAG BOLT INSTALLATION, DRILL PILOT HOLES FOR LAG BOLTS & INJECT HOLE WITH ASTM C-920 POLYURETHANE SEALANT PRIOR TO INSTALLATION OF LAG BOLT. (BOLT INSTALLATION AND SEALANT ARE THE RESPONSIBILITY OF RAIL INSTALLER)

- GS88 PIGMENTED SEALER
- GU80 TOP COAT
- 3/4 OZ. FIBERGLASS & PD RESIN
- GU80 BASE COAT
- 2.5 G90 GALVANIZED METAL LATH

- NEOPRENE OR EPDM GASKET (OPTIONAL)
- VERTICAL FLASHING COATED WITH PD FLASH COAT AND/OR GS88 PIGMENTED SEALER
- MIN. 26 GAUGE GALVANIZED SHEET METAL FLASHING 1/2" DRIP (3/16" RISE)
- ATTACHMENT OF RAIL TO BE SEALED WITH ASTM-C-920 POLYURETHANE SEALANT



DETAIL-METAL DECK RAIL- SURFACE MOUNTED - INCLEMENT WEATHER

SCALE: N.T.S.



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System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		METAL DECK RAIL - SURFACE MOUNTED INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	04/01/2019	PD-17A-IW	
Dwn:	E.L.		

# Loxon® XP

## Waterproofing Masonry Coating-Flat

LX11-50 Series


**SHERWIN  
WILLIAMS®**

### CHARACTERISTICS

**Loxon XP** is an exterior, high build coating that provides excellent flexibility, durability and weather resistance. This product will protect against wind-driven rain when used on concrete, CMU, stucco and shotcrete-gunite. It is highly alkali and efflorescence resistant. This may be applied to a surface with a pH of 6 to 13.

Apply directly to fresh concrete (at least 7 days old). Shotcrete/gunite surfaces may be painted after 3 days.

Can be applied over high pH (up to 13) substrates, no primer required.

Can be applied down to 35°F.

**Color:** Most Colors

**1 coat system, brush, roller, or spray applied, coverage per coat:**

Wet mils: 14.5-18.5  
Dry mils: 6.5-8.4  
Coverage sq.ft. per gallon 85-110

Can be applied up to 40 mils wet.

Coverage will vary with the substrate and the texture. Coverage on porous & rough stucco 80 square feet per gallon.

**Drying Schedule @ 50% RH: temperature and humidity dependent.**

	<b>@35-45°F</b>	<b>@ 45°F+</b>
<b>Touch:</b>	6 hrs	4 hrs
<b>Recoat:</b>	24-48 hrs	24 hrs

Drying time is temperature, humidity, and film thickness dependent.

**Finish:** 0-10 units @ 85°

**Tinting with CCE only:**

<b>Base</b>	<b>oz.per gallon</b>	<b>Strength</b>
<b>Extra White</b>	0-6	SherColor
<b>Deep Base</b>	4-12	SherColor
<b>Ultra Deep</b>	10-12	SherColor
<b>Light Yellow</b>	0-12	SherColor

**Extra White LX11W0051**

(may vary by color)

**V.O.C. (less exempt solvents):**

less than 50 grams per litre; 0.42 lbs. per gallon  
As per 40 CFR 59.406

**Volume Solids:** 45 ± 2%

**Weight Solids:** 61 ± 2%

**Weight per Gallon:** 11.46 lb

**Flash Point:** N.A.

**Vehicle Type:** Proprietary Acrylic

**Shelf Life:** 36 months, unopened

**Mildew Resistant:**

This coating contains agents which inhibit the growth of mildew on the surface of this coating film. Passes ASTM D3273/D3274

### COMPLIANCE

As of 2/4/2022, Complies with:

<b>OTC</b>	Yes
<b>OTC Phase II</b>	Yes
<b>S.C.A.Q.M.D</b>	Yes
<b>CARB</b>	Yes
<b>CARB SCM 2007</b>	Yes
<b>CARB SCM 2020</b>	Yes
<b>Canada</b>	Yes
<b>LEED® v4 &amp; v4.1 Emissions</b>	N.A.
<b>LEED® v4 &amp; v4.1 V.O.C.</b>	Yes
<b>EPD-NSF® Certified</b>	No
<b>MIR-Manufacturer Inventory</b>	No
<b>MPI®</b>	Yes
<b>SWRI®- Wall Coating</b>	Yes

### APPLICATION

**Temperature:**

minimum 35°F

The following is a guide. Changes in pressures and tip sizes may be needed for proper spray characteristics. Always purge spray equipment before use with listed reducer. Any reduction must be compatible with the existing environmental and application conditions.

**Reducer:** Do not reduce

**Airless Spray:**

Pressure 2300 p.s.i.

Tip .021 inch

Brush Use a nylon/polyester brush

Roller Cover Use a ½ to 1½ inch nap synthetic roller cover.

The substrate and its condition will determine the application procedure. Considerations to minimize pinholes:

- 2 coat application with overnight drying between coats
- Spray application with backrolling
- Power rolling

Spray and backroll on porous & rough stucco to achieve required film build and a pin-hole free surface.

When the air temperature is at 35°F, substrates may be colder. Prior to painting, check to be sure the air, surface, and material temperatures are above 35°F and at least 5°F above the dew point. Avoid using if rain or snow is expected within 2-3 hours.

Do not apply at air or surface temperatures below 35°F or when air or surface temperatures may drop below 35°F within 48 hours.

Do not reduce.

### APPLICATION TIPS

For proper waterproofing performance and to resist alkalis, 2 coats of the coating **MUST** be applied between 14.5 -18.5 mils wet per coat.

A total dry film thickness of 13 - 16.8 mils of topcoat and a surface with 10 or less pinholes per square foot is required for a waterproofing system.

For extremely porous block a coat of Loxon Block Surfacers may be required to achieve a pinhole free surface.

For rehabilitating existing concrete water tanks, additional products may be used.

### RECOMMENDED SYSTEMS

**Concrete, Stucco, Concrete Block, CMU, Split-face Block, and other Cementitious surfaces**

1 coat Loxon Acrylic Block Surfacers  
(if needed) or  
Loxon Conditioner (if needed)

1-2 coats Loxon XP

**Previously Coated in good condition:**

After power washing, apply 1 coat of Loxon XP over the surface.

**Incidental Wood:**

1 coat Exterior Latex Wood Primer1-  
2 coats Loxon XP

**Incidental Metal:**

(steel, galvanized, or aluminum):

1 coat Pro Industrial Pro-Cryl Primer

1-2 coats Loxon XP

**Waterproofing System:**

- Two coats of topcoat
- 6.5 to 8.4 mils d.f.t. per coat
- 13 to 16.8 mils total dry film thickness
- 10 or less pinholes per square foot

# Loxon® XP

## Waterproofing Masonry Coating-Flat

### SURFACE PREPARATION

**WARNING!** Removal of old paint by sanding, scraping or other means may generate dust or fumes that contain lead. Exposure to lead dust or fumes may cause brain damage or other adverse health effects, especially in children or pregnant women. Controlling exposure to lead or other hazardous substances requires the use of proper protective equipment, such as a properly fitted respirator (NIOSH approved) and proper containment and cleanup. For more information, call the National Lead Information Center at **1-800-424-LEAD** (in US) or contact your local health authority.

Remove all surface contamination by washing with an appropriate cleaner, rinse thoroughly and allow to dry. Scrape and sand peeled or checked paint to a sound surface. Sand glossy surfaces dull. Seal stains from water, smoke, ink, pencil, grease, etc. with the appropriate primer-sealer. Recognize that any surface preparation short of total removal of the old coating may compromise the service length of the system.

#### **Concrete, CMU, Stucco:**

On tilt-up and poured-in-place concrete, commercial detergents and sandblasting may be necessary to remove sealers, release compounds, and to provide an anchor pattern. Concrete and mortar must be cured at least 7 days at 75°F. Fill bugholes, air pockets, cracks, and other voids with an elastomeric patch or sealant. Rough surfaces can be filled to provide a smooth surface.

#### **Incidental Metal:**

Wash to remove any oil, grease, or other surface contamination. All corrosion must be removed with sandpaper, wire brush, or other abrading method. Primer required.

#### **Incidental Wood:**

Sand any exposed wood to a fresh surface. Patch all holes and imperfections with a wood filler or putty and sand smooth. All patched areas must be primed. Primer required.

Sealing and Patching—After cleaning the surface thoroughly, prime the concrete surface with Loxon XP, apply an elastomeric patch or sealant if needed, allow to dry, then topcoat.

To improve the performance, consider:

- Use caution when preparing the substrate to create a uniform surface.
- Cracks, crevices, and through-wall openings must be patched with an elastomeric patch or sealant.
- Fill voids and openings around window and doors with an elastomeric patch or sealant.
- Stripe coat all inside and outside corners and edges with 1 coat of Loxon XP coating.

### SURFACE PREPARATION

#### **Mildew:**

Prior to attempting to remove mildew, it is always recommended to test any cleaner on a small, inconspicuous area prior to use. Bleach and bleaching type cleaners may damage or discolor existing paint films. Bleach alternative cleaning solutions may be advised.

Mildew may be removed before painting by washing with a solution of 1 part liquid bleach and 3 parts water. Apply the solution and scrub the mildewed area. Allow the solution to remain on the surface for 10 minutes. Rinse thoroughly with water and allow the surface to dry before painting. Wear protective eyewear, waterproof gloves, and protective clothing. Quickly wash off any of the mixture that comes in contact with your skin. Do not add detergents or ammonia to the bleach-water solution.

### PHYSICAL PROPERTIES

Do not paint on wet surfaces.

#### **LX11W0051**

**Wind-Driven Rain Test :** Pass  
Method: ASTM D6904 7 day cure  
2 coats Loxon XP @ 8.1 mils d.f.t. per coat

**Water Vapor Permeance:**  
(perms) 18.03 grains/h-ft<sup>2</sup>-in Hg.  
Method: ASTM D1653 7 day cure @ 73°F & 50% RH: Method B, Condition A-Wet cup  
2 coats Loxon XP @ 8.1 mils d.f.t. per coat

**Elongation :** 312%  
Method: ASTM D412, 7 day cure @ 72°F & 50% RH 20 inch per minute  
2 coats Loxon XP @ 8.1 mils d.f.t. per coat

**Tensile Strength :** 295 p.s.i.  
Method: ASTM D412, 7 day cure @ 72°F & 50% RH 20 inch per minute  
2 coats Loxon XP @ 8.1 mils d.f.t. per coat

**Flexibility:**  
Method: ASTM D522, 9 mils d.f.t., 1 day cure  
Result: Pass 1/8 inch

**Alkali Resistance:**  
Method: ASTM D1308, 7 day cure,  
11.25 mils d.f.t.  
Result: Pass

**Chloride Ion Permeability:**  
Result: 243 coulombs  
Result: "Very Low" Permeability Class

**CO<sub>2</sub> Diffusion (anti-carbonation):**  
Method: ASTM F2476  
Result: 344 meters  
equivalent air thickness >50 meters to pass  
8.0 g/m<sup>2</sup>/24 hrs

**Crack Bridging: Class A5** Pass  
Method: EN 1062-7 Method A  
Result: up to 2.5 mm @ -10°C

**Efflorescence:**  
Method: ASTM D7072-19  
1 coat, 1 day cure, 7.2 d.f.t.  
Result: Pass

**Adhesion:**  
Method: ASTM D4541  
2 coats, 7 day cure, 7.2 d.f.t. per coat  
Result: 375 average p.s.i.

### CAUTIONS

For exterior use only.

Protect from freezing.

Non-photochemically reactive.

Not for use on horizontal surfaces (floors, roofs, decks, etc.) where water will collect.

Not for use below grade. Will not withstand hydrostatic pressure.

Before using, carefully read **CAUTIONS** on label.

**ZINC.** Use only with adequate ventilation. To avoid overexposure, open windows and doors or use other means to ensure fresh air entry during application and drying. If you experience eye watering, headaches, or dizziness, increase fresh air, or wear respiratory protection (NIOSH approved) or leave the area. Avoid contact with eyes and skin. Wash hands after using. Keep container closed when not in use. Do not transfer contents to other containers for storage. **FIRST AID:** In case of eye contact, flush thoroughly with large amounts of water. Get medical attention if irritation persists. If swallowed, call Poison Control Center, hospital emergency room, or physician immediately. **WARNING:** This product contains chemicals known to the State of California to cause cancer and birth defects or other reproductive harm. **DO NOT TAKE INTERNALLY. KEEP OUT OF THE REACH OF CHILDREN.**

HOTW 2/4/2022 LX11W0051 27 00  
FRC, SP

### CLEANUP INFORMATION

Clean spills, splatters, hands and tools immediately after use with soap and warm water. After cleaning, flush spray equipment with a compliant cleanup solvent to prevent rusting of the equipment. Follow manufacturer's safety recommendations when using solvents.



Technical Data Sheet

## DOWSIL™ 790 Silicone Building Sealant

### FEATURES & BENEFITS

- Excellent performance even in building joints that experience extreme movement
- Suitable for new and remedial construction
- Extension/compression capability of +100/-50 percent
- Excellent weathering properties and resistance to sunlight, rain, snow, and temperature extremes
- Excellent unprimed adhesion to masonry, concrete substrates
- Easy application over a wide temperature range

### COMPOSITION

- Ultra-low-modulus, one-part, neutral-cure silicone sealant

Ultra-low-modulus sealant for new and remedial construction joint sealing applications

### APPLICATIONS

DOWSIL™ 790 Silicone Building Sealant offers outstanding unprimed adhesion to masonry and is particularly effective for sealing expansion and control joints, precast concrete panel joints, Exterior Insulation and Finish Systems (EIFS) joints, curtainwall joints, mullion joints, stone pavers, and many other construction joints. When used in accordance with Dow application and testing recommendations, the sealant forms a durable, flexible, watertight bond with many common building materials, including combinations of stone, concrete, masonry, granite, marble, aluminum, painted substrates, and glass.

### TYPICAL PROPERTIES

Specification Writers: These values are not intended for use in preparing specifications.

Test	Property	Unit	Result
<b>As Supplied</b>			
ASTM C 679	Tack-Free Time, 50% RH	hours	1
	Curing Time, 50% RH, at 25°C (77°F), 3/8" depth	days	7–14
	Full Adhesion, cured joint	days	14–21
ASTM D 2202	Flow, Sag, or Slump		None
CTM 98	Working Time	minutes	10–20
EPA Method 24	VOC Content <sup>1</sup> , maximum	g/L	23
<b>As Cured – After 7 days at 25°C (77°F) and 50% RH</b>			
ASTM C 661	Durometer Hardness, Shore A	points	15
ASTM D 412	Tensile Strength, maximum	psi (kg/mm <sup>2</sup> )	100 (0.070)
ASTM C 794	Peel Strength	lb/in (kg/cm)	25 (4.46)
ASTM C 1135	Tensile		
	at 25% extension	psi (kg/mm <sup>2</sup> )	15 (0.010)
	at 50% extension	psi (kg/mm <sup>2</sup> )	20 (1.015)
ASTM C 719	Joint Movement Capabilities		
	Extension/Compression	%	+100/-50
ASTM C 1248	Staining, various substrates		None

\*ASTM: American Society for Testing and Materials.

CTMs (Corporate Test Methods) correspond to standard ASTM tests in most instances. Copies of CTMs are available upon request.

<sup>1</sup>Based on South Coast Air Quality Management District of California. Maximum VOC is listed both inclusive and exclusive of water and exempt compounds.

## DESCRIPTION

Suitable for new construction or remedial applications, DOWSIL 790 Silicone Building Sealant provides excellent performance, even in building joints that experience extreme movement. It places a low stress on the sealant/substrate bond line to minimize failures in moving joints.

DOWSIL 790 Silicone Building Sealant is available in 11 colors: black, precast white, gray, natural stone, bronze, adobe tan, blue spruce, rustic brick, sandstone, charcoal, and dusty rose. Custom colors are available upon request.

## APPROVALS/ SPECIFICATIONS

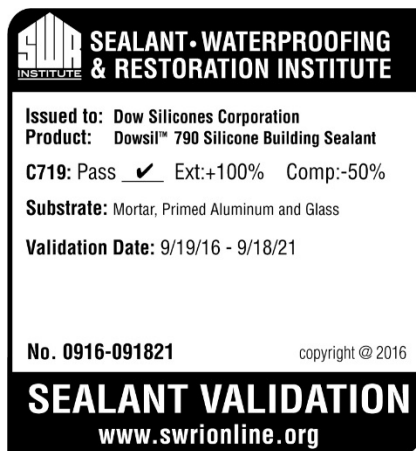
This sealant meets or exceeds the requirements of:

- ASTM Specification C 920, Type S, Grade NS, Class 100/50, Use T, NT, M, G, A, and O
- Many UL wall/floor fire designs, some without a protective cover plate (see [www.ul.com](http://www.ul.com) for current listing)
- Fire Tests of Building Construction and Materials, UL 263 (ASTM E 119)

Data from an independent test lab and Sealant, Waterproofing and Restoration Institute validation are available from Dow and the SWR Institute. A complete product specification sheet for this product is available upon request.

## HOW TO USE

Consult the current version of the Dow Americas Technical Manual, Form No. 62-1112, for detailed information on application methods, joint design, field testing, and warranty requirements when using Dow sealants. Please contact your local sales application engineer for specific advice.



## HANDLING

### PRECAUTIONS

**PRODUCT SAFETY INFORMATION REQUIRED FOR SAFE USE IS NOT INCLUDED IN THIS DOCUMENT. BEFORE HANDLING, READ PRODUCT AND SAFETY DATA SHEETS AND CONTAINER LABELS FOR SAFE USE, PHYSICAL AND HEALTH HAZARD INFORMATION. THE SAFETY DATA SHEET IS AVAILABLE ON THE DOW WEBSITE AT WWW.CONSUMER.DOW.COM, OR FROM YOUR DOW SALES APPLICATION ENGINEER, OR DISTRIBUTOR, OR BY CALLING DOW CUSTOMER SERVICE.**

## USABLE LIFE AND STORAGE

When stored at or below 32°C (90°F), DOWSIL 790 Silicone Building Sealant has a shelf life of 12 months from date of manufacture. Refer to product packaging for "Use By" date.

## PACKAGING INFORMATION

DOWSIL 790 Silicone Building Sealant is packaged in 10.3 fl oz (305 mL) disposable cartridges that fit ordinary caulking guns, 20 fl oz (590 mL) E-Z Pak foil sausages that fit caulking guns, and also in 2.0 and 4.5 gal (7.5 and 17 L) bulk pails. It can be dispensed by many air-operated guns and most types of bulk dispensing equipment.

## LIMITATIONS

DOWSIL 790 Silicone Building Sealant should not be applied:

- In structural applications.
- Below grade or to materials that outgas, which can cause bubbling in curing sealant.
- On brass or copper or other similar material that can be corroded.
- To surfaces that are continuously immersed in water.
- For use as an interior penetration firestop sealing system.
- To building materials that bleed oils, plasticizers, or solvents – materials such as impregnated wood, oil based caulks, green or partially vulcanized rubber gaskets, or tapes or bituminous below-grade waterproofing and asphalt-impregnated fiberboard.
- In totally confined spaces because the sealant requires atmospheric moisture for cure.
- To surfaces that will be painted after application. The paint film will not stretch with the extension of the sealant and may crack and peel and most likely will not adhere to the sealant.
- To surfaces in direct or indirect contact with food.
- To wet or frost-laden surfaces.
- In applications where solvents or primers are not fully dried prior to sealant application. Uncured sealant is very sensitive to many solvents, primers, and cleaning agents; these may cause the sealant to remain uncured or tacky.

This product is neither tested nor represented as suitable for medical or pharmaceutical uses.



## **HEALTH AND ENVIRONMENTAL INFORMATION**

To support customers in their product safety needs, Dow has an extensive Product Stewardship organization and a team of product safety and regulatory compliance specialists available in each area.

For further information, please see our website, [www.consumer.dow.com](http://www.consumer.dow.com) or consult your local Dow representative.

## **LIMITED WARRANTY INFORMATION – PLEASE READ CAREFULLY**

The information contained herein is offered in good faith and is believed to be accurate. However, because conditions and methods of use of our products are beyond our control, this information should not be used in substitution for customer's tests to ensure that our products are safe, effective, and fully satisfactory for the intended end use. Suggestions of use shall not be taken as inducements to infringe any patent.

Dow's sole warranty is that our products will meet the sales specifications in effect at the time of shipment.

Your exclusive remedy for breach of such warranty is limited to refund of purchase price or replacement of any product shown to be other than as warranted.

**TO THE FULLEST EXTENT PERMITTED BY APPLICABLE LAW, DOW SPECIFICALLY DISCLAIMS ANY OTHER EXPRESS OR IMPLIED WARRANTY OF FITNESS FOR A PARTICULAR PURPOSE OR MERCHANTABILITY.**

**DOW DISCLAIMS LIABILITY FOR ANY INCIDENTAL OR CONSEQUENTIAL DAMAGES.**

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# PRODUCT DATA SHEET

Publication Date: 4-11-2022

## DRYLOK® Siloxane 7 Brick & Masonry Penetrating Sealer

### PRODUCT DESCRIPTION

DRYLOK® Siloxane 7 Brick & Masonry Penetrating Sealer is formulated with a 7% blend of Silane/Siloxane to produce an invisible one-coat weatherproof treatment. This special blend provides superior performance and protection against staining, efflorescence, freeze/thaw, and hurricane force winddriven rain.

- Invisible barrier against moisture
- Breather-type finish – keeps water droplets out but allows water vapor to escape
- Contains Silane/Siloxane
- Resists 98 mph wind-driven rain
- Service life is estimated at more that 10 years
- Complies with all current VOC requirements
- Non-yellowing

### BASIC USES

It offers excellent water repellency on exterior above-grade vertical, and horizontal masonry surfaces. Ideal for use on brick, concrete, stucco, slate, cultured, and natural stone.

### TECHNICAL DATA

**COMPOSITION:** Silane/siloxane

**% WEIGHT SOLIDS:** +7% ± 2

**DENSITY (LBS./US GAL.):** 22.5 ± 0.3 (S.G. 2.69 ± 0.02)

**pH:** N/A

**COLORS:**

- Transparent

**DRY TIME:** 30 Minutes

Note: Maximum cure and dry time will be prolonged when slightly humid and damp, cool conditions prevail.



#### COVERAGE

210 sq. ft/gal.



#### COATS

Flood to the point of rejection



#### DRY TIME

30 Minutes



#### CLEAN-UP

Soap and water

Dispose of contaminated absorbent, container, and unused contents in accordance with local, state, and federal regulations.

## DRYLOK® SILOXANE 7 BRICK & MASONRY PENETRATING SEALER

140-210 square feet per 35 pounds

### **COVERAGE:**

210 sq. ft/gal.

Note: Actual coverage will vary depending upon application method, surface texture, and porosity.

### **RECOMMENDED FILM THICKNESS/COAT:**

Even spray coat

**SHELF LIFE:** 2 years

**Freeze/Thaw:** Keep from freezing.

**CONTAINER SIZES:** 1 gallon and 5 gallon

### **VOC**

Does not exceed 10 g/L

### **LIMITATIONS**

When DRYLOK® Siloxane 7 is used on floors, DRYLOK® Non-Skid Texture Additive must be added to prevent slipping.

### **SURFACE PREPARATION**

Any previous film forming (Non Penetrating) coatings must be removed. The surface should be clean, dry, and free from dirt, mildew, and all loose particles. Cracks, holes, and loose mortar joints should be repaired using a suitable concrete patch or mortar mix. For best results, DRYLOK® Siloxane 7 Brick & Masonry Penetrating Sealers should be applied following a rain-free period of at least 2 days.

**EFFLORESCENCE** a white, powdery, crystal-like deposit visible on the masonry surface must be removed. DRYLOK® Etch (liquid or powder) or muriatic acid, used according to manufacturer's directions, are effective efflorescence removal agents. All masonry surfaces are subject to occurrences of efflorescence.

### **APPLICATION**

DO NOT THIN. Protect glass, wood surfaces, and shrubbery from overspray. This product will not damage asphalt shingles. The most effective method of application is the use of an ordinary garden pump sprayer. Eliminate most of the pressure at the spray nozzle and operate at the lowest practical pressure on

the tank. The nozzle should be opened to a coarse spray adjustment. For even flooding of material start at the bottom of the wall, hold the spray at an angle to avoid splashing. It is important to hold the spray tip close to the surface to avoid streaking. If DRYLOK® SILOXANE 7 Brick & Masonry Penetrating Sealer is applied with a brush, flow on liberally, do not brush out, to ensure even flooding of the surface. If a second coat is applied, apply wet on wet within 5 minutes. Apply only when air and surface temperatures are 50°F (10°C) or higher.

### **SPECIFICATION**

Conforms to ASTM D6904, Resistance to Wind-Driven Rain. Meets performance requirements of Federal Specification TT-C555B, PAR 3.3.3, Resistance to Wind-Driven Rain.

### **CAUTION**

Use only with adequate ventilation. Do not breathe vapors or spray mist. Ensure fresh air entry during application and drying. If you experience eye watering, headache, or dizziness, or if air monitoring demonstrates vapor levels are above applicable limits, wear an appropriate, properly fitted respirator (NIOSH-approved) during and after application. Follow respirator manufacturer's directions for respirator use. May cause eye irritation. Do not get in eyes, on skin, or clothing. Wash thoroughly after handling. Do not ingest.

**KEEP OUT OF REACH OF CHILDREN.  
KEEP FROM FREEZING.**

### FIRST AID

In case of eye contact, immediately flush eyes with plenty of water for at least 15 minutes. Call poison control center, hospital emergency room, or physician immediately. Wash clothing before reuse. Thoroughly clean contaminated shoes. If you experience difficulty in breathing, leave the area to obtain fresh air. If continued difficulty is experienced, Call poison control center, hospital emergency room, or physician immediately. If swallowed, do not induce vomiting. Call poison control center, hospital emergency room, or physician immediately. If spilled, contain spilled material, and remove with inert absorbent. Dispose of contaminated absorbent, container, and unused contents in accordance with local, state, and federal regulations.

### WARNING

If you scrape, sand, or remove old paint, you may release lead dust. LEAD IS TOXIC. EXPOSURE TO LEAD DUST CAN CAUSE SERIOUS ILLNESS, SUCH AS BRAIN DAMAGE, ESPECIALLY IN CHILDREN. PREGNANT WOMEN SHOULD ALSO AVOID EXPOSURE. Wear a NIOSH-approved respirator to control lead exposure. Clean up carefully with a HEPA vacuum and a wet mop. Before you start, find out how to protect yourself and your family by contacting the National Lead Information Hotline at 1-800-424-LEAD or log on to [www.epa.gov/lead](http://www.epa.gov/lead).

⚠ Warning: Cancer and Reproductive Harm  
[www.P65Warnings.ca.gov](http://www.P65Warnings.ca.gov).

For additional health and safety information please refer to the "Safety Data Sheet".

### LIMITED WARRANTY

The information and recommendations made are based on our own research and the research of others, and are believed to be accurate. However, no guarantee of their accuracy is made because we cannot cover every possible application of our

products, nor anticipate every variation encountered in masonry surfaces, job conditions and methods used. The purchasers are responsible to make their own tests to determine the suitability of such products for a particular purpose. **United Gilsonite Laboratories (UGL) warrants DRYLOK® Siloxane 7 Brick & Masonry Penetrating Sealer**, warrants this product to be free from defects. WHERE PERMITTED BY LAW, THE ABOVE WARRANTY IS GIVEN IN LIEU OF ANY AND ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, INCLUDING ANY IMPLIED WARRANTY OF FITNESS FOR A PARTICULAR PURPOSE OR MERCHANTABILITY, EXCEPT AS EXPRESSLY PROVIDED HEREIN. The purchaser shall be responsible to make his own tests to determine the suitability of this product for his particular use and purpose. UGL's liability shall be limited in all events to supplying sufficient product to re-treat the specific areas to which defective product has been applied. Acceptance and use of this product absolves UGL from any other liability, from whatever source, including liability for indirect, incidental, exemplary, special, punitive, or consequential damages whether due to breach of warranty, negligence, strict liability or other theory. This warranty may not be modified or extended by representatives of UGL, its distributors or dealers.

DRYLOK® is a registered trademark of United Gilsonite Laboratories (UGL).

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## DRYLOK® SILOXANE 7 BRICK & MASONRY PENETRATING SEALER

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	<b>CONTAINER</b>	<b>NUMBER/CASE</b>	<b>ORDER NUMBER</b>
DRYLOK® Siloxane 7 Brick & Masonry Penetrating Sealer	1 gallon	2/case	23613
DRYLOK® Siloxane 7 Brick & Masonry Penetrating Sealer	5 gallon	1/case	23615



**1-800-845-5227 • Fax 1-570-969-7634 • [www.UGL.com](http://www.UGL.com)**

Corporate Office: 1396 Jefferson Avenue, Dunmore, PA 18509  
Mail to: P.O. Box 70, Scranton, PA 18501-0070  
Plant Locations: Jacksonville, IL • Jackson, MS

# EverGuard® TPO 60 mil Membrane Information Sheet

Updated: 6/18



*Quality You Can Trust...From  
North America's Largest Roofing Manufacturer!™*



# EVERGUARD® TPO

# MEMBRANE 60 MIL

## Why TPO

- Great Value—Excellent performance at a cost-effective price
- Excellent Seam Strength—Heat-welded seams provide greater seam strength to taped and other seams
- Long-term Weathering—Excellent long-term heat and UV resistance
- Energy Saving—Highly reflective and emissive white roof can help reduce energy costs and urban heat island effect
- CREST Energy Savings Calculator—See your potential savings at [cool.gaf.com](http://cool.gaf.com)
- Versatile Application Method

## Why GAF EverGuard® TPO

- Outperforms standard TPO in heat aging and UV tests—the best predictors of TPO performance
  - After accelerated heat aging at 275°F (135°C) for 105 days, EverGuard® TPO showed no cracking—while every one of the competitors' samples had failed! **See below:**
  - UV testing—Greater than 2.5 times the industry standard (ASTM D6878 weather resistance test)
- Guarantees are available up to 25 years when using EverGuard® TPO 60 mil Membrane.\*
- Easier to install due to:
  - Large welding window
  - Most complete line of accessories
  - 10' (3.05 m) wide sheets



Fall River Courthouse, Fall River, Massachusetts

## Installation

EverGuard® TPO 60 mil Membrane is suitable for all types of single-ply systems:

- Mechanically Attached Application...for a quick and cost-effective system that can be installed practically year-round.
- RhinoBond® Application...can be applied without using adhesives and installed practically year round. Qualifies for the same guarantee length as an adhered system.\*
- Adhered Application...can be installed with EverGuard® 1121 Solvent-Based Adhesive, EverGuard® Low VOC Adhesive, or EverGuard® WB181 Water-Based Adhesive for the smoothest appearance. Provides excellent wind uplift performance.

## Accessories

Field fabrication of TPO accessories is time-consuming, costly, inconsistent, and can lead to unreliable details that compromise a watertight roofing system. EverGuard® TPO prefabricated accessories deliver consistent quality and eliminate the worry and problems often associated with field fabrication. They can also boost productivity up to 200%,\*\* while reducing installed cost by up to 12%.

\*See applicable guarantee for complete coverage and restrictions.

\*\*Based on GAF estimate to field-fabricate flashing details.

Quality You Can Trust...From North America's Largest Roofing Manufacturer!™

[gaf.com](http://gaf.com)



U.S. only



California Title 24 Compliant



TPO membranes meet the performance requirements of ICC ER-6030

# EverGuard® TPO 60 mil Membrane

## Applicable Standards

UL Listed, FM Approved, Miami-Dade County Product Control Approved, State of Florida Approved, CRRC Rated, Title 24 Compliant\*, ENERGY STAR® Certified\*\*, ASTM D6878.

Physical Properties	ASTM Test Method	ASTM D6878 Minimum	EverGuard® Typical Test Data
1. Certain data is provided in MD (machine direction) x CMD (cross machine direction) format. 2. Data is based upon typical product performance, and is subject to normal manufacturing tolerance and variance.			
Nominal Thickness	ASTM D751	0.039" (min.) (0.99 mm)	0.060" (1.52 mm)
Breaking Strength	ASTM D751 Grab Method	220 lbf/in. (38.5 kn/m)	305 lbf x 290 lbf (454 x 432 kg/m)
Factory Seam Strength	ASTM D751	66 lbf (98.34 kg/m)	135 lbf (membrane failure) (201.1 kg/m)
Elongation at Break	ASTM D751	15%	30%
Heat Aging	ASTM D573	90% Retention of Breaking Strength and Elongation at Break	100%
Tear Strength	ASTM D751 8" x 8" (203 x 203 mm) Sample	55 lbf (81.95 kg/m)	75 lbf x 130 lbf (111.8 x 193.7 kg/m)
Puncture Resistance	FTM 101C Method 2031	Not Established	380 lb. (172 kg)
Cold Brittleness	ASTM D2137	-40°C	-40°C
Permeance	ASTM E96	Not Established	0.08 Perms
Dimensional Change	ASTM D1204 @158°F (70°C), 6 hrs.	+/-1%	0.4%
Water Absorption	ASTM D471 @158°F (70°C), 1 week	+/-3.0% (top coating only)	0.7%
Hydrostatic Resistance	ASTM D751 Method D	Not Established	430 psi
Ozone Resistance	ASTM D1149	No visible deterioration @ 7 x magnification	No visible deterioration @ 7 x magnification
SRI (Solar Reflectance Index) Initial/Aged	N/A	N/A	94/81 83 Aged Title 24
Reflectivity (white) Initial/Aged	ASTM C1549 ASTM E903	N/A N/A	0.76/0.68 81.9% Reflectance
Emissivity (white) Initial/Aged	ASTM C1371 ASTM E403	N/A N/A	0.90/0.83 0.94
Weather Resistance	ASTM G155/D6878	10,080 KJ/(m <sup>2</sup> · nm) at 340 nm	>25,000 KJ/(m <sup>2</sup> · nm) at 340 nm
Heat Aging	ASTM D573	240°F (115°C) for 32 weeks	60 weeks
Thickness Above Scrim	ASTM D7635	Min 30% of Total Thickness	22.1 mil (Nominal)
<b>Guarantee</b>			
Up to 25 years			

\*White, Energy Gray, and Energy Tan Membranes Only

\*\*ENERGY STAR® only valid in the U.S.

## Product Data

Roll Size	5' x 100'	6' x 100'	8' x 100'	10' x 100'	12' x 100'
	(1.52 x 30.5 m) (500 sq. ft. [46.5 sq.m])	(1.83 x 30.5 m) (600 sq. ft. [55.74 sq.m])	(2.44 x 30.5 m) (800 sq. ft. [74.3 sq.m])	(3.05 x 30.5 m) (1,000 sq. ft. [92.9 sq.m])	(3.65 x 30.5 m) (1,200 sq. ft. [111.484 sq.m])
Roll Weight	162 lb. (73.5 kg)	194.4 lb. (88.2 kg)	257 lb. (117 kg)	322 lb. (146.1 kg)	386.4 lb. (175.3 kg)
Colors	White, Tan, Gray				
Storage	Store rolls on their sides on pallets or shelving in a dry area.				
Safety Warning	Membrane rolls are heavy. Position and install by at least two people.				
Note:	Membrane rolls shipped horizontally on pallets, stacked pyramid-style and banded. Product sizes, dimensions, and widths are nominal values and are subject to normal manufacturing/packaging tolerance and variation.				

RhinoBond® is a registered trademark of OMG.



[gaf.com](http://gaf.com)



# Timberline HD® Shingles

Made to protect your home. Your story. And those of over 50 million of your fellow Americans!



## Timberline HD® Shingles Provide These Unique Benefits:

### Great Value

Architecturally stylish but practically priced

### Dimensional Look

Features GAF proprietary color blends and enhanced shadow effect for a genuine wood-shake look

### Highest Roofing Fire Rating

UL Class A, Listed to ANSI/UL 790

### High Performance

Designed with Advanced Protection® Shingle Technology, which reduces the use of natural resources while providing excellent protection for your home (visit [gaf.com/APS/](http://gaf.com/APS/) to learn more)

### Stays in Place

Dura Grip™ Adhesive seals each shingle tightly and reduces the risk of shingle blow-off. Shingles warranted to withstand winds up to 130 mph (209 km/h)<sup>1</sup>

### StainGuard® Protection

Helps ensure the beauty of your roof against unsightly blue-green algae<sup>2</sup>

### Peace of Mind

Lifetime Ltd. transferable warranty with Smart Choice® Protection (non-prorated material and installation labor coverage) for the first ten years<sup>3</sup>

### Perfect Finishing Touch

For the best look, use Timbertex® Premium Ridge Cap Shingles or Ridglass® Premium Ridge Cap Shingles<sup>4</sup>

<sup>1</sup>This wind speed coverage requires special installation; see *GAF Shingle & Accessory Ltd. Warranty* for details.

<sup>2</sup>StainGuard® Protection applies only to shingles with StainGuard®-labeled packaging. See *GAF Shingle & Accessory Ltd. Warranty* for complete coverage and restrictions.

<sup>3</sup>See *GAF Shingle & Accessory Ltd. Warranty* for complete coverage and restrictions. The word "Lifetime" refers to the length of coverage provided by the *GAF Shingle & Accessory Ltd. Warranty* and means as long as the original individual owner(s) of a single-family detached residence (or the second owner(s) in certain circumstances) owns the property where the shingles are installed. For owners/structures not meeting the above criteria, Lifetime coverage is not applicable.

<sup>4</sup>These products are not available in all areas. See [www.gaf.com/ridgecapavailability](http://www.gaf.com/ridgecapavailability) for details.

# Colors & Availability

## Regional Availability

Northeast, Southeast, Southwest,  
West, and Central Areas

*Copper Canyon*

*Patriot Red*

*Driftwood*

*Pewter Gray*

*Fox Hollow Gray*

*Shakewood*

*Barkwood*

*Golden Amber*

*Slate*

*Birchwood*

*Hickory*

*Sunset Brick*

*Biscayne Blue*

*Hunter Green*

*Weathered Wood*

*Canadian Driftwood*

sold in Canada only

*Mission Brown*

*White*

*Charcoal*

*Oyster Gray*

*Williamsburg Slate*

## Applicable Standards & Protocols

- UL Listed to ANSI/UL 790 Class A
- Miami-Dade County Product Control approved
- State of Florida approved
- UL 997 modified to 110 mph
- Classified by UL in accordance with ICC-ES AC438
- Meets ASTM D7158, Class H
- Meets ASTM D3161, Class F
- Meets ASTM D3018, Type 1
- Meets ASTM D3462<sup>1</sup>
- ICC-ES Evaluation Reports ESR-1475 and ESR-3267

- Texas Department of Insurance listed
- CSA A123.5<sup>2</sup>
- ENERGY STAR® Certified (White Only) (U.S. Only)
- Rated by the CRRC
- Can be used to comply with Title 24 cool roof requirements
- Meets the cool roof requirements of the Los Angeles Green Building Code (Birchwood, Copper Canyon, Golden Amber, and White Only)

## Product/System Specifics<sup>3</sup>

- Fiberglass Asphalt Construction
- Dimensions (approx.): 13 1/4" x 39 3/8" (337 x 1,000 mm)

- Exposure: 5 5/8" (143 mm)
- Bundles/Square: 3
- Pieces/Square: 64
- StainGuard® Protection: Yes<sup>4</sup>
- Hip/Ridge: TimberText®; Seal-A-Ridge®; Z® Ridge; Ridglass®
- Starter: Pro-Start® & WeatherBlocker™

## Installation

Detailed installation instructions are provided on the inside of each bundle wrapper of Timberline HD® Shingles. Installation instructions may also be obtained at [gaf.com](http://gaf.com).

<sup>1</sup>Periodically tested by independent and internal labs to ensure compliance with ASTM D3462 at time of manufacture.

<sup>2</sup>Refers to shingles sold in Canada only.

<sup>3</sup>Refer to complete published installation instructions.

<sup>4</sup>StainGuard® Protection applies only to shingles with StainGuard®-labeled packaging. See *GAF Shingle & Accessory Ltd. Warranty* for complete coverage and restrictions.

**Note:** It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.



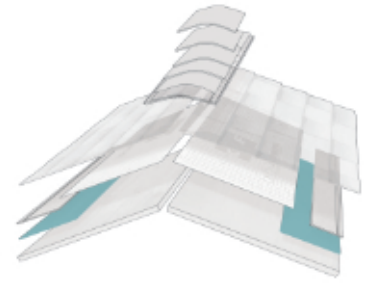
# StormGuard<sup>®</sup> Film-Surfaced Leak Barrier

Help protect your home and roof system from wind-driven rain and damaging ice dams



- Helps prevent leaks at the most vulnerable areas of your asphalt shingle or metal roofing system
- Reduces the risk of costly repairs due to wall or ceiling staining from leaks
- Meets code requirements where local building codes require the use of leak barriers<sup>1</sup>

# StormGuard® Film-Surfaced Leak Barrier



## Benefits:

- **Strong protection** at the eave and rakes, in valleys, and around chimneys and skylights
- **Self-seals** around fasteners to help avoid leaks
- **High-temperature compound** for use with asphalt shingles and most metal roofing systems<sup>2</sup>
- **Blue synthetic patterned surface** provides excellent wet/dry traction and is cooler to work on (vs. typical black underlayments)
- **Integral surface channels** help guide moisture away from the walking surface
- **Fiberglass-reinforced construction**
- **Eligible for up to a Lifetime limited warranty** when used on Lifetime Shingle roofs<sup>3</sup> and it's an eligible component of GAF residential enhanced warranties. It's also covered by up to a 10-year limited warranty<sup>4</sup> when used with other approved non-asphaltic roof coverings.

## In the “North,” most building codes require the use of leak barriers at the eaves:<sup>5</sup>

- Protection against ice dams is required by most building codes<sup>1</sup> at the eaves where the January average temperature is 25°F (-4°C) or lower or where there is a possibility of ice forming in the eaves — i.e., areas labeled “North”<sup>5</sup> (see map)
- Ice dams can still occur in areas where the average temperature is above 25°F (-4°C)
- In warmer/Southern climates, leak barriers provide critical protection against wind-driven rain

## Meets or exceeds the following requirements of ASTM D1970

Property	Method	Requirement
Thickness (mils)	D5147	Min. 40
Tensile strength MD (lbf/in)	D2523	Min. 25
Tensile strength CMD (lbf/in)	D2523	Min. 25
Elongation at break, modified bitumen Portion – MD and CMD (%)	D2523	Min. 10
Adhesion to plywood at 75°F (24°C) (lbf/ft-width)	D903	Min. 12
Adhesion to plywood at 40°F (4°C) (lbf/ft-width)	D903	Min. 2
Thermal stability (mm)	D1204	Max. 3
Low temperature flexibility -20°F (-29°C)	D1970	Pass
Tear resistance MD (lbf)	D4073	Min. 20
Tear resistance CMD (lbf)	D4073	Min. 20
Moisture vapor permeance (U.S. perms)	E96 A	Max 0.1
Sealability around nail	D1970	Pass
Waterproof integrity after low temperature flexibility	D1970	Pass
Waterproof integrity of lap seam	D1970	Pass

## Product Details:

### Nominal Specifications:

For asphalt shingles and most metal roofing systems<sup>2</sup>

- **Roll size:** 2 squares (200 ft<sup>2</sup> [18.58 sq. m]) excludes laps
- **Roll width:** 36" (0.914 m)
- **Roll length:** 66.7' (20.33 m)
- **High-temp rating:** 250°F (121.1°C)<sup>2</sup>
- **UV exposure:** Up to 90 days, if necessary
- **Shelf life:** Best if used within 1 year from date of manufacture

### Code Approvals:

- Meets or exceeds the performance criteria of ASTM D1970
- State of Florida approved
- Miami-Dade County Product Control approved
- Component of a UL Listed ANSI/UL 790 Class A system when used with UL Class A shingles<sup>6</sup>
- ICC-ES Evaluation Report (ESR-1322)

<sup>1</sup> Check local building codes for requirements in your area

<sup>2</sup> The high-temperature compound is suitable for most metal roofing system applications. For use under copper and zinc or for information on other approved non-asphaltic roofing systems, contact GAF Technical Support at 1-800-766-3411.

<sup>3</sup> Lifetime refers to the length of warranty coverage provided and means as long as the original individual owner(s) of a single-family detached residence [or eligible second owner(s)] owns the property where the qualifying GAF products are installed. For other owners/structures, Lifetime coverage is not applicable. Lifetime coverage on shingles requires the use of GAF Lifetime Shingles only. Lifetime coverage on shingles and accessories requires the use of any GAF Lifetime Shingle and any 3 qualifying GAF Accessories. See *GAF Roofing System Limited Warranty* for complete coverage and restrictions. Visit [gaf.com/LRS](http://gaf.com/LRS) for qualifying GAF products. For installations not eligible for the *GAF Roofing System Limited Warranty*, see the *GAF Shingle & Accessory Limited Warranty*.

<sup>4</sup> See *StormGuard® Film-Surfaced Leak Barrier Limited Warranty for Non-Asphaltic Roofing Systems* for complete coverage and restrictions.

<sup>5</sup> Source: International Building Code (IBC) and International Residential Code (IRC)

<sup>6</sup> Refer to UL Online Certification Directory for actual assemblies



To learn more about the Lifetime Roofing System visit [gaf.com/Lifetime](http://gaf.com/Lifetime)



We protect what matters most™



# EXHIBIT D

# "Exhibit D" List of apartments requiring new AC units

Address- 7501 N. Florida Ave

<i>Apartment Number</i>	<i>Number of bedrooms</i>	<i>Sq. FT/Unit</i>
Apt A102	2BR	909
Apt A104	2BR	909
Apt A203	2BR	909
Apt A302	2BR	909
Apt A303	2BR	909
Apt A304	2BR	909
Apt B202	2BR	909
Apt B203	2BR	909
Apt B204	2BR	909
Apt B301	2BR	909
Apt B302	2BR	909
Apt B303	2BR	909
Apt C101	2BR	909
Apt C201	1BR	669
Apt C204	1BR	669
Apt C301	1BR	669
Apt C302	1BR	669
Apt C304	1BR	669
Apt D101	2BR	909
Apt D201	2BR	909
Apt D202	2BR	909
Apt D203	2BR	909
Apt D301	2BR	909
Apt D303	2BR	909
Apt D304	2BR	909

## Address- 110 E. Broad St.

<i>Apartment Number</i>	<i>Number of bedrooms</i>	<i>Sq. FT/Unit</i>
Apt A104	2BR	909
Apt A204	2BR	909
Apt A303	2BR	909
Apt B102	1BR	669
Apt B104	1 BR	669
Apt B201	1BR	669
Apt B202	1BR	669
Apt B301	1BR	669
Apt B302	1BR	669
Apt B303	1BR	669
Apt B304	1BR	669
Apt C103	1BR	669
Apt C104	1 BR	669
Apt C203	1BR	669
Apt C204	1BR	669
Apt C301	1BR	669
Apt C302	1BR	669
Apt C303	1BR	669
Apt D202	2BR	669
Apt D203	2BR	909
Apt D204	2BR	909
Apt D302	2BR	909
Apt D304	2BR	909

# EXHIBIT E





RE: Oaks @ Riverview Apartment

3/24/2023

202 E Broad Street

Tampa, FL 33604

C/O Tampa Housing Authority

## **Pli-Dek “F” System Scope of Work**

### **Substrate Inspection**

- All plywood substrates must have a slope of 1/4” per foot set in the framing stage, followed with deck sheathing which must be 3/4” Pressure treated plywood or marine grade plywood. **NO EXCEPTIONS**
- Pli-Dek recommends 3/4” exposure 1 sheathing over joist 16” on center, not to exceed 24” on center and maximum deflection shall be no less than L/360<sup>th</sup> of the span.
- Framing and blocking must support all plywood edges, blocking is not required with tongue and groove plywood, **however any decks over occupied or conditioned space will require blocking at all board edges to prevent building pressure/humidity from escaping from un-blocked T&G Plywood edges which will cause pre-mature degradation of the deck waterproofing. A alternative to adding wood blocking at board edges would be to use baffles between trusses and spray foam insulation and the deck boards so as to eliminate thermal bridging on a common plane. The us of closed cell foam would also be effective in mitigating vapor pressure.** All plywood must be securely fastened to supports with ring-shanked nails or screws spaced in accordance with the APA.
- All plywood seams must be staggered and gapped minimum 1/8”, if plywood edges are closed then they must be saw cut open a blade’s width or to provide

1/8” gap. Tongue and Groove edges must be gapped for expansion and contraction per the APA. All adjacent edges of plywood shall not be more than 1/32” above or below adjacent sheets.

- Decks with parapet enclosures must be sloped to drain and we have both deck drains and scuppers for thin-membrane waterproofing systems. Contact your Pli-Dek certified applicator so we ensure the right style and size drains/scuppers needed for this project (if applicable) as they need to be installed first before any other accessories or coatings.
- All siding needs to be removed up 12” from the deck sheathing and out the sides of the decks at the outside corners to allow the pneumatic guns to fasten down metal flashing and lath at these locations. Railings can be re-installed after the Pli-Dek application is sealed. Doors need to be removed for our waterproofing to extend back into the threshold for protection. When re-installing screen-enclosures, after waterproofing finish coat, the base rail needs to be shimmed up a 1/2” minimum the entirety of the length so as to allow rainwater to sheet off the leading edge of the deck as shown in detail PD-31-IW.
- It is the General Contractor’s representative’s responsibility to assure adequate drainage.

### **Flashing**

- Flashing shall be minimum 302 Stainless Steel, Aluminum or Copper. (Contact Pli-Dek for Alternatives)
- Ensure all flashing is wiped clean with a solvent, front and back before installing, ensure all applicable Pli-Dek details are followed.
- Openings must be flashed before installation of doors or sliders; threshold flashing must be set in a bed of polyurethane sealant. All flashings require polyurethane sealant that passes ASTM C-920 per Pli-Dek details and specs.
- All columns, post, and deck penetrations must be flashed per Pli-Dek details.
- Enclosed deck must have scuppers or deck drains that meet Pli-Dek details and specifications, (PD-110-IW if applicable).

- All flashing, scuppers and drains shall be attached with ring shank nails not less than 1” and be installed using single component polyurethane sealants that pass ASTM C-920 requirements and if using copper then coat copper with PD FlashCoat 2.0 or PD Resin/Fiberglass before resting the lath on top of bare copper.

### **Installation**

- After flashings and drains are installed with proper sealants, install PD Seam Paper over all plywood edges.
- Install G90 2.5 metal lath ensuring that lath is staggered and no overlaps within 6” of plywood edges, also staple pattern and lath overlaps meet Pli-Dek specs. Secure lath with minimum 7/8” crown by 5/8” leg minimum, corrosion resistant staples spaced approximately 1 1/2” o.c. around the perimeter and overlapped lath seams.
- Apply GU80 Gray Base per Pli-Dek application instructions allowing base coat to dry before applying subsequent layers. The GU80 Gray Basecoat can remain exposed as a construction base coat allowing all other trades to complete their scope of work and the Pli-Dek installer returning after finish trades to complete PD resin and Fiberglass in the field of the deck. All precautions should be taken with other trades to ensure protecting the installed basecoat from paint overspray and any other debris that could result in damages to the coating. **All effort should be made in the framing stage to provide positive drainage and a water test should be done after basecoat to ensure there are no areas of ponding water, should there be ponding water after basecoat this can be addressed at this stage using the Pli-Dek Slope Mix DP at a cost determined between applicator and builder. Our system follows the profile of the deck at 3/16” thick. Entire deck needs a screed coat of GU80-1 Top Coat or Custom Top Coat over sloping compound and the deck prior to PD Resin/Fiberglass.**
- Install PD Resin and Fiberglass ensuring it is turned up the wall minimum 8” and into door thresholds encapsulating threshold flashing and terminations prior to

setting the doors or all flashings must be coated with Flash Coat 2.0 and overlaps covered with fiberglass drywall tape embedded in sealant and must be installed at all deck to wall details and throughout the threshold prior to installing doors.

- Once the PD Resin/Fiberglass has cured minimum 6-8 hours proceed with finish coats.
- Apply Knock-down texture per application instructions (PD-120-IW), allow minimum 2-6 hours dry time before applying sealer, GS88 will be required on all exposed areas of the deck and flashings.
- Apply GS88 Pigmented Sealer per Pli-Dek application instructions and allow to dry overnight before allowing foot traffic.

The following details may be job specific.

- PD-1-IW
- PD-2-IW
- PD-3A-IW
- PD-4A-IW
- PD-8-IW
- PD-9-IW
- PD-10A-IW
- PD-17A-IW
- PD-19B-IW
- PD-21-IW (If applicable)
- PD-22-IW
- PD-23-IW
- PD-24-IW
- PD-27-IW
- PD-28A-IW
- PD-28C-IW
- PD-28D-IW

- PD-31-IW
- PD-42-IW
- PD-46-IW (If applicable)

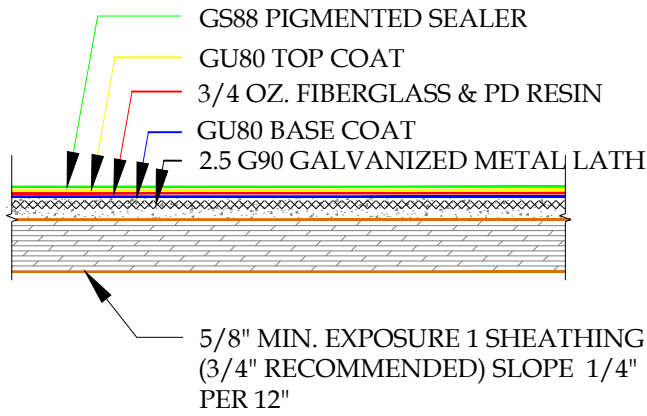
Should you have any questions or concerns, please do not hesitate to contact me.

Sincerely,

*Jimmy Holmes*

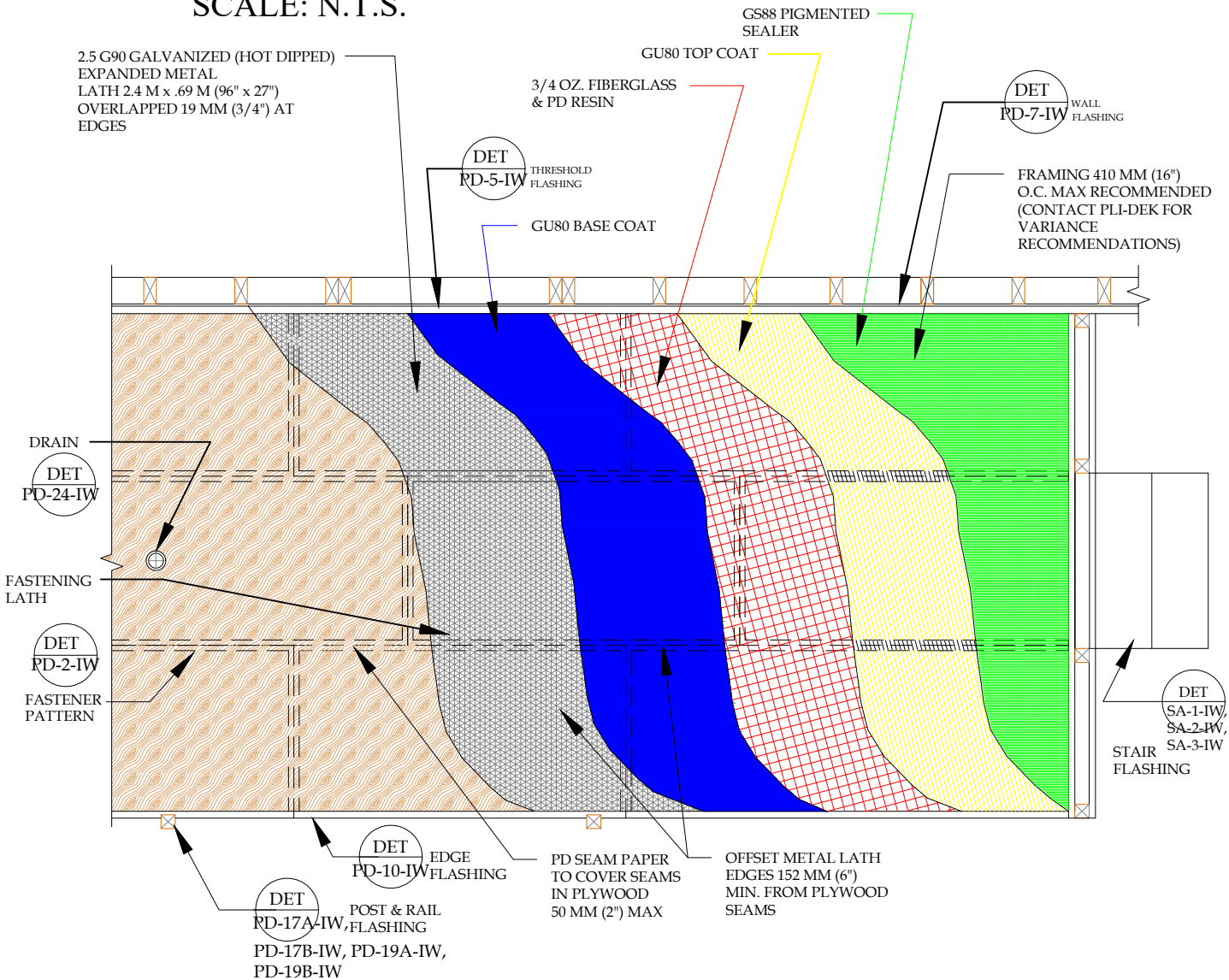
Jimmy Holmes  
Eastern Field Service Manager  
Pli-Dek & Roof Slope  
[jholmes@icpgroup.com](mailto:jholmes@icpgroup.com)  
407-902-6454

# EXHIBIT F



NOTE:  
 THE DESIGN, SPECIFICATIONS, AND CONSTRUCTION OF PLI-DEK PRODUCTS IS THE RESPONSIBILITY OF THE PROJECT DESIGN PROFESSIONAL. ALL SYSTEMS MUST COMPLY WITH LOCAL BUILDING CODES AND STANDARDS. THIS DETAIL IS FOR GENERAL INFORMATION AND GUIDANCE ONLY AND PLI-DEK SPECIFICALLY DISCLAIMS ANY LIABILITY FOR THE USE OF THIS DETAIL, AND FOR THE ARCHITECTURE, DESIGN, ENGINEERING OR WORKMANSHIP OF ANY PROJECT. THIS DETAIL IS SUBJECT TO CHANGE WITHOUT NOTICE. CONTACT PLI-DEK TO ENSURE YOU HAVE THE MOST RECENT VERSION. THIS DETAIL IS TO BE USED IN CONJUNCTION WITH CURRENT PLI-DEK SPECIFICATION & APPLICATION GUIDELINES.

**DETAIL A**  
**SCALE: N.T.S.**



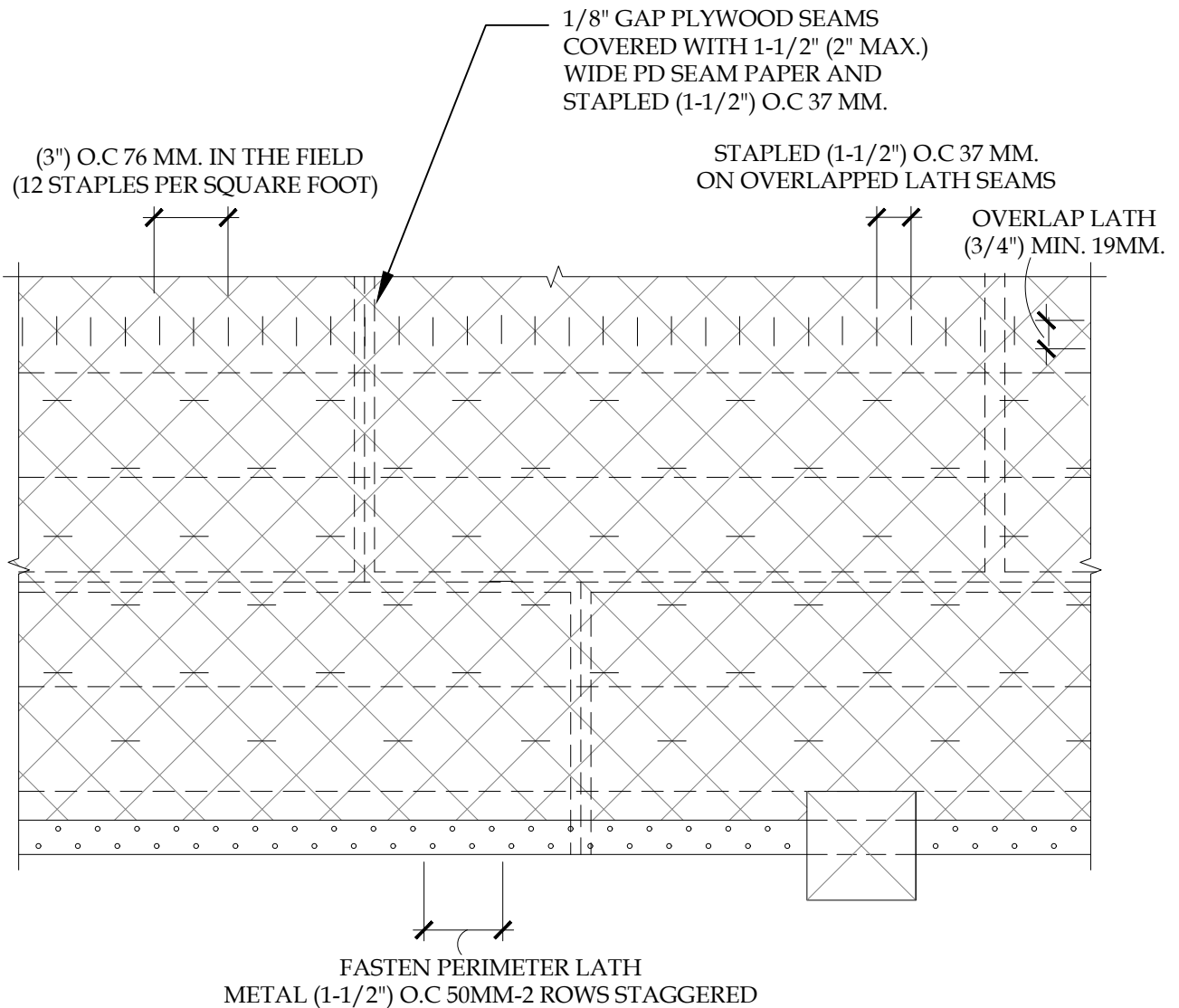
**DETAIL-PLI-DEK SYSTEM - DECK PLAN VIEW - INCLEMENT WEATHER**  
**SCALE: N.T.S.**



**PLI-DEK**  
 WATERPROOFING SOLUTIONS  
 150 Dascomb Rd., Andover, MA 01810  
 Phone: 800.364.0287 \* Fax: 951.834.9555  
 WWW.PLI-DEK.COM

These waterproofing procedures are not to be used for permit and should be reviewed by the project architect. The waterproofing procedures are not complete plans or specifications and a professional design professional should be contacted prior to performing major waterproofing and repairs.

System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		DECK PLAN VIEW INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-1-IW	
Dwn:	E.L.		



NOTE:  
WHERE LATH OVERLAPS PERIMETER FLASHING AND PD SEAM PAPER  
(PLYWOOD SEAMS) STAPLE EVERY (1-1/2") O.C 37 MM.

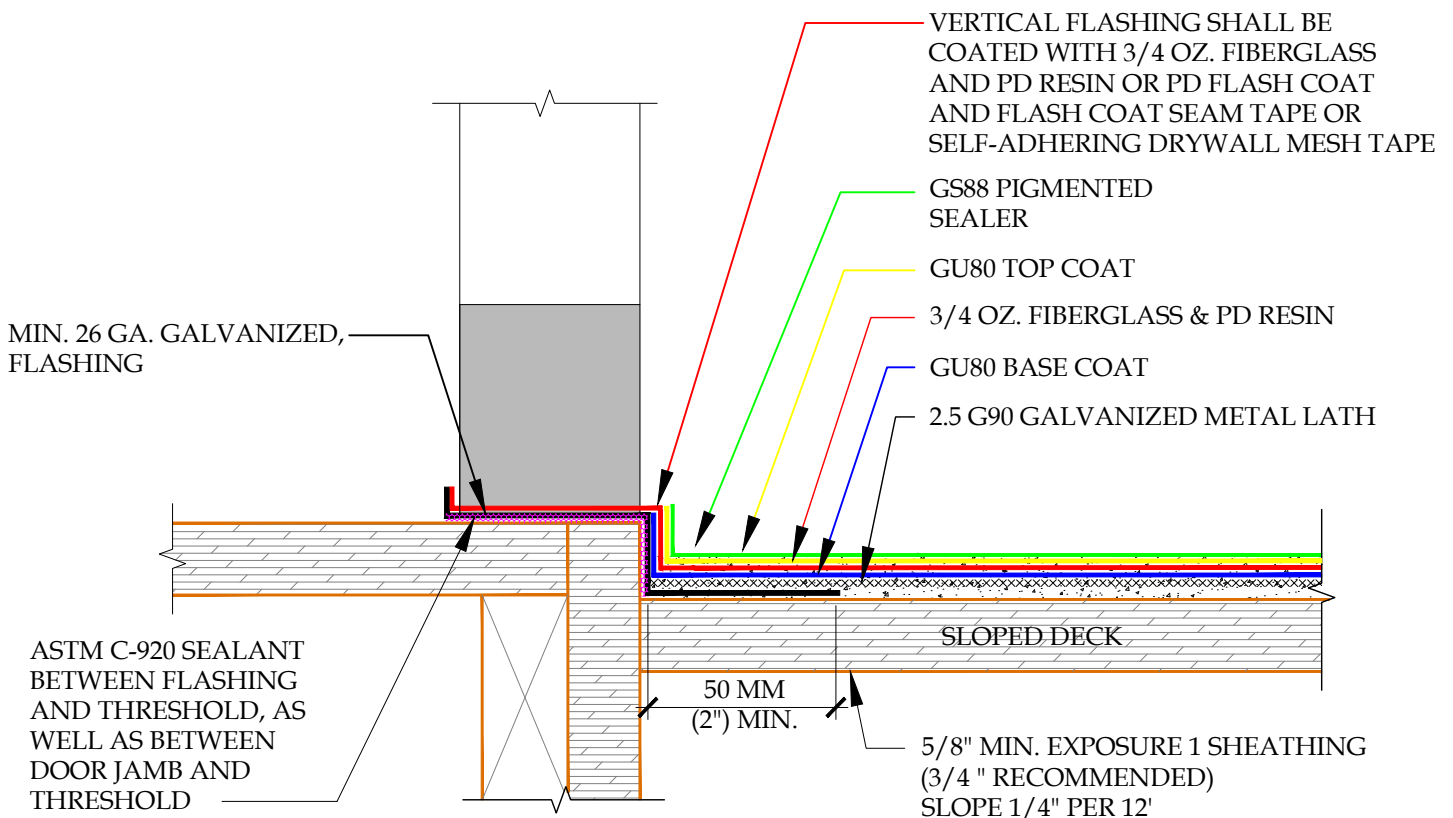
**DETAIL-FASTENER PATTERN FOR METAL LATH AND PERIMETER FLASHING**  
SCALE: N.T.S. **INCLEMENT WEATHER**



These waterproofing procedures are not to be used for permit and should be reviewed by the project architect. The waterproofing procedures are not complete plans or specifications and a professional design professional should be contacted prior to performing major waterproofing and repairs.

System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		FASTENER PATTERN FOR METAL LATH AND PERIMETER FLASHING INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-2-IW	
Dwn:	E.L.		



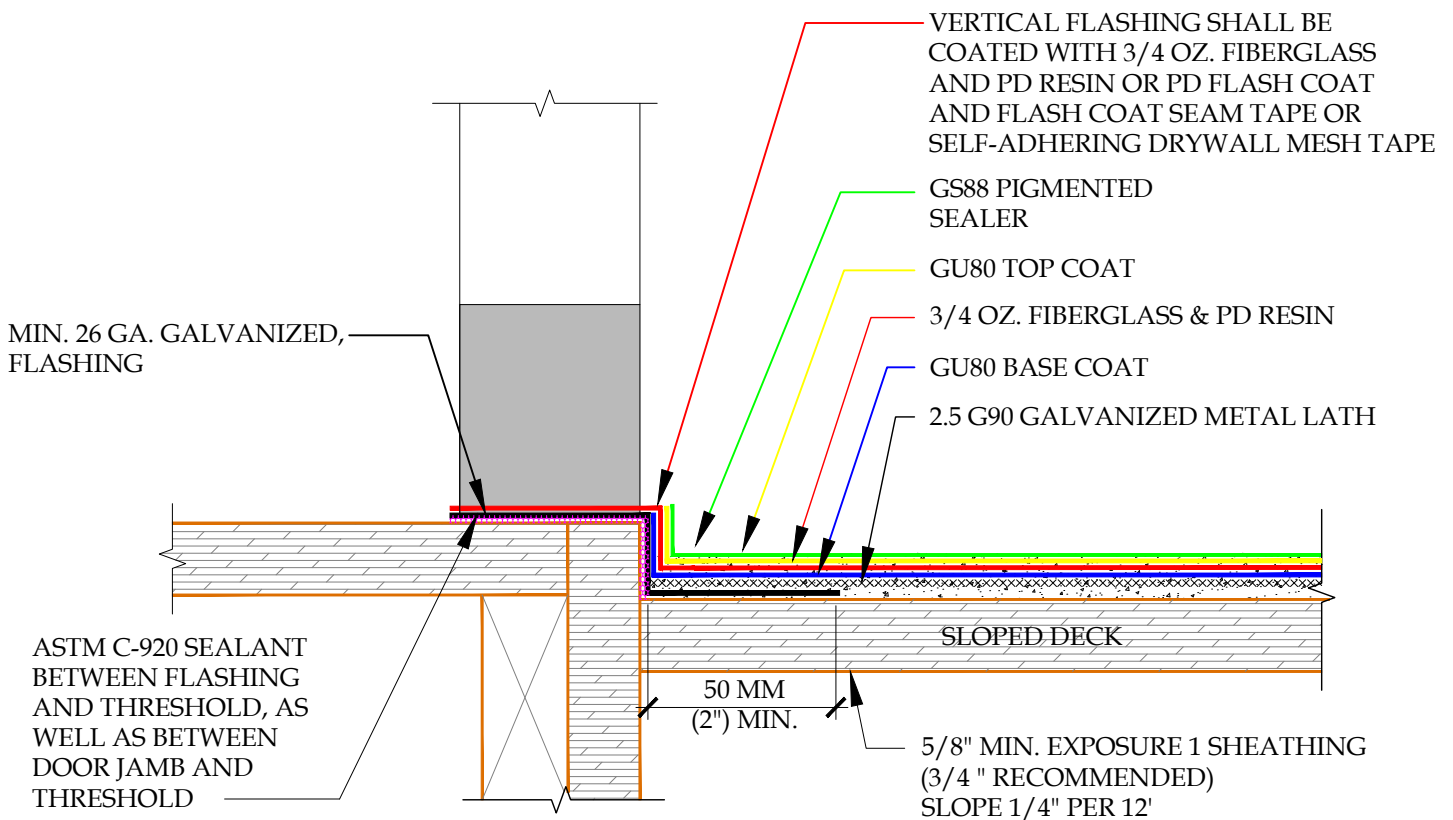


**DETAIL-DOOR PAN FLASHING-ONE PIECE-INCLEMENT WEATHER**  
**SCALE: N.T.S**



These waterproofing procedures are not to be used for permit and should be reviewed by the project architect. The waterproofing procedures are not complete plans or specifications and a professional design professional should be contacted prior to performing major waterproofing and repairs.

System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		DOOR PAN FLASHING-ONE PIECE INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-3-IW	
Dwn:	E.L.		

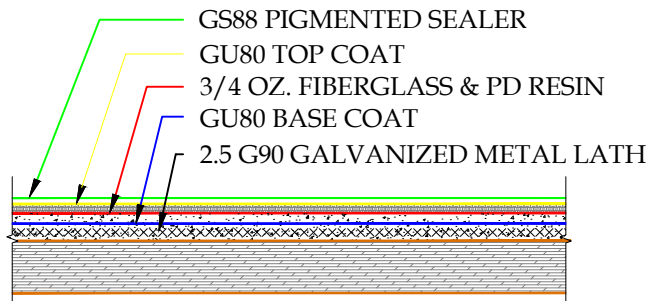


**DETAIL-DOOR PAN FLASHING-ONE PIECE-INCLEMENT WEATHER**  
**SCALE: N.T.S**



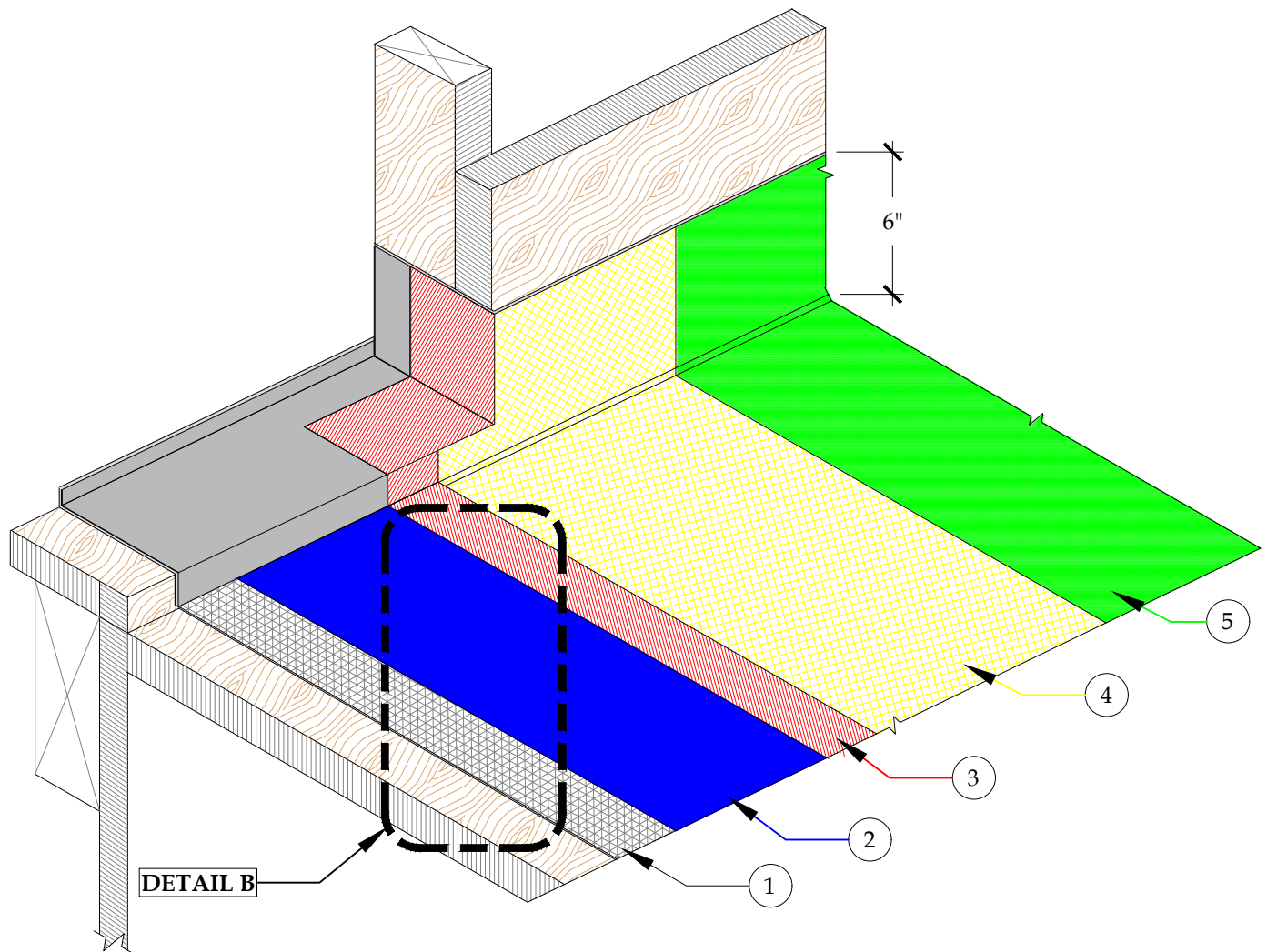
These waterproofing procedures are not to be used for permit and should be reviewed by the project architect. The waterproofing procedures are not complete plans or specifications and a professional design professional should be contacted prior to performing major waterproofing and repairs.

System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		DOOR PAN FLASHING-ONE PIECE INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-3A-IW	
Dwn:	E.L.		



1. 2.5 G90 GALVANIZED METAL LATH
2. GU80 BASE COAT
3. 3/4 OZ. FIBERGLASS & PD RESIN
4. GU80 TOP COAT
5. GS88 PIGMENTED SEALER

DETAIL B  
SCALE: N.T.S.



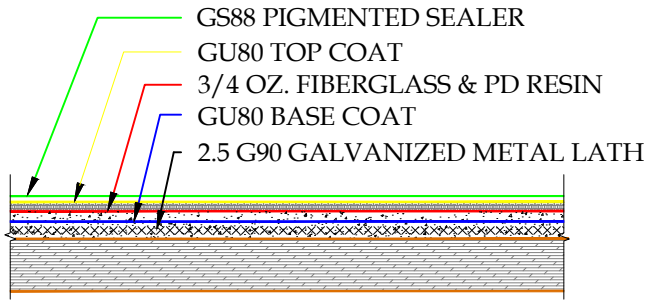
DETAIL-DOOR PAN FLASHING-ONE PIECE-ISOMETRIC-INCLEMENT WEATHER  
SCALE: N.T.S.



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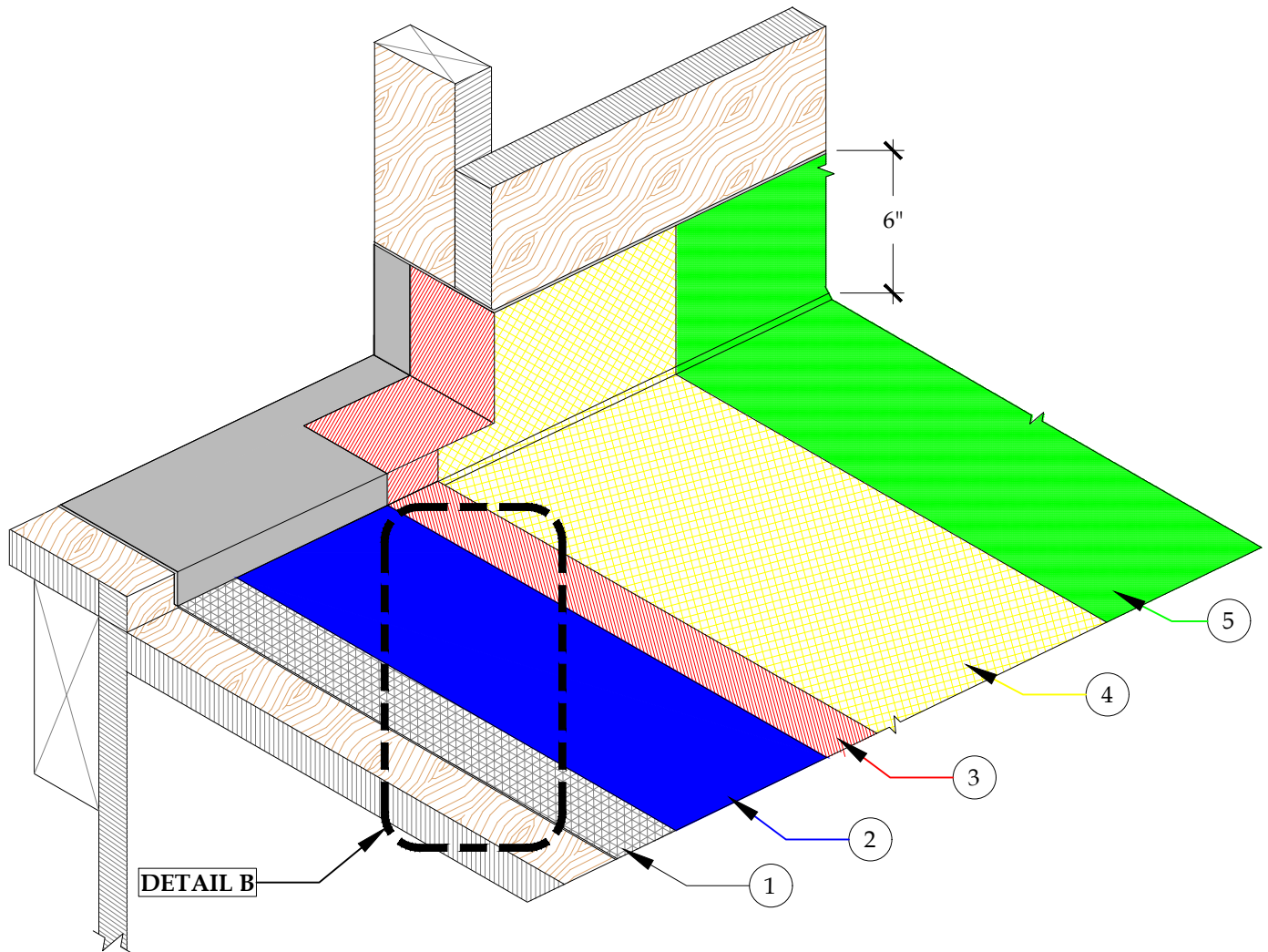
These waterproofing procedures are not to be used for permit and should be reviewed by the project architect. The waterproofing procedures are not complete plans or specifications and a professional design professional should be contacted prior to performing major waterproofing and repairs.

System: Pli-Dek System ICC-ES ESR-2097		Drawing Number: <b>PD-4-IW</b>
Detail: DOOR PAN FLASHING-ONE PIECE-ISOMETRIC INCLEMENT WEATHER		
Job:		
Date:	10/21/2020	
Dwn:	E.L.	



1. 2.5 G90 GALVANIZED METAL LATH
2. GU80 BASE COAT
3. 3/4 OZ. FIBERGLASS & PD RESIN
4. GU80 TOP COAT
5. GS88 PIGMENTED SEALER

DETAIL B  
SCALE: N.T.S.

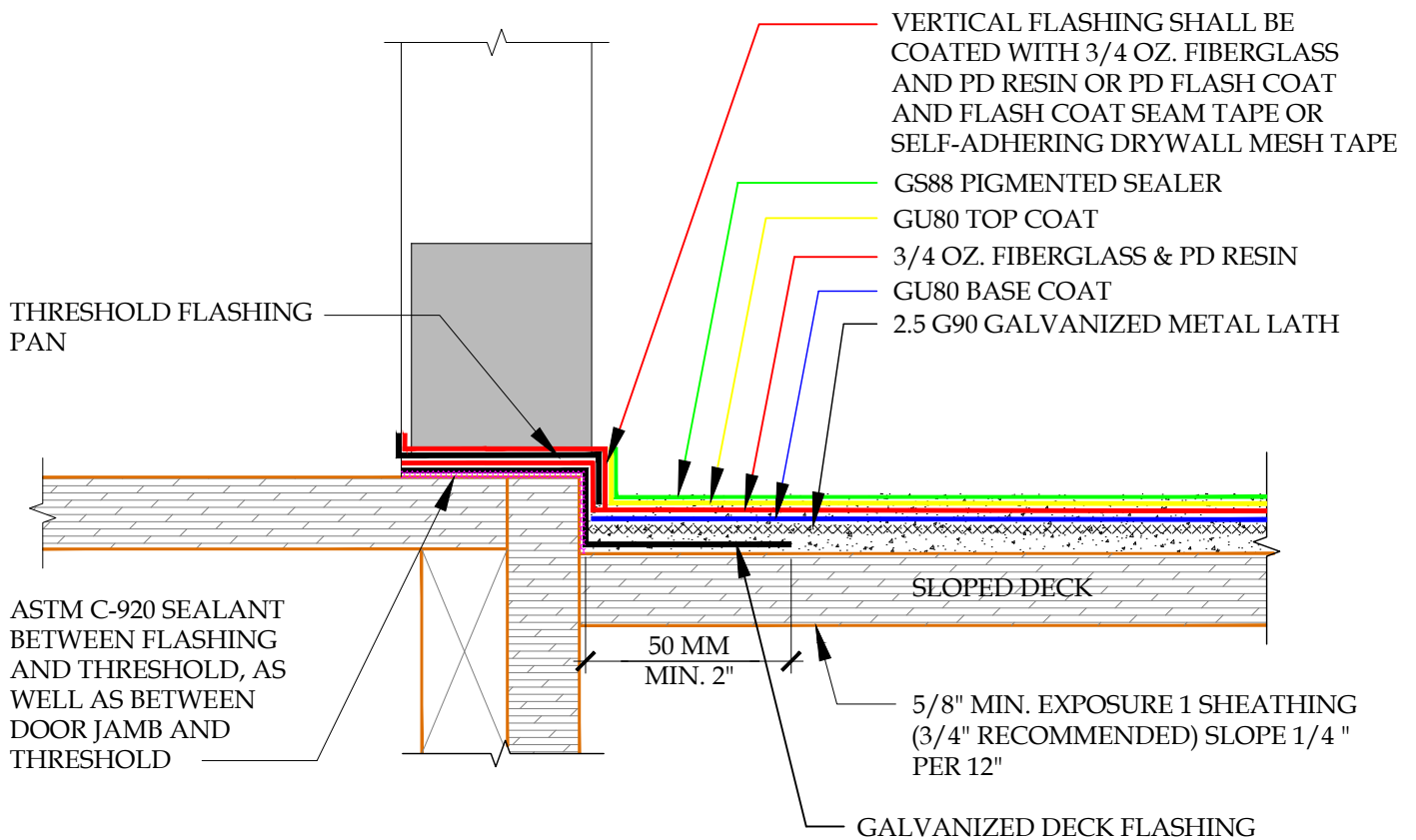


DETAIL-DOOR PAN FLASHING-ONE PIECE-ISOMETRIC-INCLEMENT WEATHER  
SCALE: N.T.S.



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System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		DOOR PAN FLASHING-ONE PIECE-ISOMETRIC INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-4A-IW	
Dwn:	E.L.		

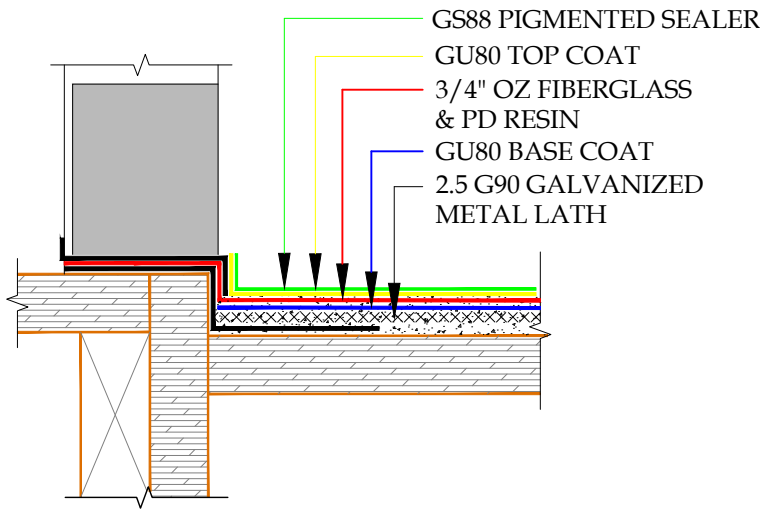


DETAIL-THRESHOLD FLASHING-TWO PIECE DOOR PAN FLASHING - INCLEMENT WEATHER  
SCALE: N.T.S.



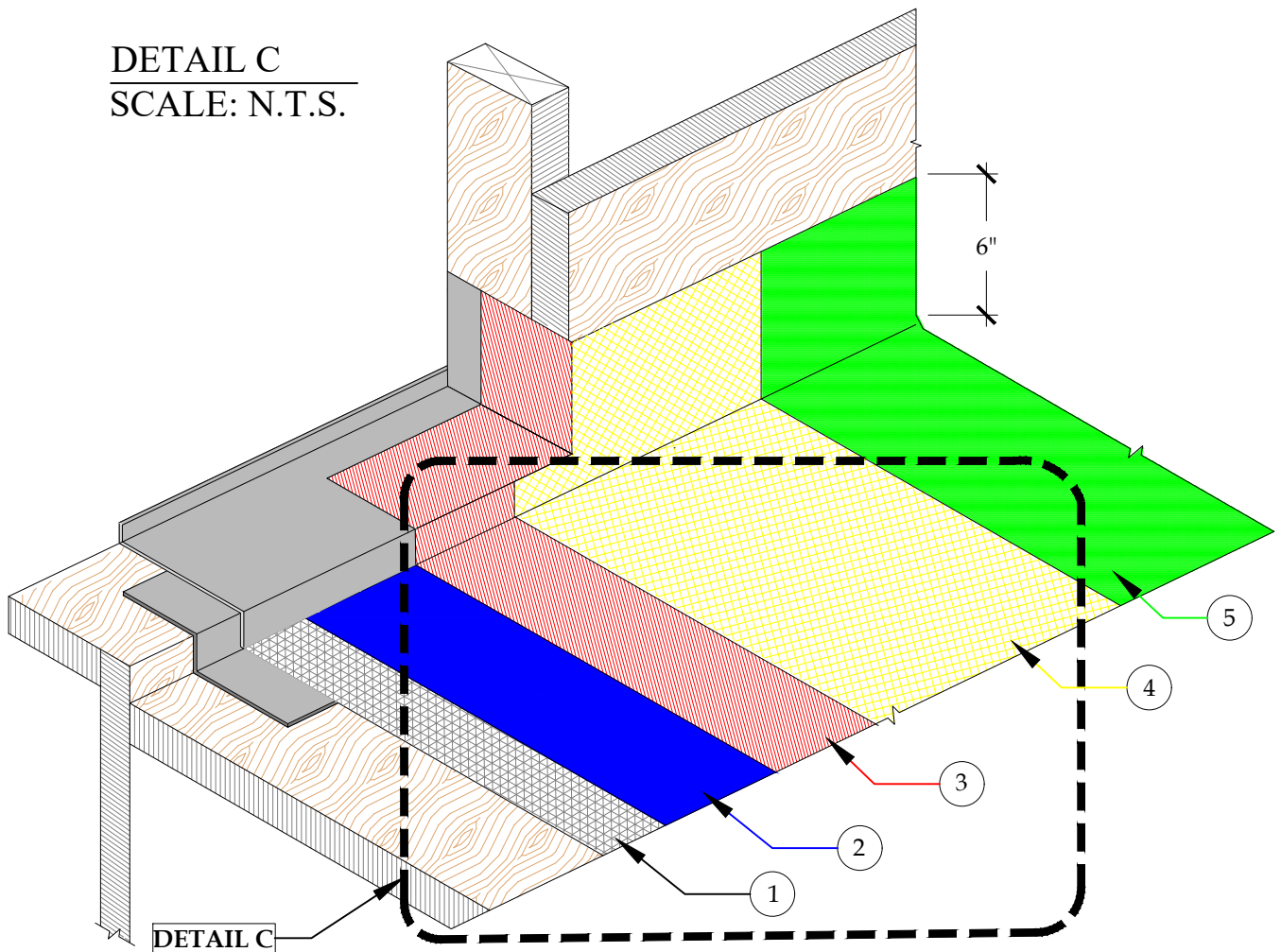
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System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		THRESHOLD FLASHING- TWO PIECE DOOR PAN FLASHING INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-5-IW	
Dwn:	E.L.		



1. 2.5 G90 GALVANIZED METAL LATH
2. GU80 BASE COAT
3. VERTICAL FLASHING SHALL BE COATED WITH 3/4 OZ. FIBERGLASS AND PD RESIN OR PD FLASHCOAT AND FLASHCOAT SEAM TAPE OR SELF-ADHERING MESH TAPE
4. GU80 TOP COAT
5. GS88 PIGMENTED SEALER

**DETAIL C**  
SCALE: N.T.S.



**DETAIL-THRESHOLD FLASHING-TWO PIECE DOOR PAN FLASHING**  
**ISOMETRIC-INCLEMENT WEATHER**

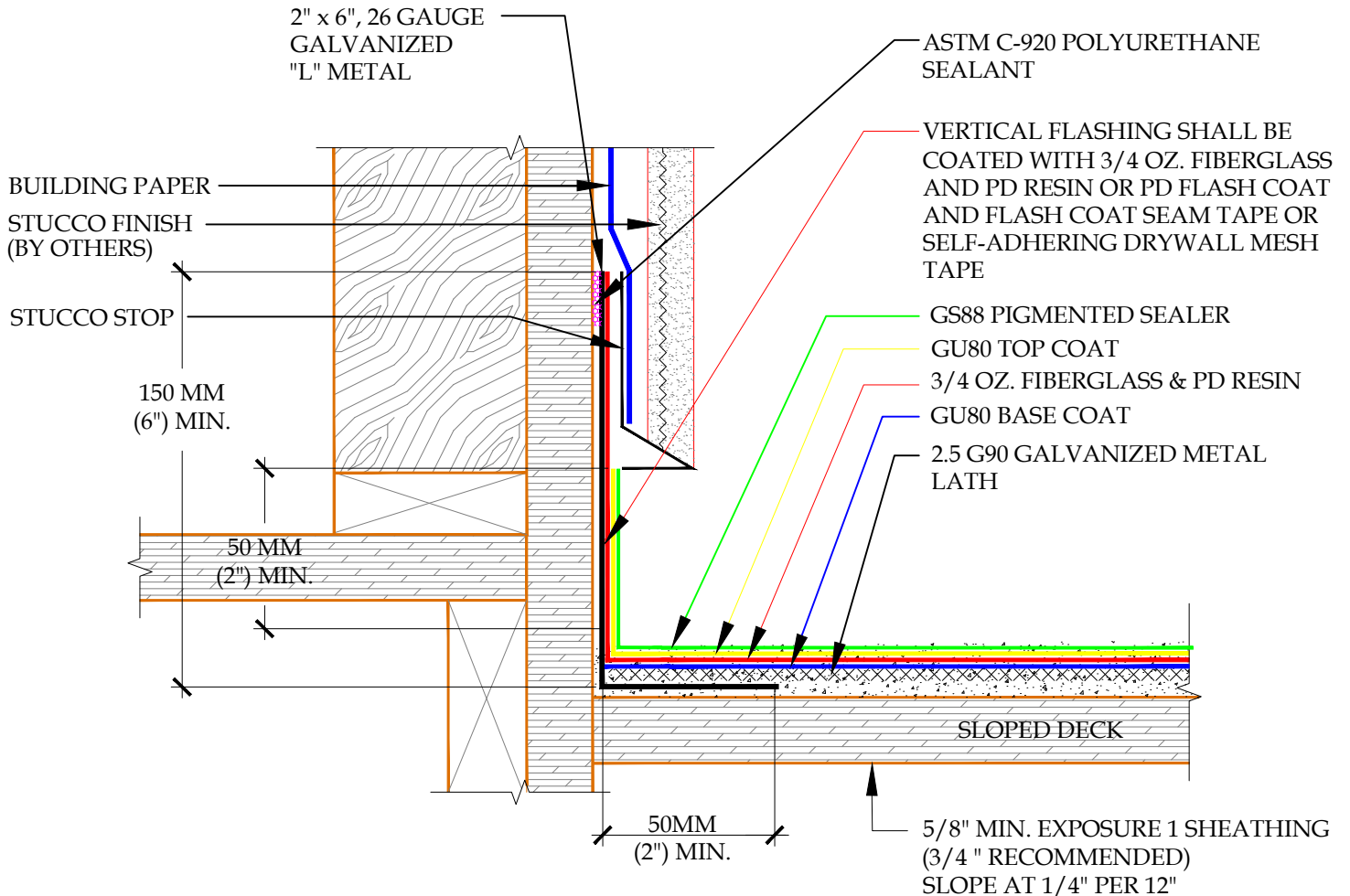
SCALE: N.T.S.



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System:		Pli-Dek System ICC-ES ESR-2097
Detail:		THRESHOLD FLASHING- TWO PIECE DOOR PAN FLASHING - ISOMETRIC INCLEMENT WEATHER
Job:		Drawing Number:
Date:	10/21/2020	PD-6-IW
Dwn:	E.L.	



**DETAIL-DECK TO WALL FLASHING-STUCCO OR EIFS - INCLEMENT WEATHER**  
 SCALE: N.T.S.



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System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		DECK TO WALL FLASHING- STUCCO OR EIFS INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-7-IW	
Dwn:	E.L.		

2"x 6", 26 GAUGE  
GALVANIZED  
"L" METAL

BUILDING PAPER  
SIDING  
(BY OTHERS)

150 MM  
(6") MIN.

50 MM  
(2") MIN.

ASTM C-920 POLYURETHANE  
SEALANT

VERTICAL FLASHING SHALL BE  
COATED WITH 3/4 OZ. FIBERGLASS  
AND PD RESIN OR PD FLASH COAT  
AND FLASH COAT SEAM TAPE OR  
SELF-ADHERING DRYWALL MESH  
TAPE

GS88 PIGMENTED SEALER

GU80 TOP COAT

3/4 OZ. FIBERGLASS & PD RESIN

GU80 BASE COAT

2.5 G90 GALVANIZED METAL  
LATH

SLOPED DECK

50MM  
(2") MIN.

5/8" MIN. EXPOSURE 1 SHEATHING  
(3/4 " RECOMMENDED)  
SLOPE 1/4" PER 12"

**DETAIL-DECK TO WALL FLASHING-SIDING-INCLEMENT WEATHER**  
SCALE: N.T.S.

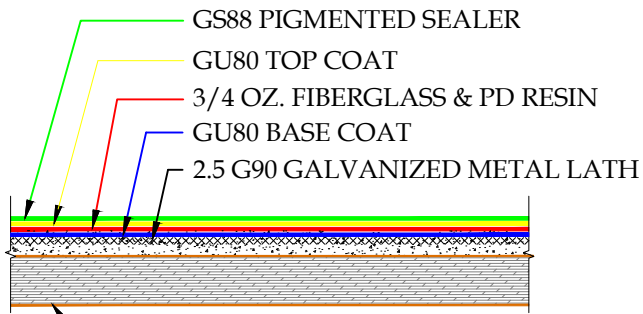


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System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		DECK TO WALL FLASHING-SIDING INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-8-IW	
Dwn:	E.L.		

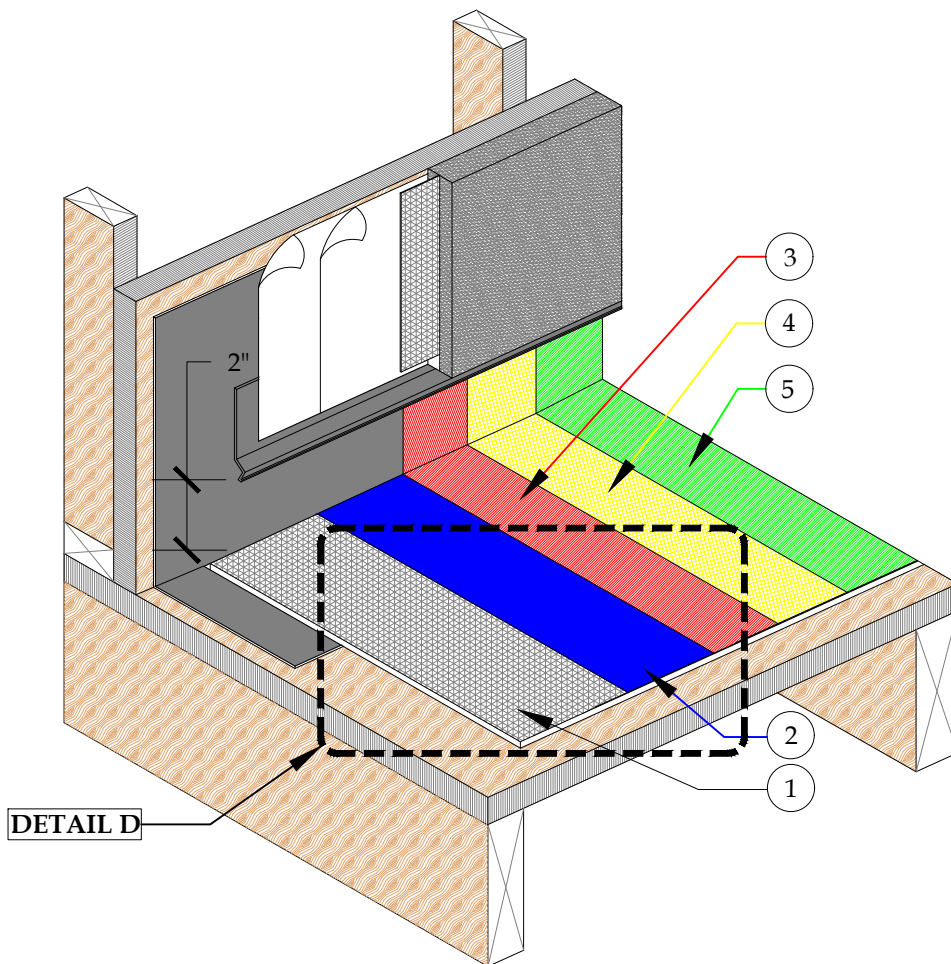




5/8" MIN. EXPOSURE 1 SHEATHING  
(3/4" RECOMMENDED) SLOPE 1/4" PER 12"

1. 2.5 G90 GALVANIZED METAL LATH
2. GU80 BASE COAT
3. VERTICAL FLASHING SHALL BE COATED WITH 3/4 OZ. FIBERGLASS AND PD RESIN OR PD FLASHCOAT AND FLASHCOAT SEAM TAPE OR SELF-ADHERING MESH TAPE
4. GU80 TOP COAT
5. GS88 PIGMENTED SEALER

**DETAIL D**  
**SCALE: N.T.S.**



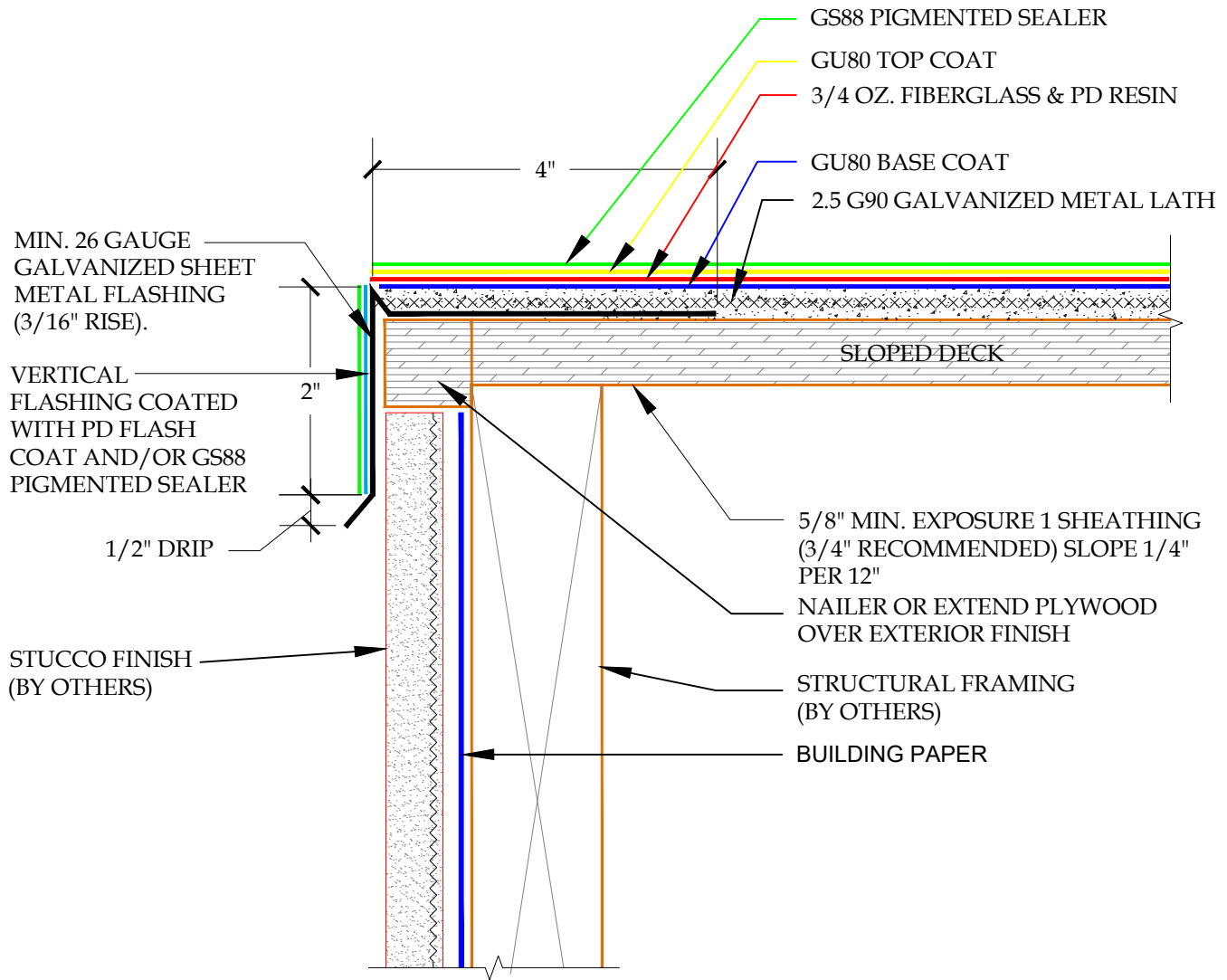
**DETAIL-DECK TO WALL FLASHING DETAIL-INCLEMENT WEATHER**  
**SCALE: N.T.S.**



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System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		DECK TO WALL FLASHING DETAIL ON PLYWOOD DECK INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-9-IW	
Dwn:	E.L.		



**DETAIL-EDGE METAL FLASHING OVER STUCCO FASCIA-INCLEMENT WEATHER**

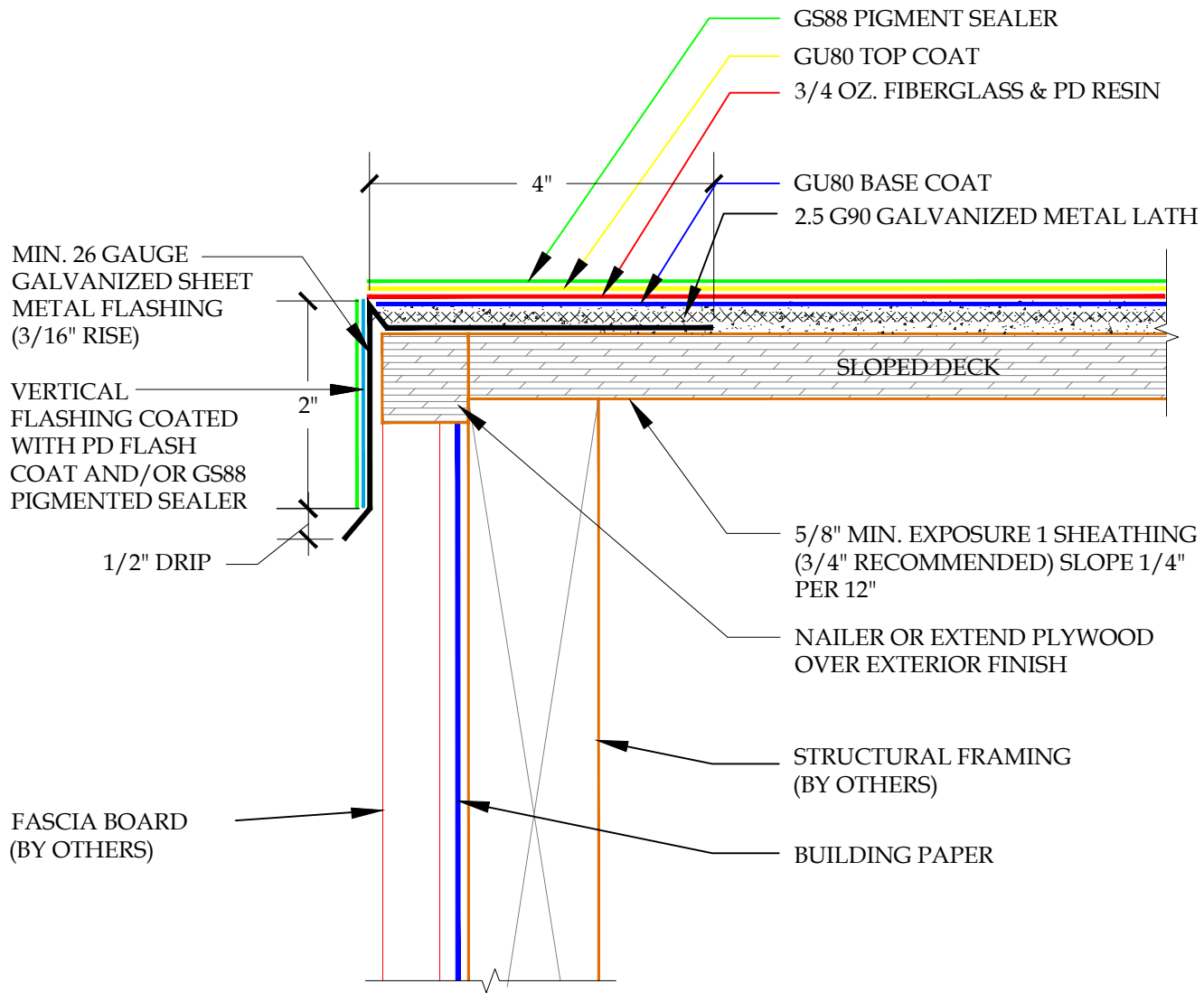
SCALE: N.T.S.



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System: Pli-Dek System ICC-ES ESR-2097		Drawing Number: <b>PD-10-IW</b>
Detail: EDGE METAL FLASHING OVER STUCCO FASCIA INCLEMENT WEATHER		
Job:		
Date:	10/21/2020	
Dwn:	E.L.	



**DETAIL-EDGE METAL FLASHING OVER FASCIA-INCREMENT WEATHER**

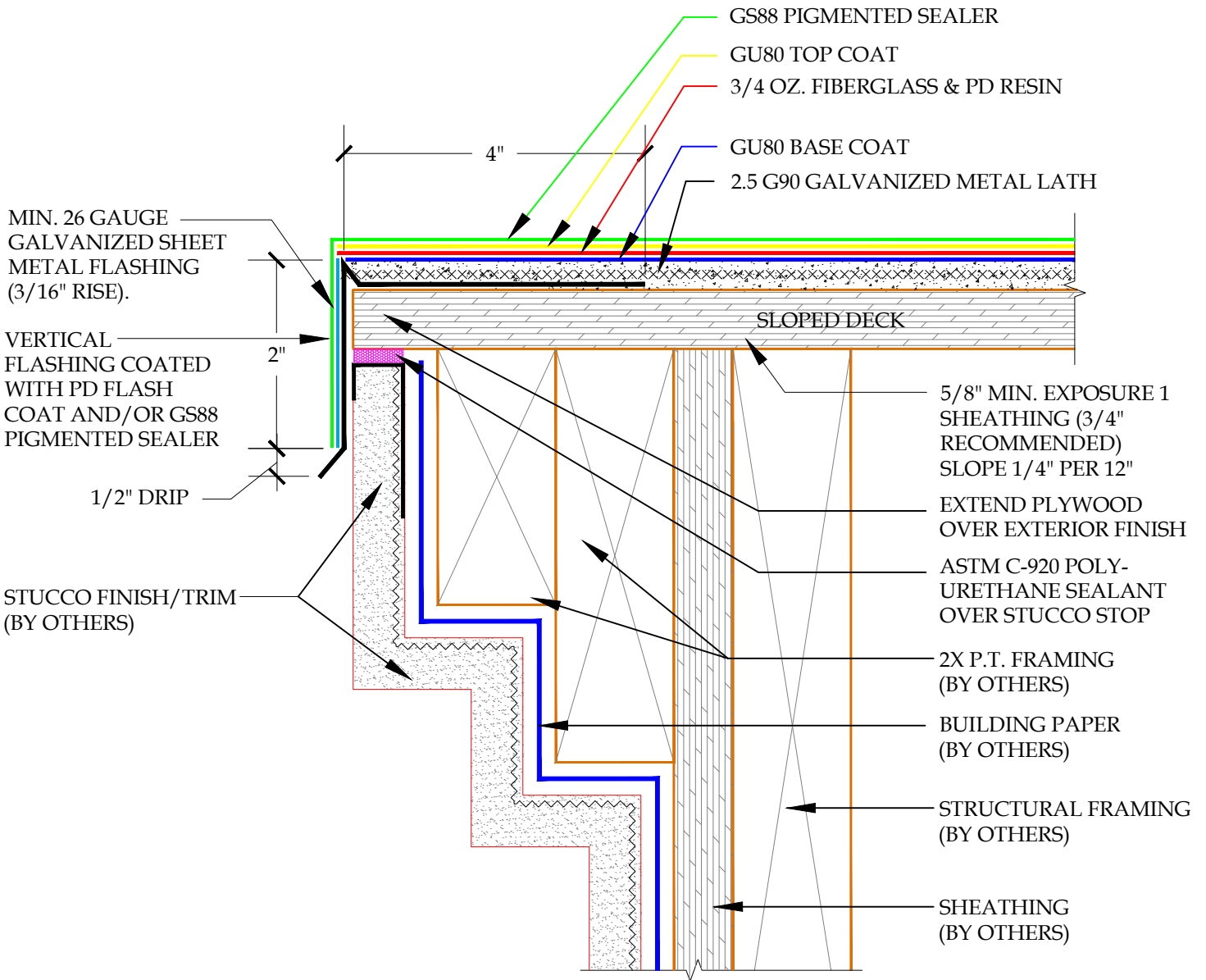
SCALE: N.T.S.



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System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		EDGE METAL FLASHING OVER FASCIA INCREMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-10A-IW	
Dwn:	E.L.		



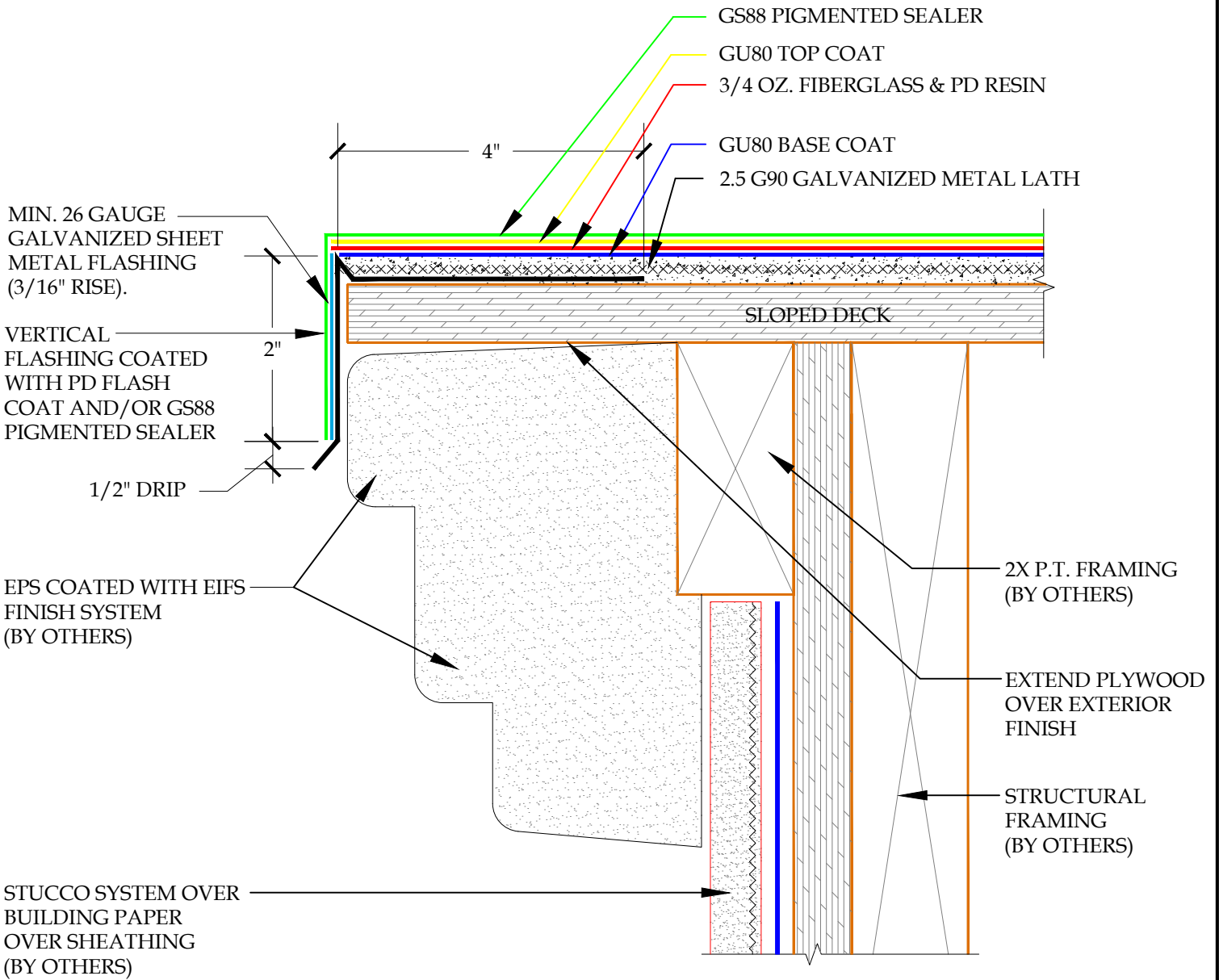
**DETAIL-EDGE METAL FLASHING OVER STUCCO TRIM BAND - INCLEMENT WEATHER**

SCALE: N.T.S.



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System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		EDGE METAL FLASHING OVER STUCCO TRIM BAND INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-10B-IW	
Dwn:	E.L.		



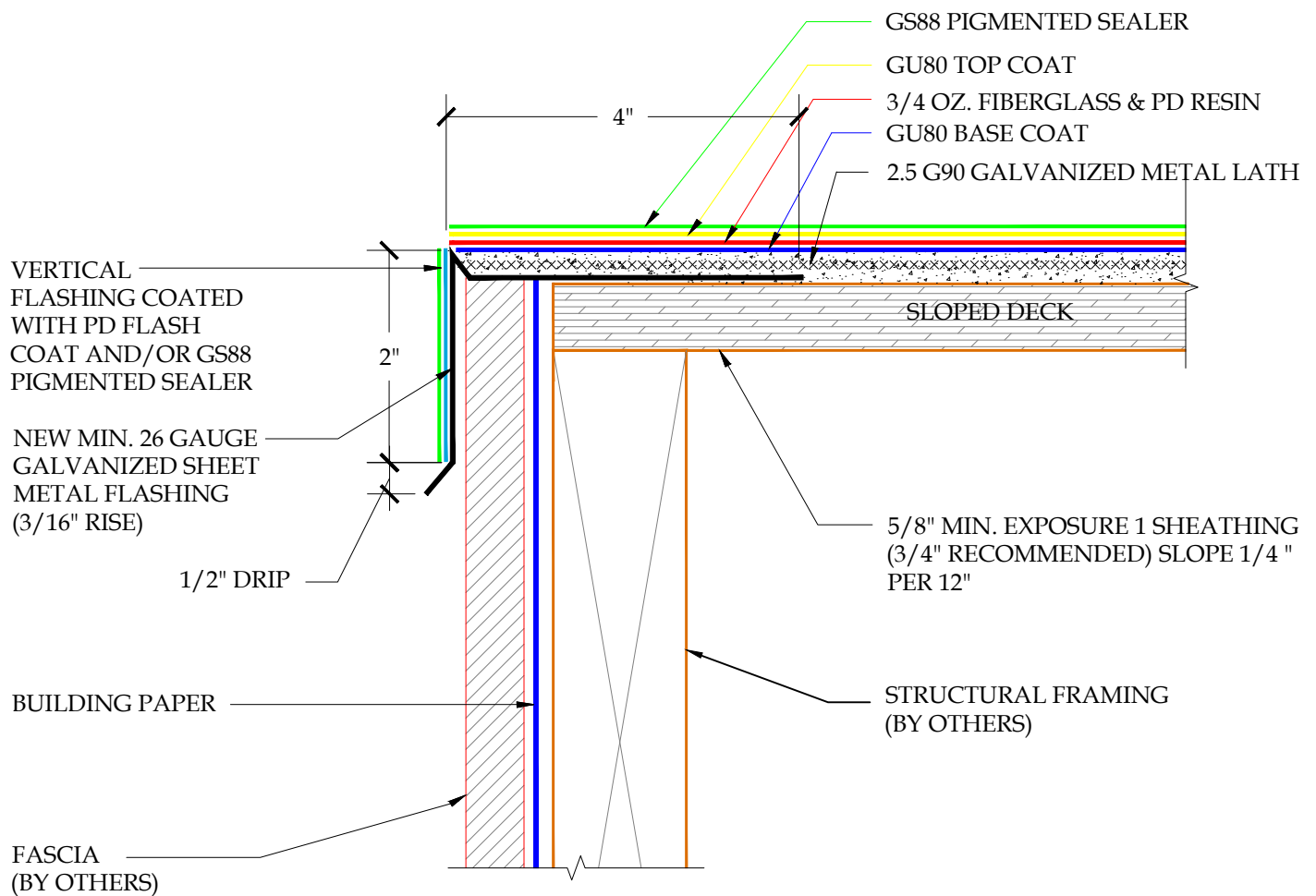
DETAIL-EDGE METAL FLASHING OVER EIFS TRIM BAND - INCLEMENT WEATHER

SCALE: N.T.S.



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System:	Pli-Dek System ICC-ES ESR-2097	
Detail:	EDGE METAL FLASHING OVER EIFS TRIM BAND INCLEMENT WEATHER	
Job:		Drawing Number:
Date:	10/21/2020	PD-10C-IW
Dwn:	E.L.	



**DETAIL-EDGE METAL WOOD FASCIA-INCLEMENT WEATHER**  
**SCALE: N.T.S.**

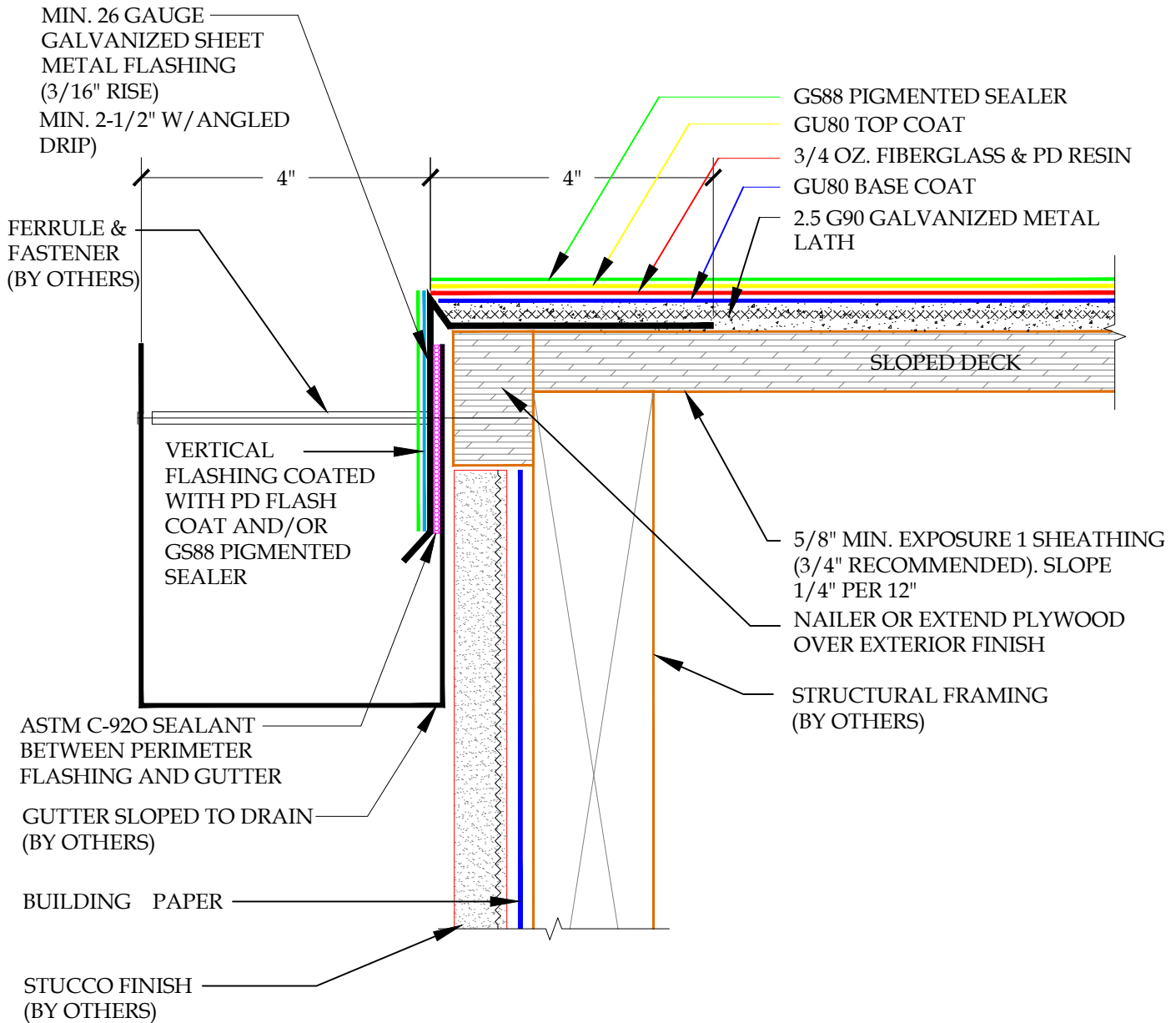


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System: Pli-Dek System  
 ICC-ES ESR-2097  
 Detail: EDGE METAL WOOD FASCIA  
 INCLEMENT WEATHER

Job: \_\_\_\_\_  
 Date: 10/21/2020  
 Dwn: E.L.

Drawing Number:  
**PD-11-IW**



## DETAIL-EDGE METAL TO GUTTER-INCLEMENT WEATHER

SCALE: N.T.S



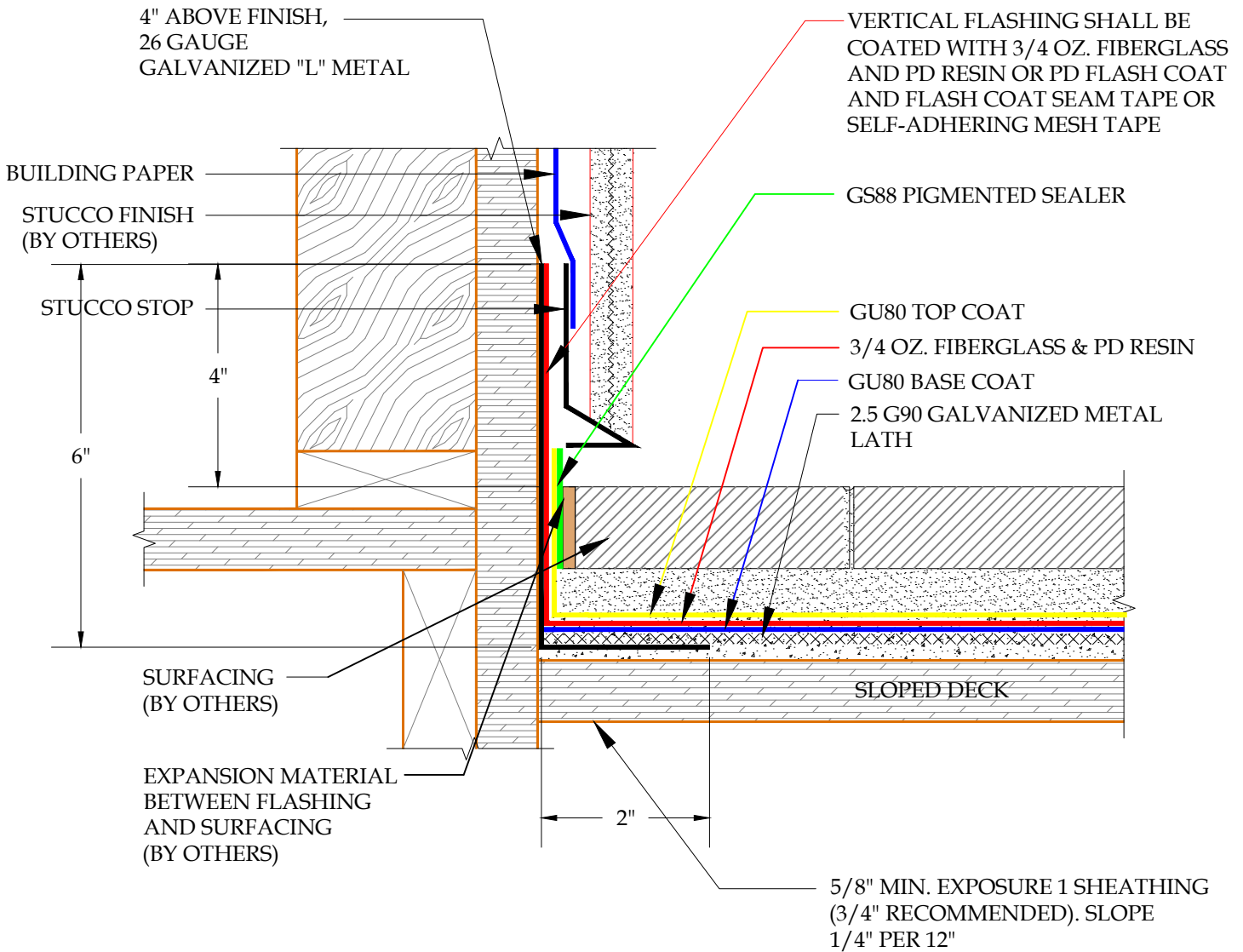
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System: Pli-Dek System  
ICC-ES ESR-2097  
Detail: EDGE METAL TO GUTTER  
INCLEMENT WEATHER

Job: \_\_\_\_\_  
Date: 10/21/2020  
Dwn: E.L.

Drawing Number:  
**PD-12-IW**



DETAIL-PLI-DEK "U" SYSTEM-DECK TO WALL FLASHING DETAIL-SURFACING OR CONCRETE OVERLAY - INCLEMENT WEATHER

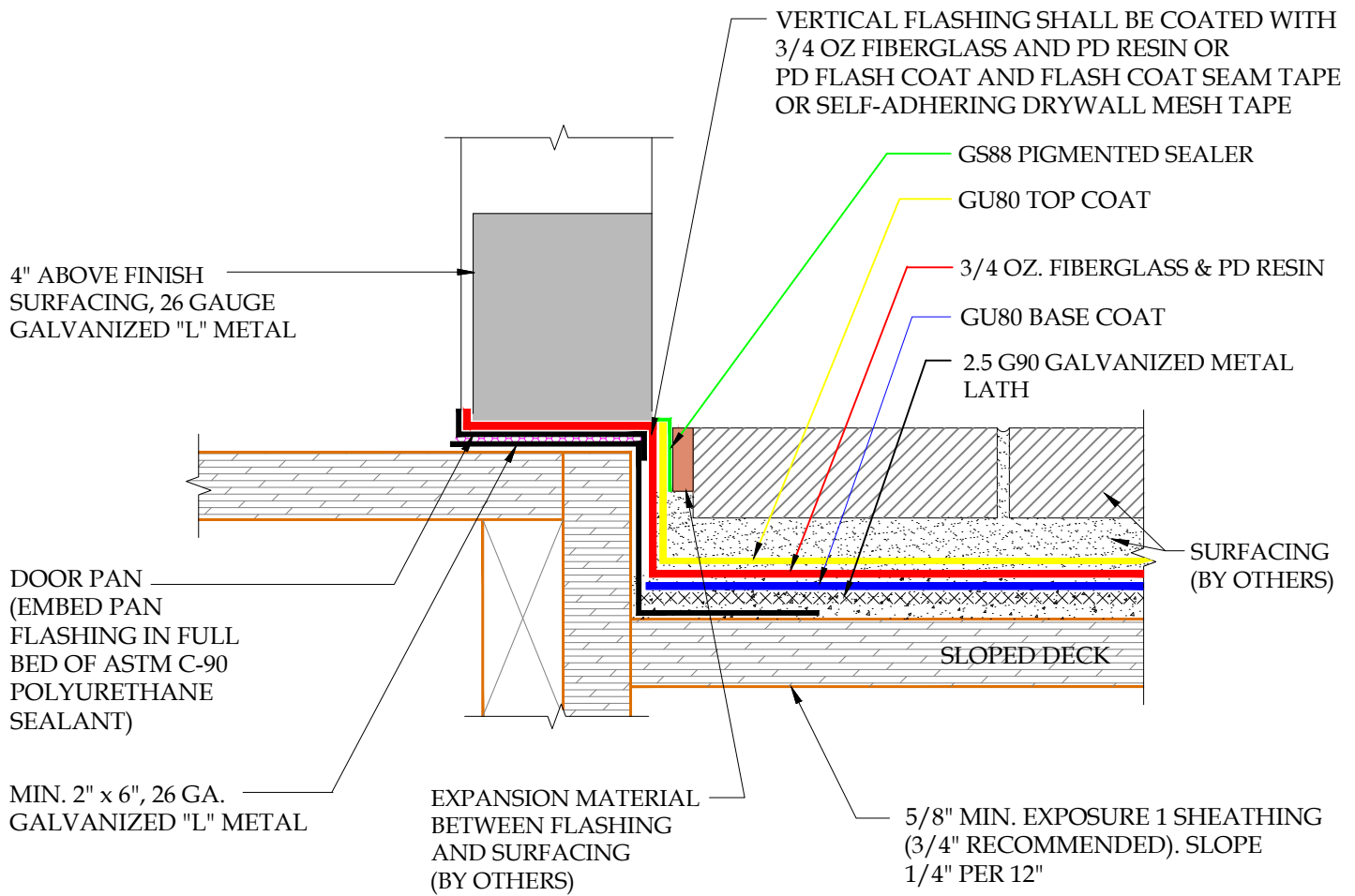
SCALE: N.T.S



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System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		DECK TO WALL FLASHING DETAIL- SURFACE OR CONCRETE OVERLAY INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-13-IW	
Dwn:	E.L.		



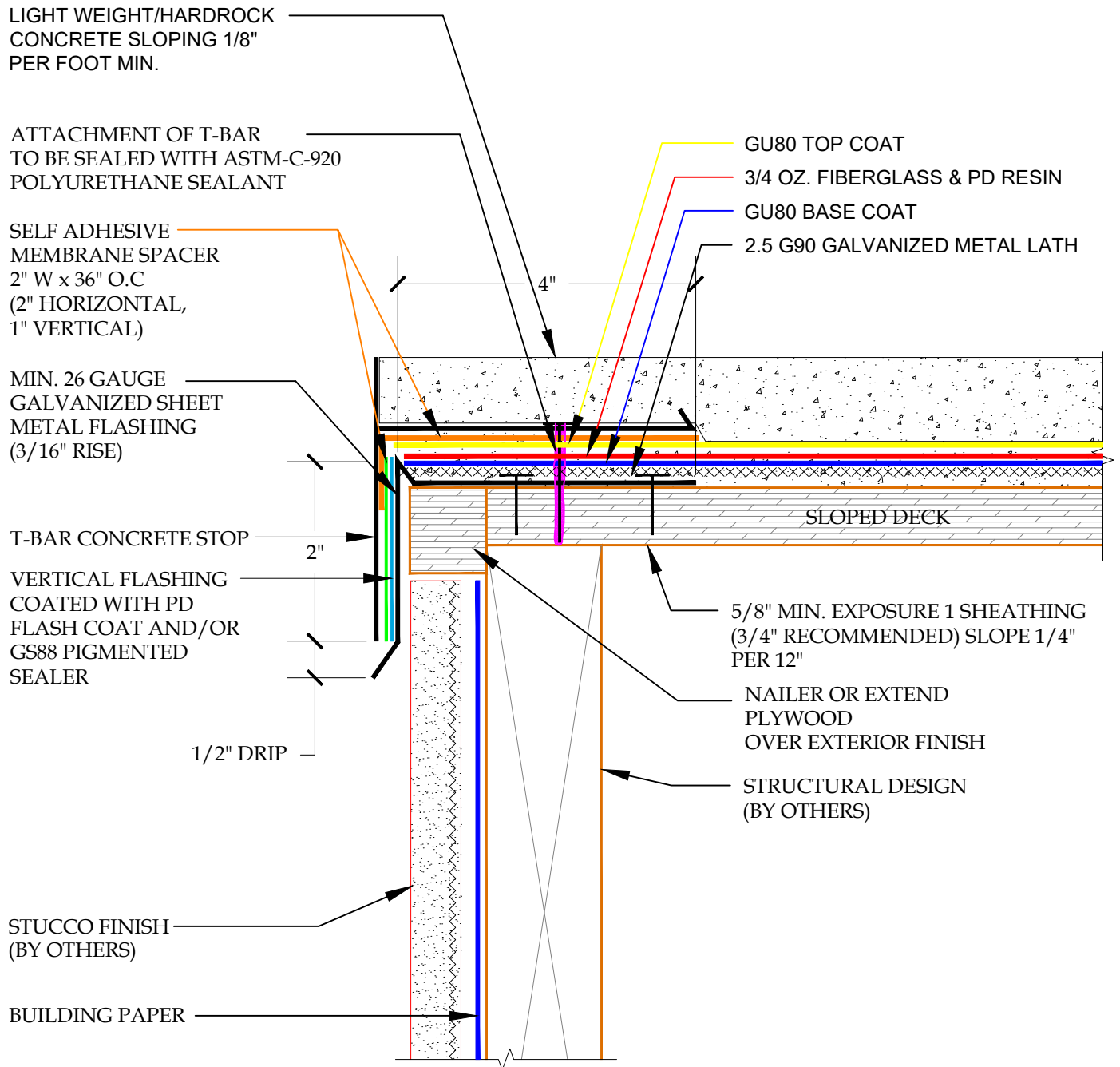


**DETAIL-PLI-DEK "U" SYSTEM-THRESHOLD FLASHING DETAIL-  
SURFACING OR CONCRETE OVERLAY-INCLEMENT WEATHER**  
SCALE: N.T.S.



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System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		THRESHOLD FLASHING DETAIL- SURFACING OR CONCRETE OVERLAY INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-14-IW	
Dwn:	E.L.		



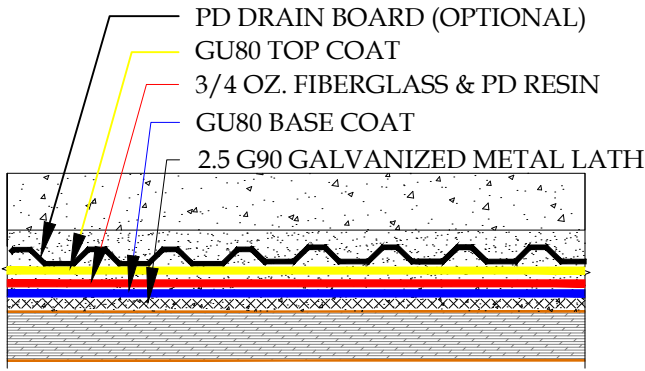
## DETAIL- T-BAR METAL DETAIL-INCLEMENT WEATHER

SCALE: N.T.S



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System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		T-BAR METAL DETAIL INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-15-IW	
Dwn:	E.L.		

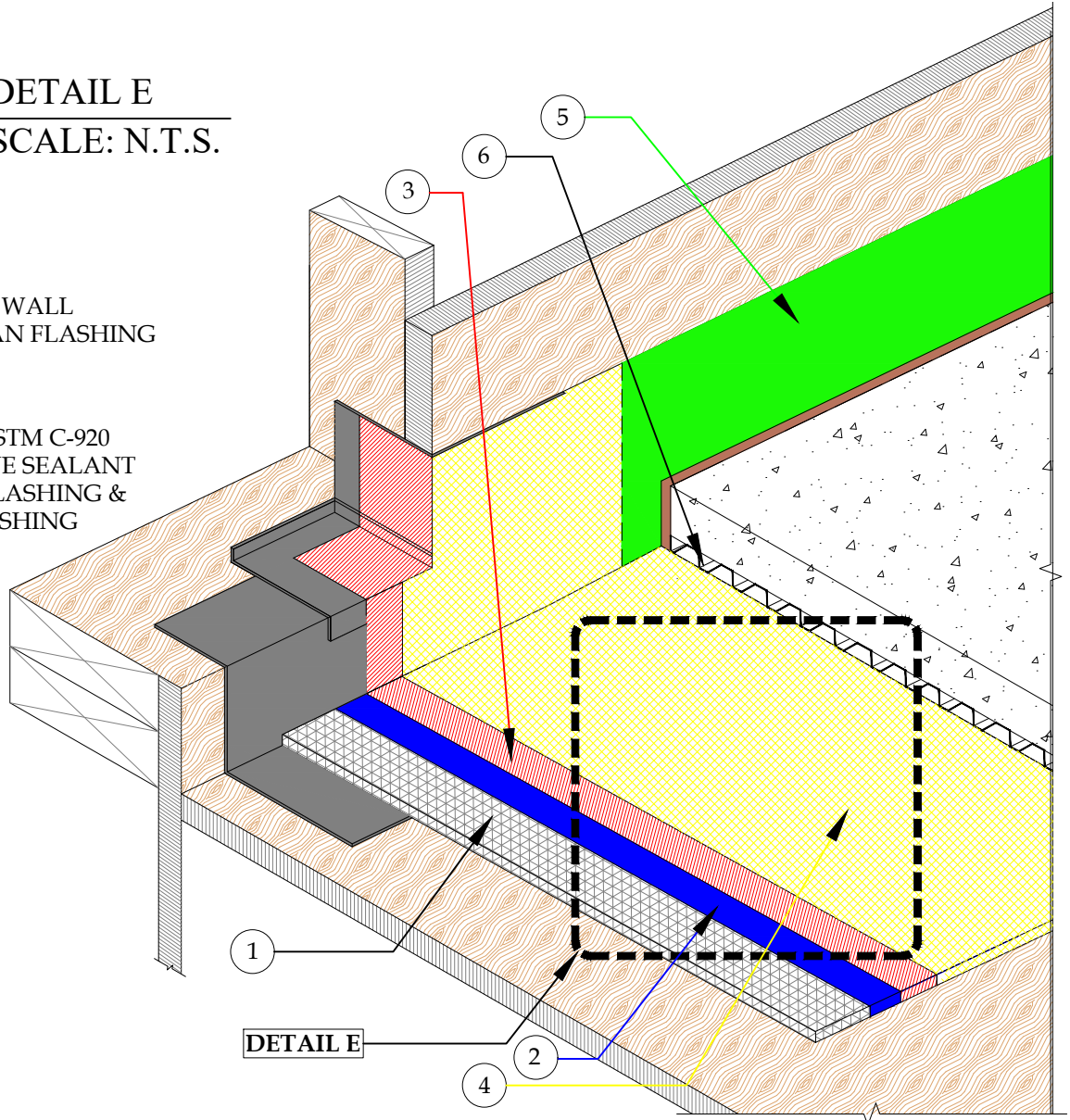


1. 2.5 G90 GALVANIZED METAL LATH
2. GU80 BASE COAT
3. VERTICAL FLASHING SHALL BE COATED WITH 3/4 OZ. FIBERGLASS AND PD RESIN OR PD FLASH COAT AND FLASH COAT SEAM TAPE OR SELF-ADHERING MESH TAPE
4. GU80 TOP COAT
5. GS88 PIGMENTED SEALER
6. PD DRAIN BOARD (OPTIONAL)

**DETAIL E**  
SCALE: N.T.S.

NOTE:  
4" OVERLAP "L" WALL FLASHING & PAN FLASHING

NOTE:  
FULL BED OF ASTM C-920 POLYURETHANE SEALANT BETWEEN "L" FLASHING & DOOR PAN FLASHING



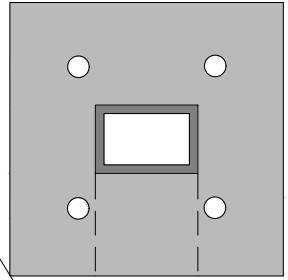
**DETAIL-PLI-DEK "U" SYSTEM - MASONRY OR CONCRETE OVERLAY - INCLEMENT WEATHER**  
SCALE: N.T.S.



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System:	Pli-Dek System ICC-ES ESR-2097	
Detail:	MASONRY OR CONCRETE OVERLAY INCLEMENT WEATHER	
Job:		Drawing Number:
Date:	10/21/2020	PD-16-IW
Dwn:	E.L.	

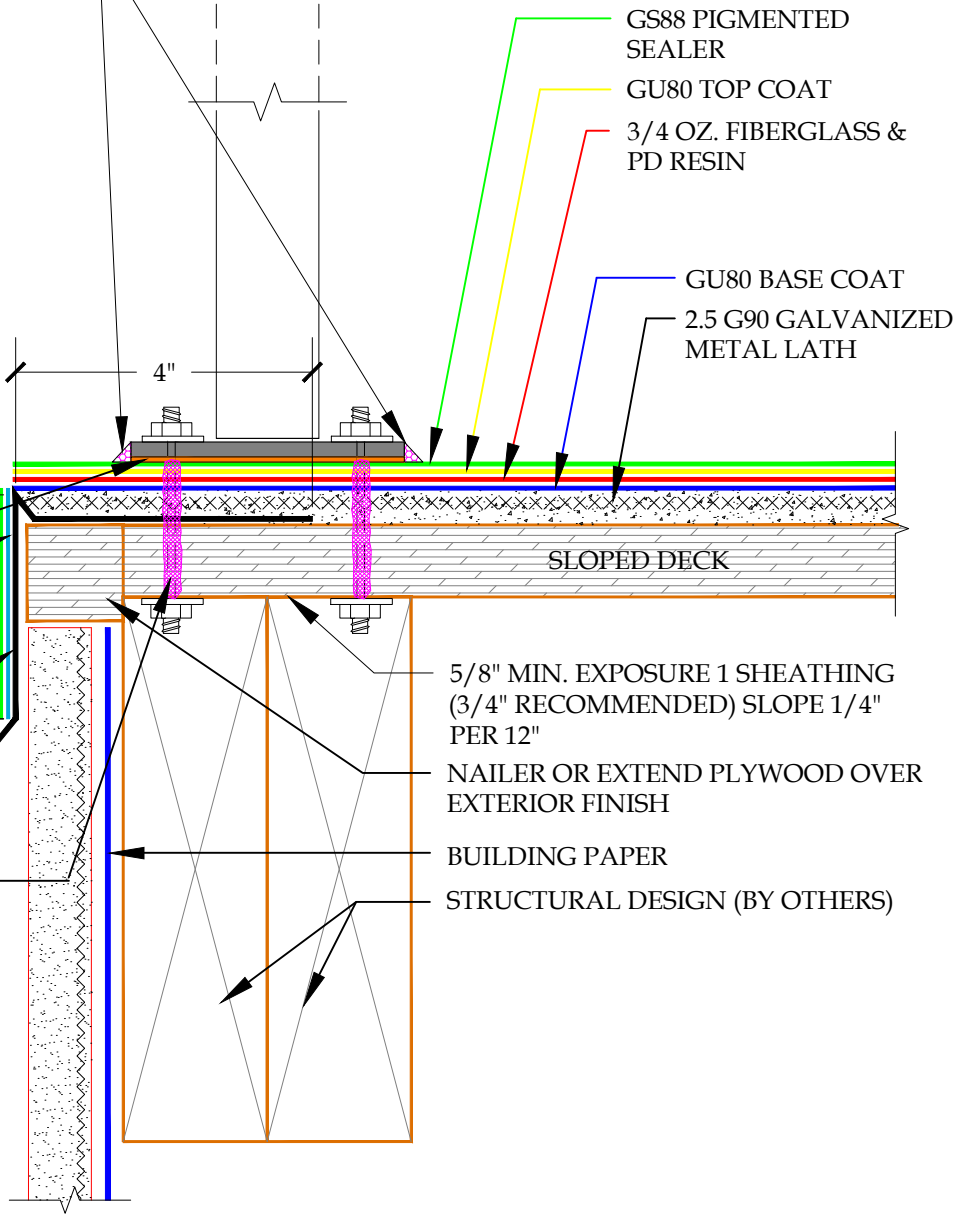


PLAN VIEW

APPLY ASTM C-920 POLYURETHANE SEALANT TO THE INSIDE AND OUTSIDE OF THE FASTENER/PENETRATIONS AS WELL AS UNDER THE BASE PLATE AND AROUND THE PERIMETER OF THE BASE PLATE. SEALANT WILL NEED TO BE MAINTAINED YEARLY. NOTE: LAG BOLT INSTALLATION, DRILL PILOT HOLES FOR LAG BOLTS & INJECT HOLE WITH ASTM C-920 POLYURETHANE SEALANT PRIOR TO INSTALLATION OF LAG BOLT. (BOLT INSTALLATION AND SEALANT ARE THE RESPONSIBILITY OF RAIL INSTALLER)

- GS88 PIGMENTED SEALER
- GU80 TOP COAT
- 3/4 OZ. FIBERGLASS & PD RESIN
- GU80 BASE COAT
- 2.5 G90 GALVANIZED METAL LATH

- NEOPRENE OR EPDM GASKET (OPTIONAL)
- VERTICAL FLASHING COATED WITH PD FLASH COAT AND/OR GS88 PIGMENTED SEALER
- MIN. 26 GAUGE GALVANIZED SHEET METAL FLASHING 1/2" DRIP (3/16" RISE)
- ATTACHMENT OF RAIL TO BE SEALED WITH ASTM-C-920 POLYURETHANE SEALANT



DETAIL-METAL DECK RAIL- SURFACE MOUNTED - INCLEMENT WEATHER

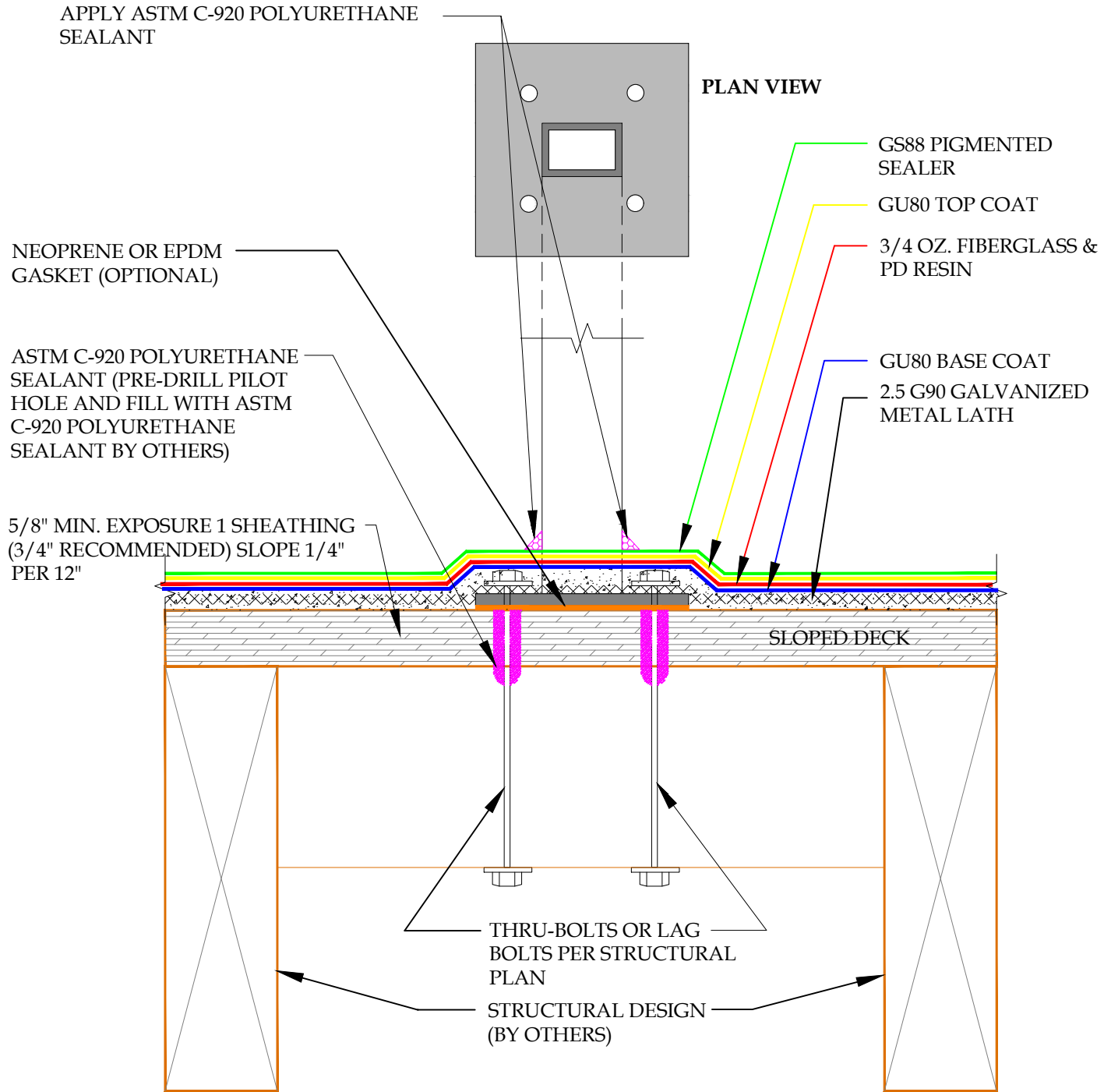
SCALE: N.T.S.

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System: Pli-Dek System ICC-ES ESR-2097		Drawing Number: <b>PD-17A-IW</b>
Detail: METAL DECK RAIL - SURFACE MOUNTED INCLEMENT WEATHER		
Job:		
Date:	10/21/2020	
Dwn:	E.L.	

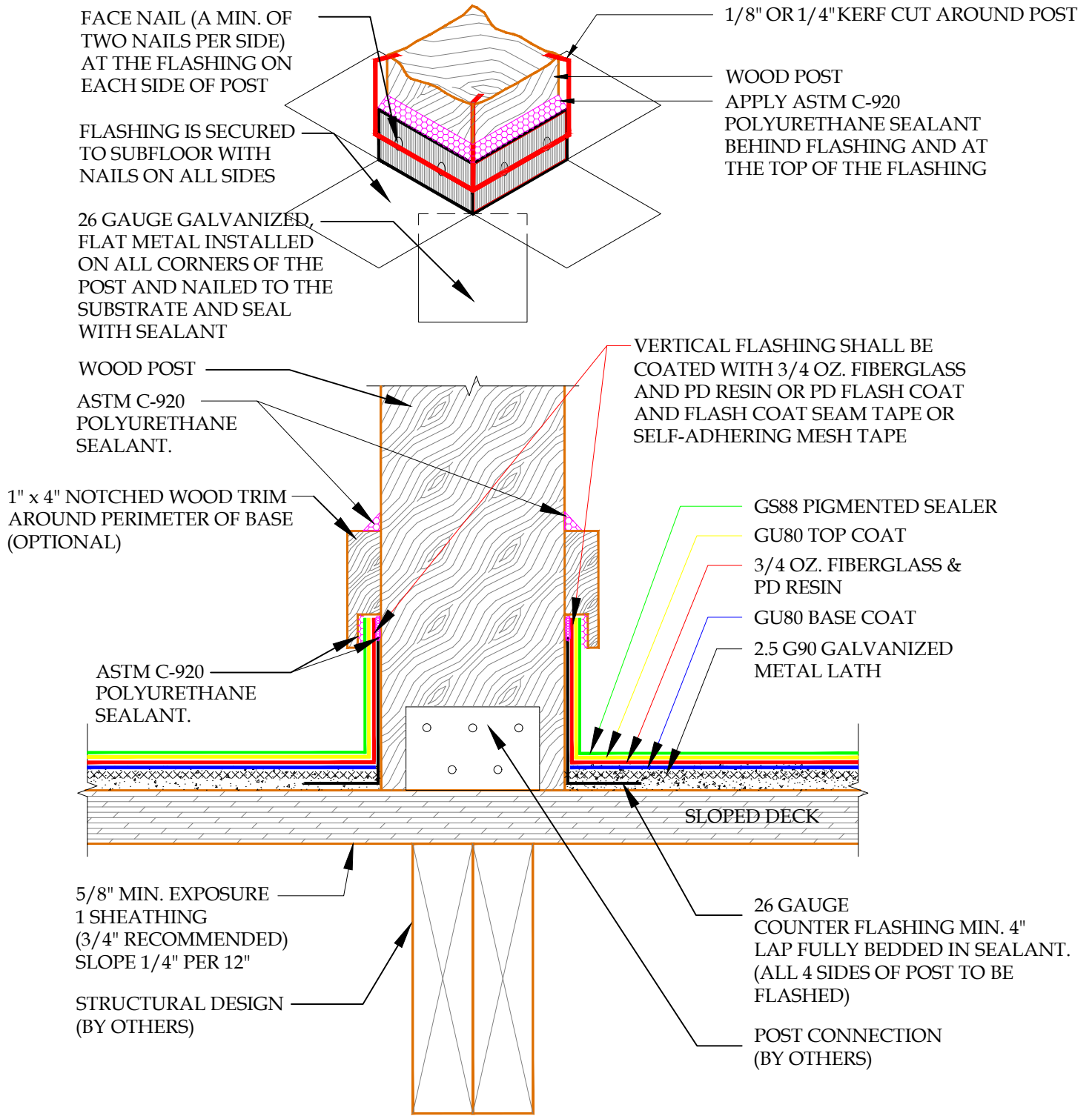


DETAIL-METAL DECK RAIL-UNDER WATERPROOFING MEMBRANE  
 SCALE: N.T.S. INCLEMENT WEATHER



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System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		METAL DECK RAIL - UNDER WATERPROOFING MEMBRANE INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-17B-IW	
Dwn:	E.L.		



## DETAIL-WOOD POST FLASHING-INCLEMENT WEATHER

SCALE: N.T.S.



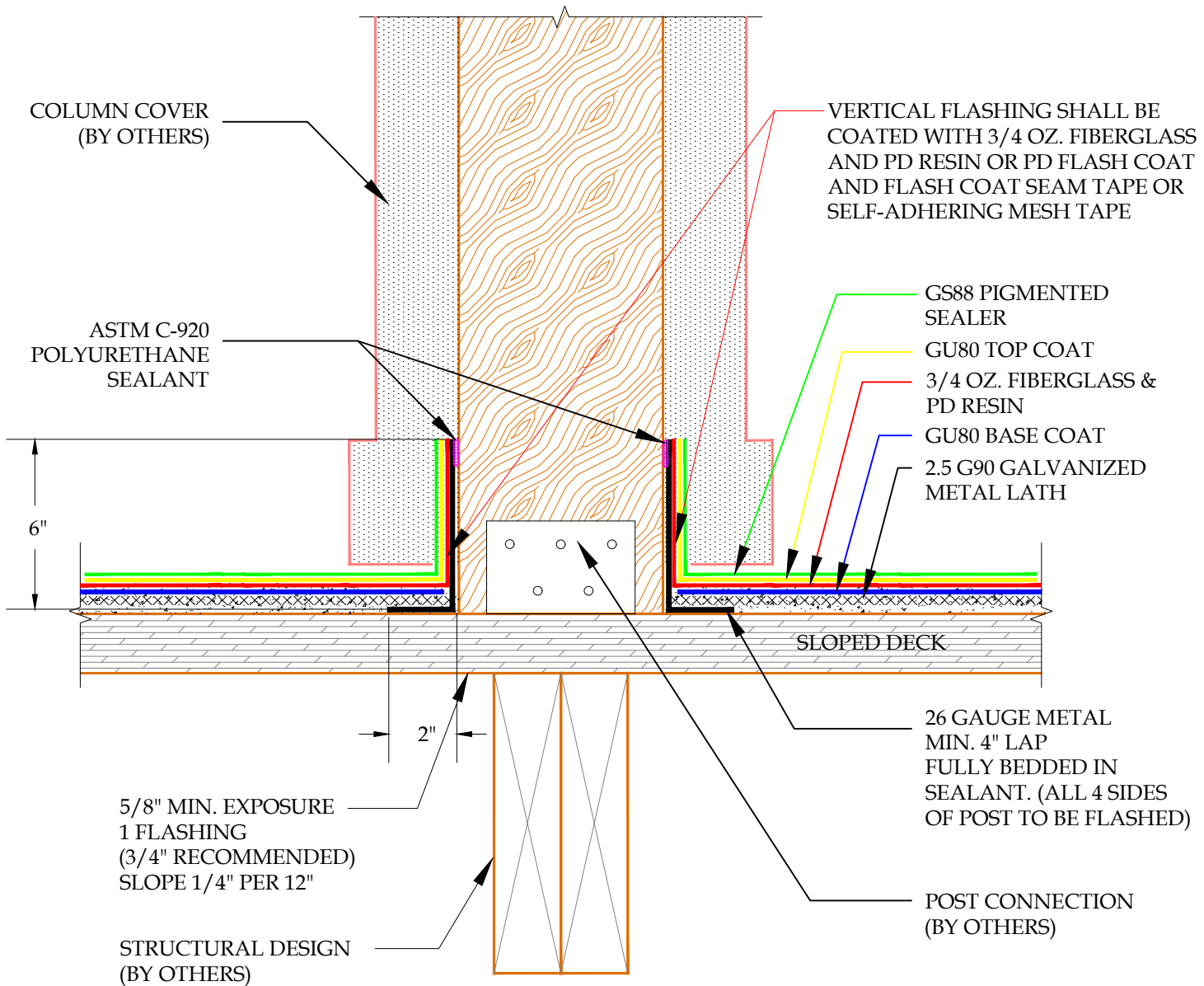
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System: Pli-Dek System  
 ICC-ES ESR-2097  
 Detail: WOOD POST FLASHING  
 INCLEMENT WEATHER

Job: \_\_\_\_\_  
 Date: 10/21/2020  
 Dwn: E.L.

Drawing Number:  
**PD-19A-IW**



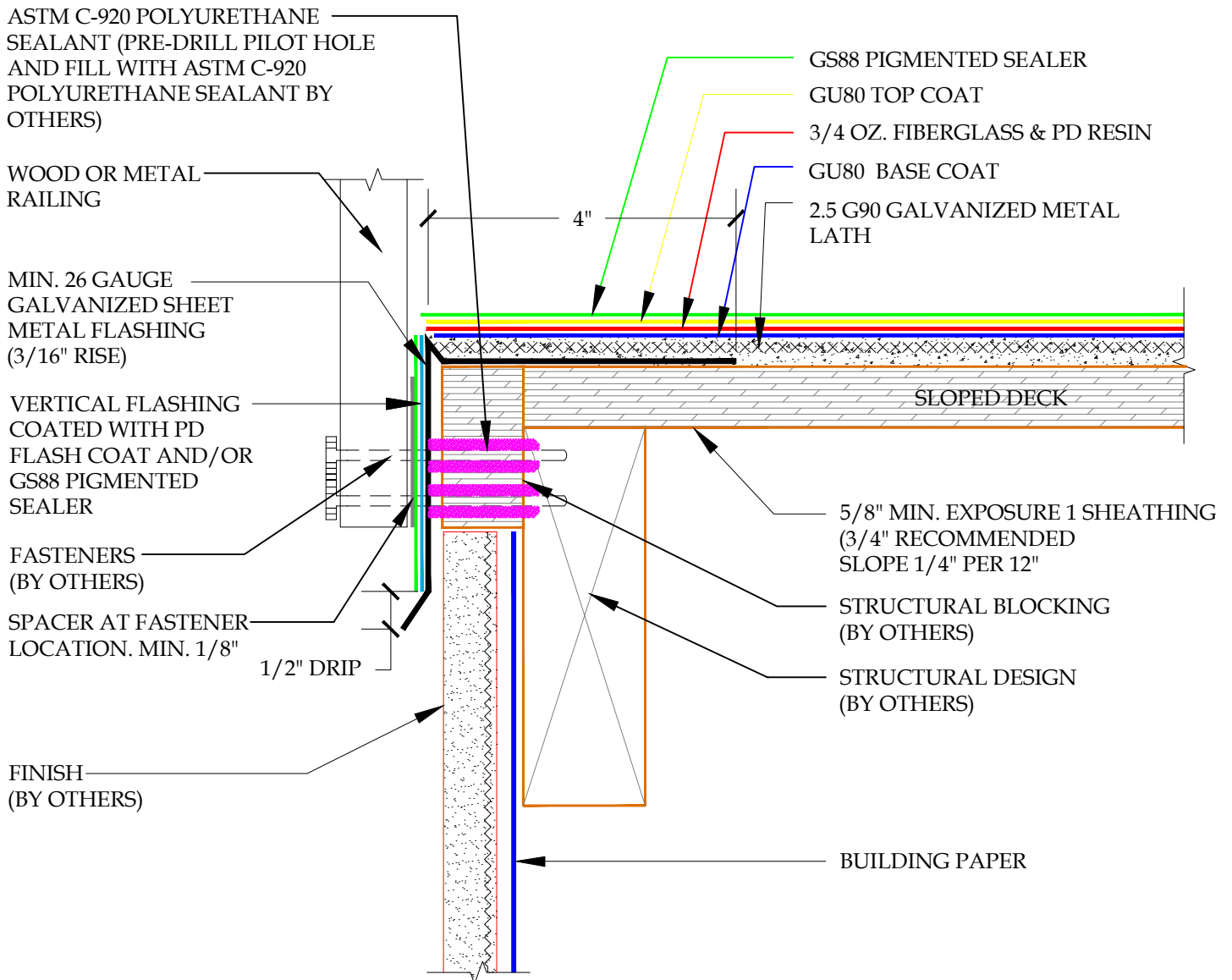
DETAIL-WOOD POST FLASHING WITH COLUMN COVER - INCLEMENT WEATHER  
 SCALE: N.T.S.



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System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		WOOD POST FLASHING WITH COLUMN COVER INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-19B-IW	
Dwn:	E.L.		



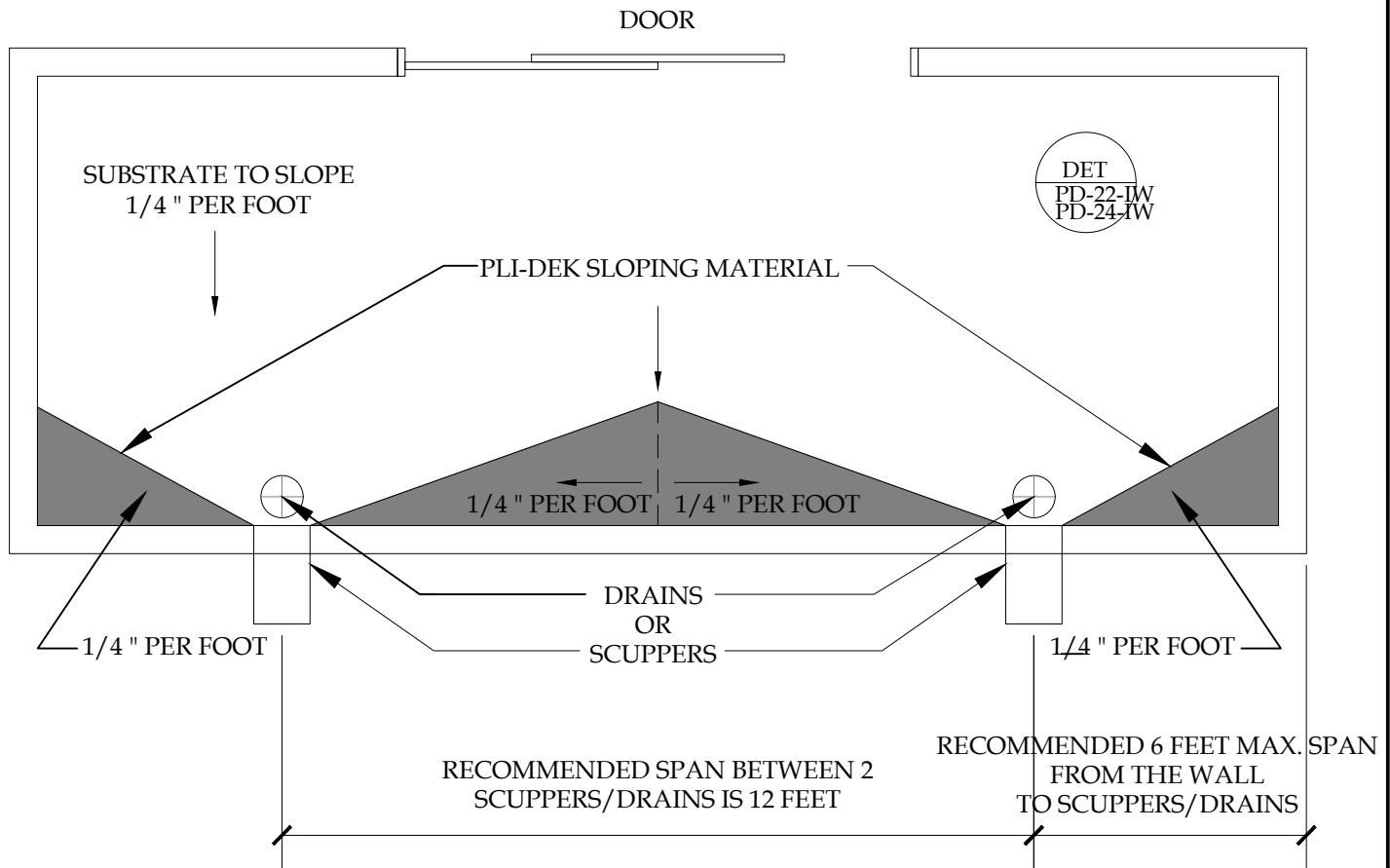
**DETAIL-METAL DECK RAIL-FACE MOUNTED-INCLEMENT WEATHER**  
**SCALE: N.T.S.**



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System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		METAL DECK RAIL - FACE MOUNTED INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-20-IW	
Dwn:	E.L.		





NOTES:

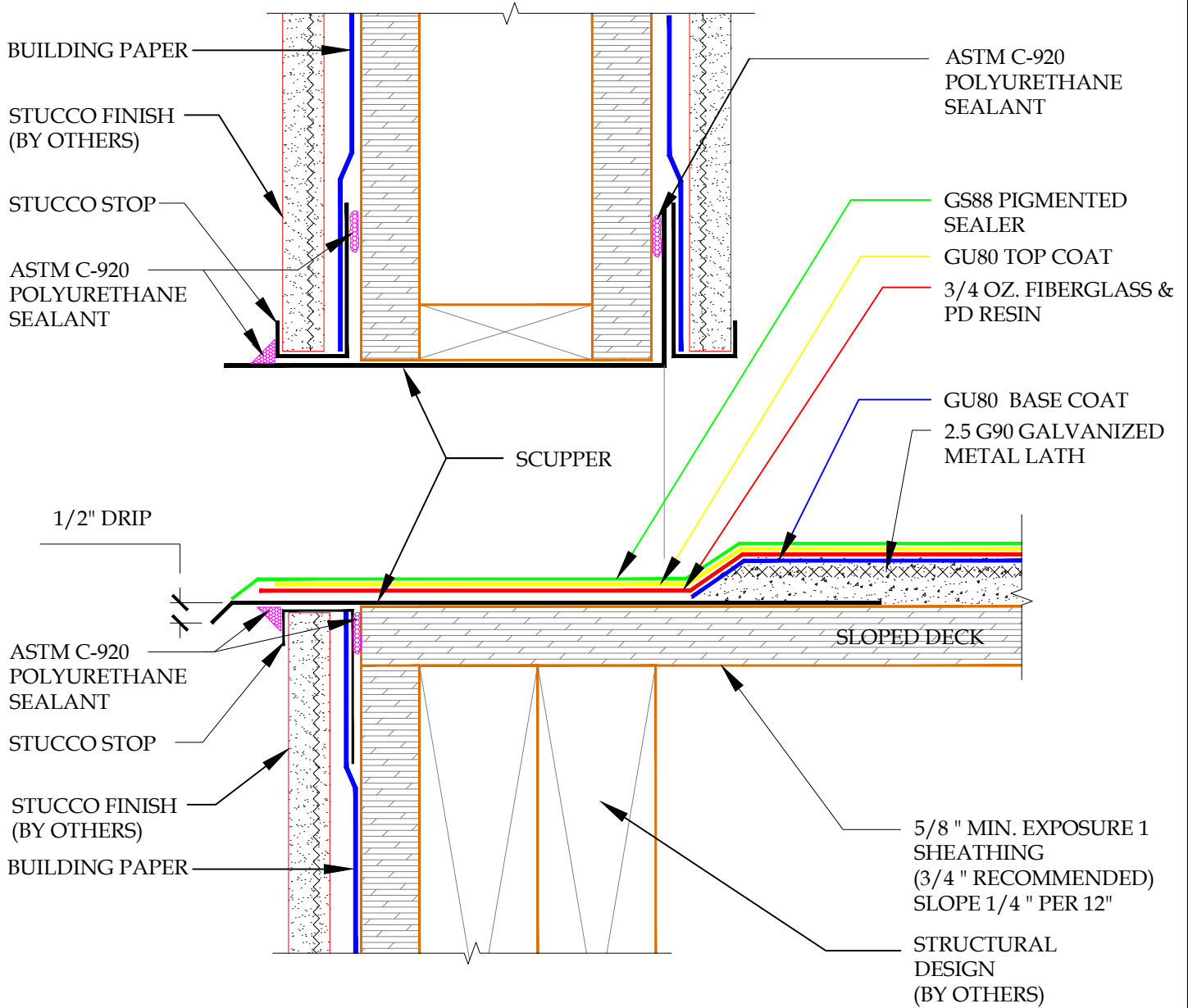
- CONSIDERATION MUST BE MADE IN REGARDS TO THE HEIGHT OF THE SHEET METAL FLASHING AT THE WALL TO DECK JUNCTION IN ORDER TO ALLOW THE SLOPING MIX TO REMAIN A MINIMUM OF 2" BELOW THE FINISHED WELL SYSTEM.
- THE PLI-DEK SYSTEM IS INSTALLED UP TO THE BASE COAT STAGE PRIOR TO INSTALLATION OF SLOPING MATERIAL.
- WHEN USING IN CONJUNCTION WITH PLI-DEK SYSTEM, APPLY SLOPE MATERIAL PRIOR TO INSTALLATION OF FIBERGLASS AND PD RESIN.
- CRICKET LOCATION VARIES ACCORDING TO DRAIN/SCUPPER LOCATIONS.
- REFER TO PLI-DEK APPLICATION INSTRUCTION AND SPECIFICATIONS FOR INSTALLATION GUIDELINES.

**DETAIL-ENCLOSED DECK DRAINAGE CRICKET-INCLEMENT WEATHER**  
**SCALE: N.T.S.**



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System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		ENCLOSED DECK LOW WALL DRAINAGE CRICKET INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-21-IW	
Dwn:	E.L.		



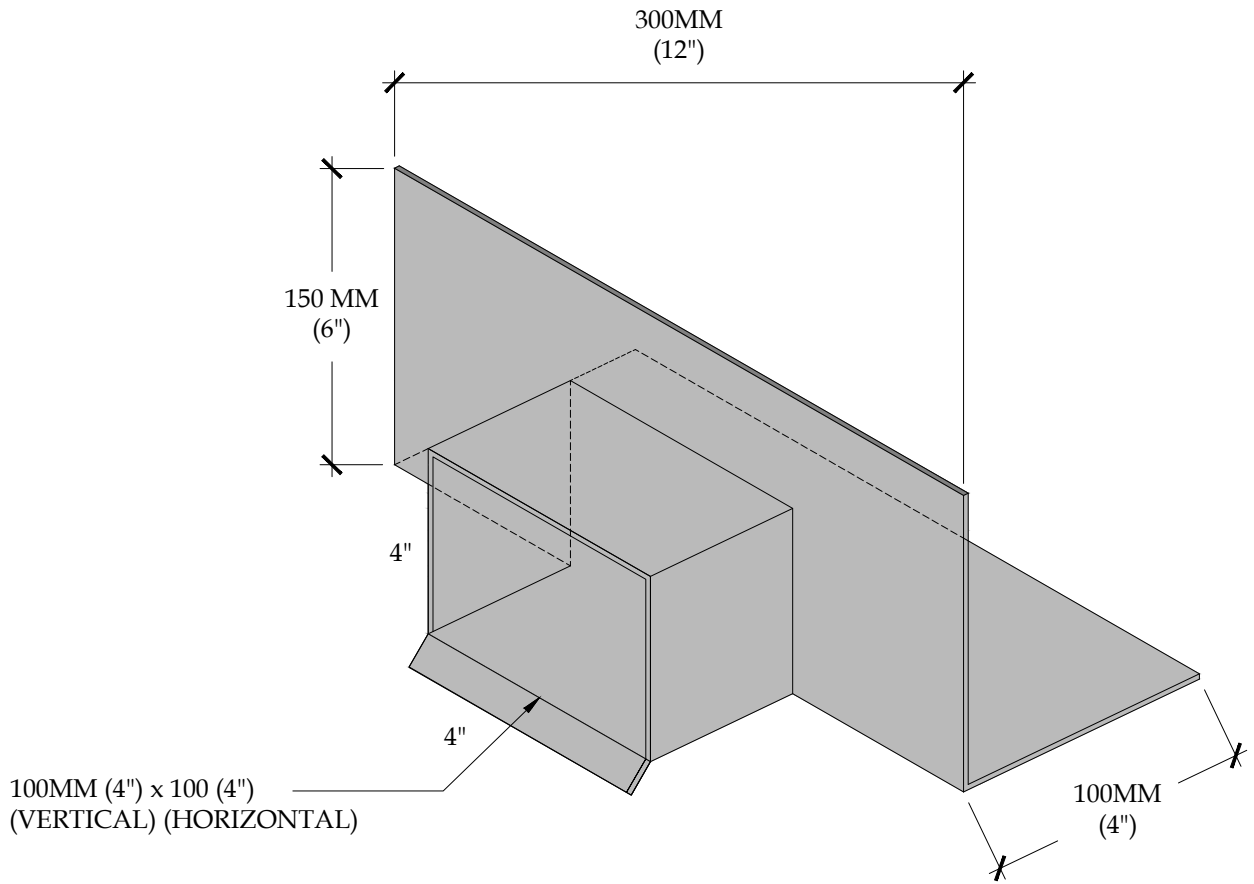
**DETAIL-SCUPPER-INCLEMENT WEATHER**  
 SCALE: N.T.S.



**PLI DEK**  
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 150 Dascomb Rd., Andover, MA 01810  
 Phone: 800.364.0287 \* Fax: 951.834.9555  
 WWW.PLIIDEK.COM

These waterproofing procedures are not to be used for permit and should be reviewed by the project architect. The waterproofing procedures are not complete plans or specifications and a professional design professional should be contacted prior to performing major waterproofing and repairs.

System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		SCUPPER INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-22-IW	
Dwn:	E.L.		



DETAIL-SCUPPER-ISOMETRIC-INCLEMENT WEATHER

SCALE: N.T.S



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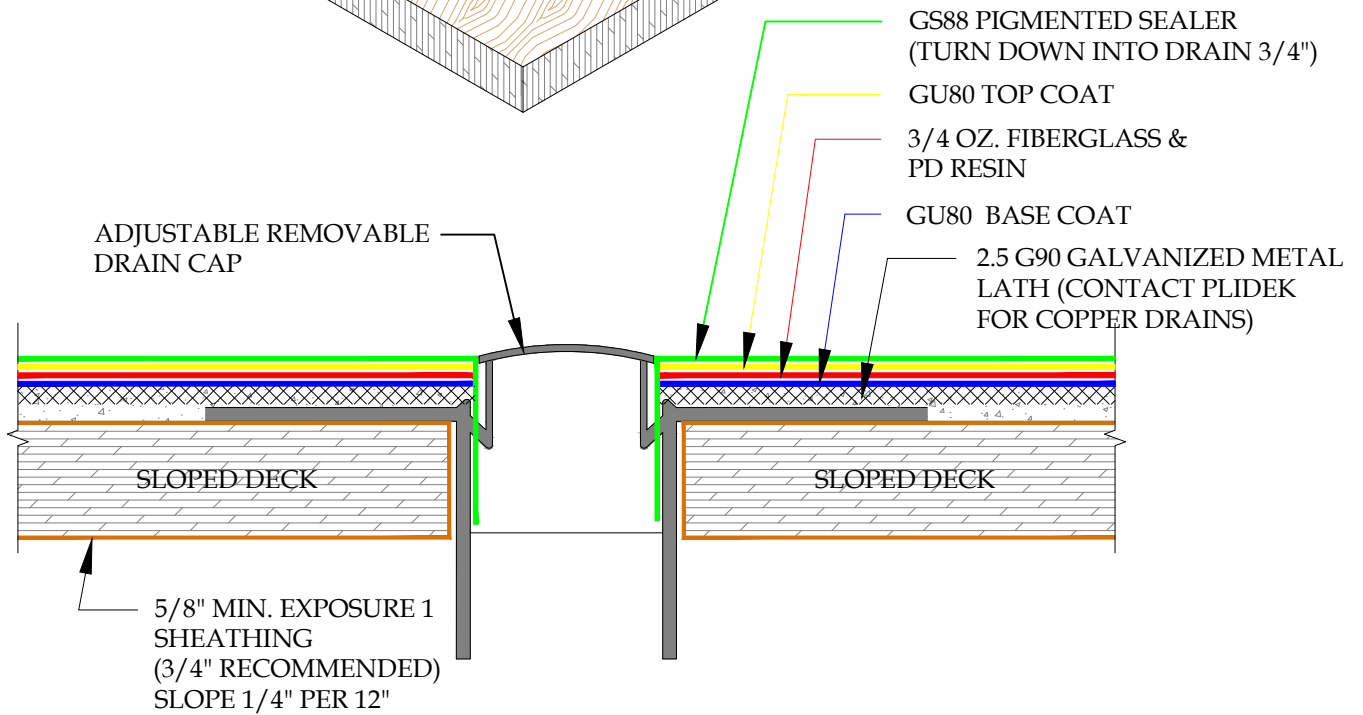
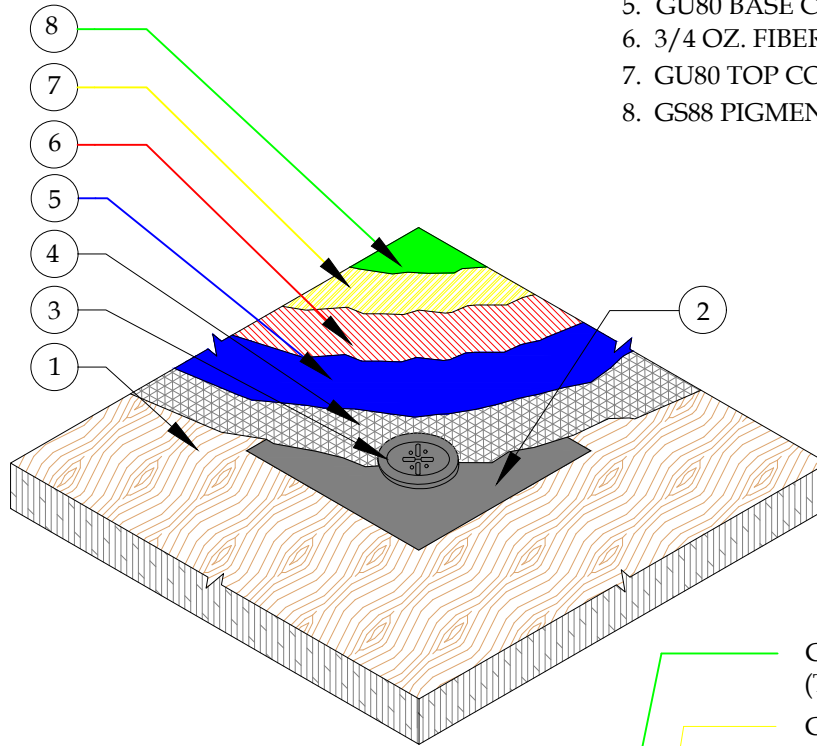
System: Pli-Dek System  
ICC-ES ESR-2097  
Detail: SCUPPER-ISOMETRIC  
INCLEMENT WEATHER

Job:   
Date: 10/21/2020  
Dwn: E.L.

Drawing Number:  
**PD-23-IW**

NOTE:  
 DRAIN DECK PLATES MEASURES:  
 230MM (9") SQUARE FOR 50MM (2")  
 250MM (10") SQUARE FOR 76MM  
 (3") DRAIN.

1. PLYWOOD DECK (SLOPED)
2. GALVANIZED OR STAINLESS STEEL DRAIN DECK PLATE
3. DRAIN-STRAINER
4. 2.5 G90 GALVANIZED METAL LATH
5. GU80 BASE COAT
6. 3/4 OZ. FIBERGLASS & PD RESIN
7. GU80 TOP COAT
8. GS88 PIGMENTED SEALER



**DETAIL-GALVANIZED DECK DRAIN-INCLEMENT WEATHER**  
 SCALE: N.T.S.

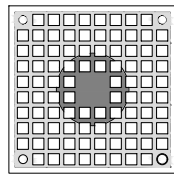
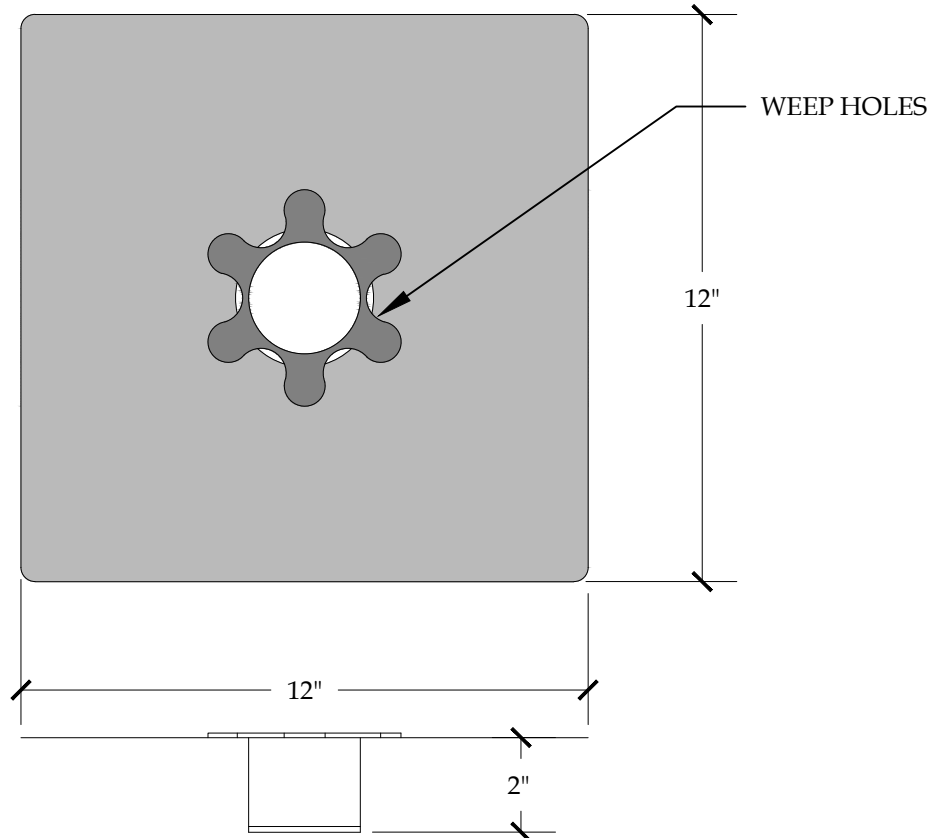


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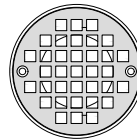
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System:	Pli-Dek System ICC-ES ESR-2097	
Detail:	GALVANIZED DECK DRAIN INCLEMENT WEATHER	
Job:		Drawing Number:
Date:	10/21/2020	PD-24-IW
Dwn:	E.L.	

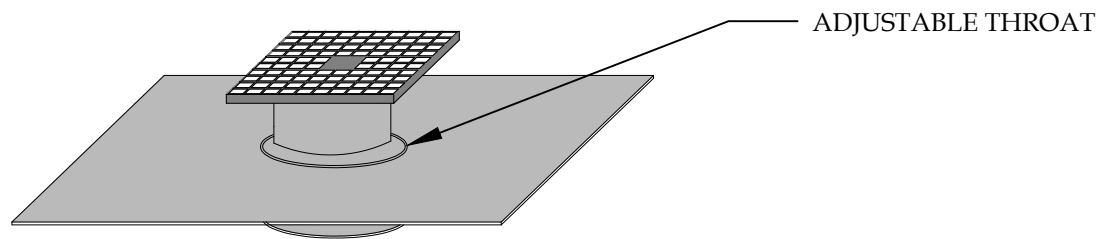
NOTE:  
 AVAILABLE WITH 4" BRONZE  
 ROUND GRATE, OR 5" x 5" NICKEL  
 BRONZE SQUARE GRATE.  
 ADJUSTABLE FROM 1"-3".



SQUARE GRATE



ROUND GRATE



DETAIL-ADJUSTABLE STAINLESS STEEL TILE DECK DRAIN-INCLEMENT WEATHER

SCALE: N.T.S.

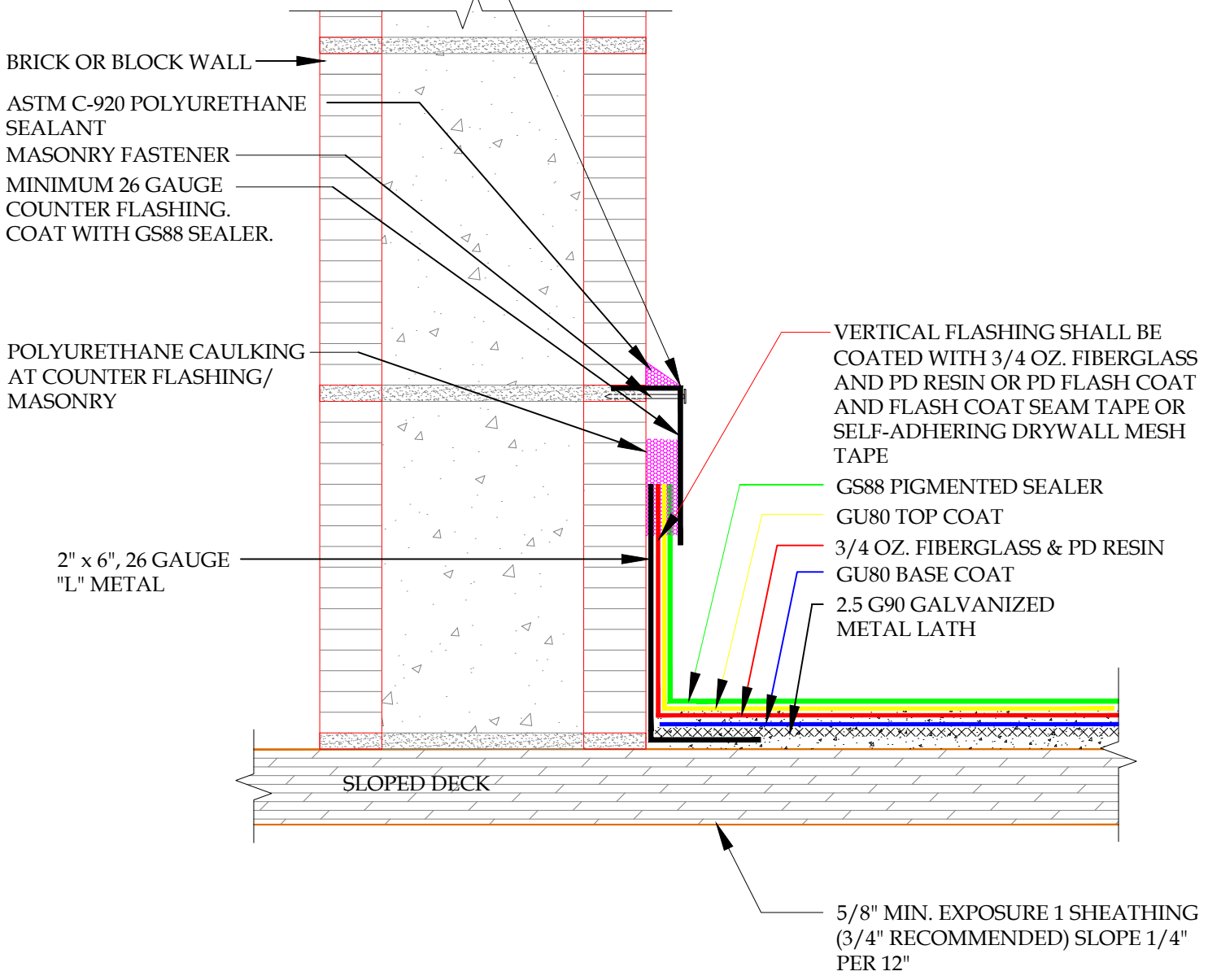


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System:		Pli-Dek System ICC-ES ESR-2097	
Detail: ADJUSTABLE STAINLESS STEEL TILE DECK DRAIN INCLEMENT WEATHER			
Job:		Drawing Number:	
Date:	10/21/2020	PD-25-IW	
Dwn:	E.L.		

WATERPROOFING OF BRICK OR BLOCK ABOVE THIS TRANSITION IS THE RESPONSIBILITY OF OTHERS



**DETAIL-BLOCK/BRICK TO DECK-INCLEMENT WEATHER**

SCALE: N.T.S.

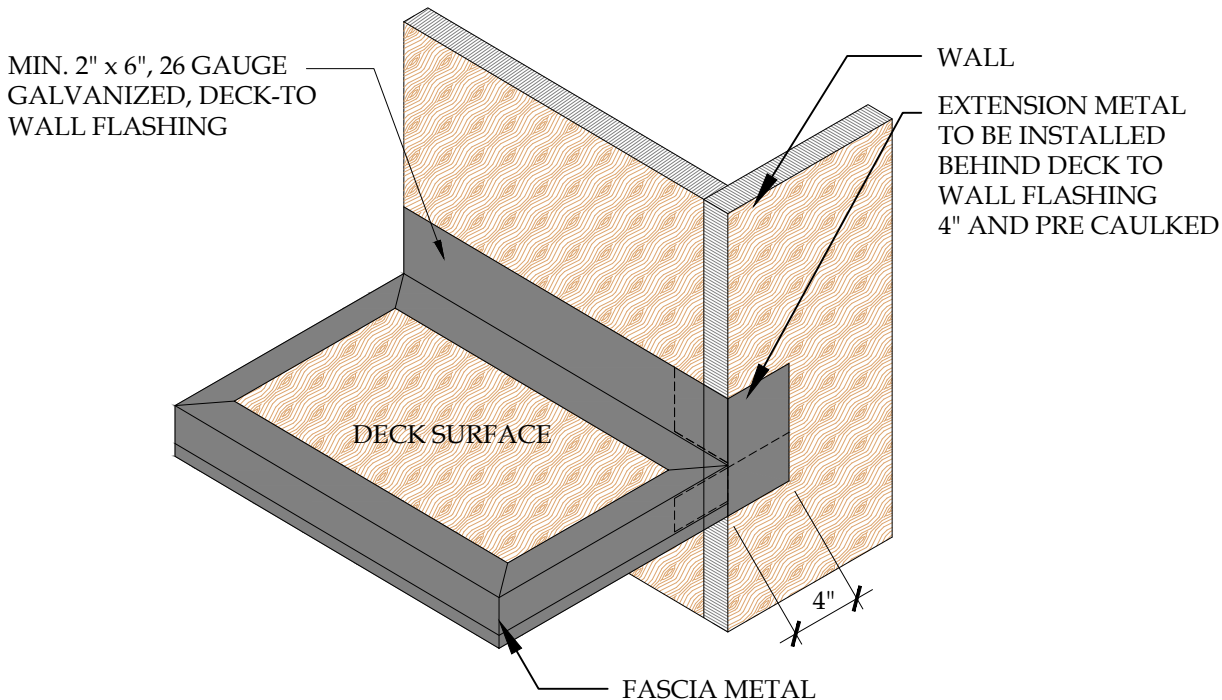


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 Phone: 800.364.0287 \* Fax: 951.834.9555  
 WWW.PLI-DEK.COM

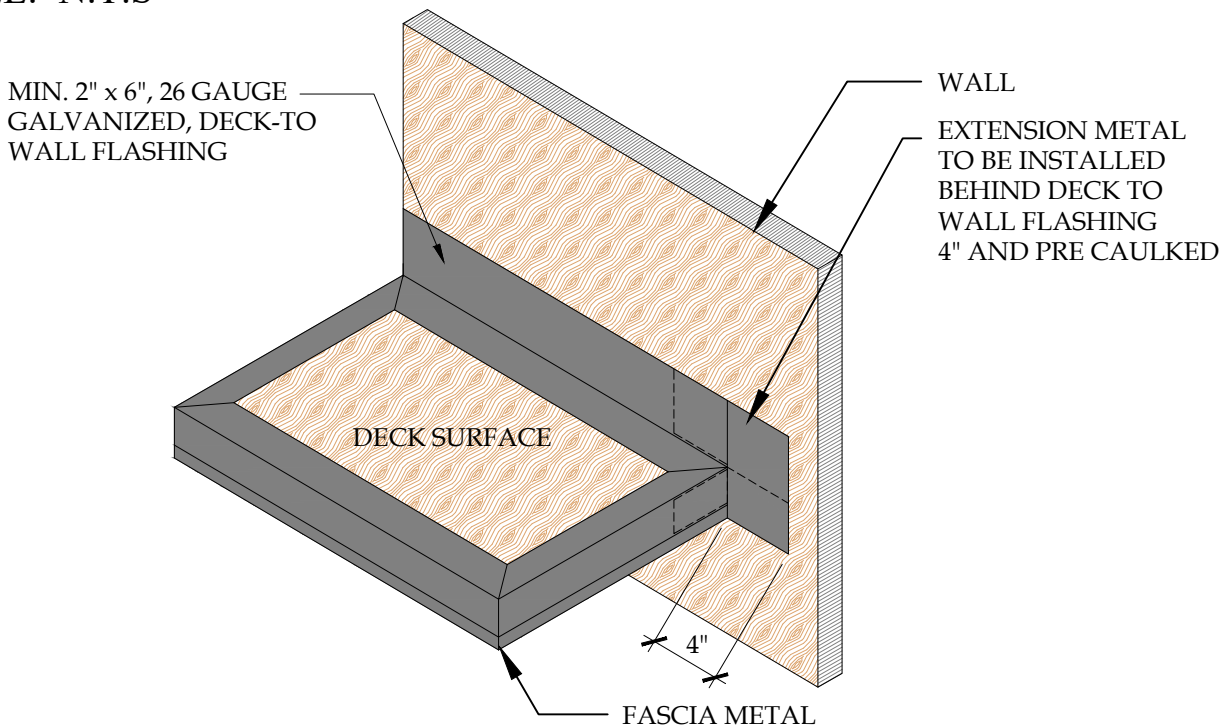
These waterproofing procedures are not to be used for permit and should be reviewed by the project architect. The waterproofing procedures are not complete plans or specifications and a professional design professional should be contacted prior to performing major waterproofing and repairs.

System:	Pli-Dek System ICC-ES ESR-2097	
Detail:	BLOCK/BRICK TO DECK INCLEMENT WEATHER	
Job:		Drawing Number:
Date:	10/21/2020	<b>PD-26-IW</b>
Dwn:	E.L.	



**DETAIL-FASCIA TO WALL TO DECK FLASHING CORNER**

SCALE: N.T.S



**DETAIL-FASCIA TO WALL TO DECK FLASHING INTERSECTION-INCLEMENT WEATHER**

SCALE: N.T.S



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System: Pli-Dek System  
 ICC-ES ESR-2097  
 Detail: FASCIA TO WALL TO DECK  
 FLASHING INTERSECTION  
 INCLEMENT WEATHER

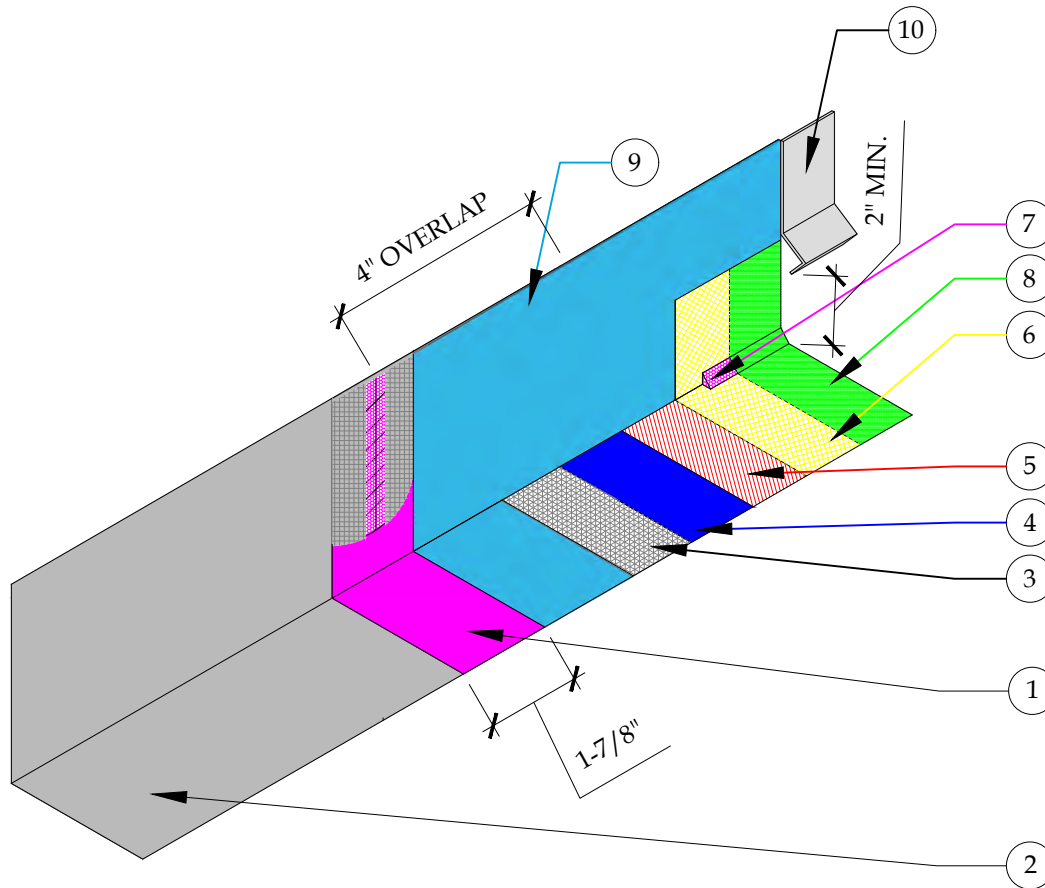
Job:		Drawing Number:
Date:	10/21/2020	PD-27-IW
Dwn:	E.L.	

NOTES:

- ALL FLASHING TO BE GALVANIZED AND MINIMUM 26 GAUGE.
- ALL METAL FLASHING SURFACES REQUIRE CLEAN WIPE WITH SOLVENT PRIOR TO INSTALLATION, (MEK, ACETONE, XYLOL, XYLENE, ISOPROPYL ALCOHOL OR VINEGAR).
- ALL FLASHING OVERLAPS SHALL BE A MIN. OF 4" INSTALLED NOT TO "BUCK" WATER.
- THE FACE SEAM OF THE SHEET METAL OVERLAP, HORIZONTAL AND VERTICAL OVERLAPS, SHALL HAVE AN EMBEDMENT OF 3/4" SEALANT BEAD. (SURFACE SEALANT NOT ACCEPTABLE).
- (OPTIONAL) APPLY CONTINUOUS SEALANT 1" IN BOTH DIRECTIONS FROM THE OVERLAP SEAM AND EMBED 1-7/8" PAPERLESS DRYWALL JOINT TAPE WITH A MARGIN TROWEL TO THE ENTIRE SEAM AND ENSURE THE PAPERLESS DRYWALL JOINT TAPE IS COMPLETELY IN THE SEALANT.
- SEALANT IS REQUIRED TO BE A POLYURETHANE SEALANT PER ASTM C 920, IE: SIKA-1A, TREMCO 116 OR 911, SONNEBORN-NP1, DAP PREMIUM POLYURETHANE, QUICKRETE 8660, OR APPROVED EQUAL.
- VERTICAL FLASHING TO BE COATED WITH PD FLASH COAT AND/OR GS88 PIGMENTED SEALER.
- ALL EXPOSED METAL TO BE COATED WITH PLI-DEK FINISH COAT.

DETAIL LEGEND

1. SELF-ADHERING FIBERGLASS MESH TAPE EMBEDDED IN SEALANT AND COATED WITH FLASH COAT.
2. 26 GAUGE GALVANIZED FLASHING, REFER TO TB-110 FOR ADDITIONAL INFORMATION.
3. 2.5 G90 METAL LATH
4. GU80 BASE COAT
5. 3/4 OZ. FIBERGLASS & PD RESIN
6. GU80 TOP COAT
7. CANT BEAD OF POLYURETHANE SEALANT THAT MEETS ASTM-C920
8. GS88 PIGMENTED SEALER
9. VERTICAL FLASHING SHALL BE COATED WITH 3/4 OZ. FIBERGLASS AND PD RESIN OR PD FLASHCOAT AND FLASHCOAT SEAM TAPE OR SELF-ADHERING MESH TAPE
10. WEEP SCREED



DETAIL-FLASHCOAT FLASHING OVERLAP-INCLEMENT WEATHER

SCALE: N.T.S



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System: Pli-Dek System  
ICC-ES ESR-2097  
Detail: FLASHING OVERLAP  
INCLEMENT WEATHER

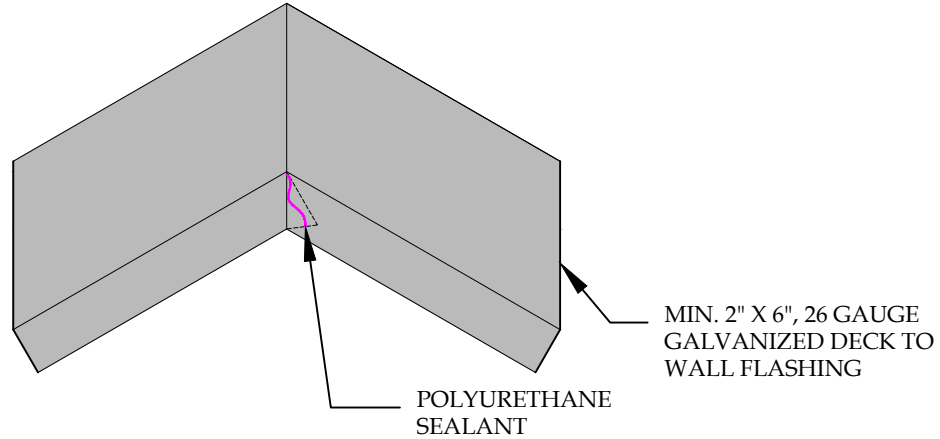
Job: \_\_\_\_\_  
Date: 10/21/2020  
Dwn: E.L.

Drawing Number:  
**PD-28A-IW**

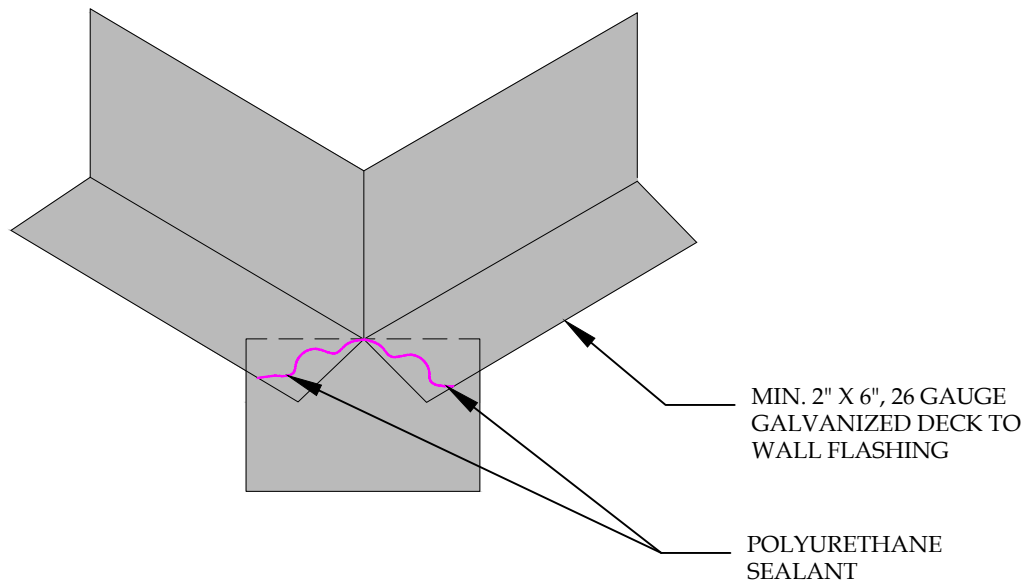


NOTES:

- ALL FLASHING TO BE GALVANIZED AND MINIMUM 26 GAUGE.
- ALL METAL FLASHING SURFACES REQUIRE CLEAN WIPE WITH SOLVENT PRIOR TO INSTALLATION, (MEK, ACETONE, XYLOL, XYLENE, ISOPROPYL ALCOHOL OR VINEGAR).
- ALL FLASHING OVERLAPS SHALL BE A MIN. OF 4" INSTALLED NOT TO "BUCK" WATER.
- THE FACE SEAM OF THE SHEET METAL OVERLAP, HORIZONTAL AND VERTICAL OVERLAPS, SHALL HAVE AN EMBEDMENT OF 3/4" SEALANT BEAD. (SURFACE SEALANT NOT ACCEPTABLE).
- (OPTIONAL) APPLY CONTINUOUS SEALANT 1" IN BOTH DIRECTIONS FROM THE OVERLAP SEAM AND EMBED 1-7/8" PAPERLESS DRYWALL JOINT TAPE WITH A MARGIN TROWEL TO THE ENTIRE SEAM AND ENSURE THE PAPERLESS DRYWALL JOINT TAPE IS COMPLETELY IN THE SEALANT.
- SEALANT IS REQUIRED TO BE A POLYURETHANE SEALANT PER ASTM C 920, IE: SIKA-1A, TREMCO 116 OR 911, SONNEBORN-NP1, DAP PREMIUM POLYURETHANE, QUICKRETE 8660, OR APPROVED EQUAL.
- VERTICAL FLASHING TO BE COATED WITH PD FLASH COAT AND/OR GS88 PIGMENTED SEALER.
- ALL EXPOSED METAL TO BE COATED WITH PLI-DEK FINISH COAT.



INSIDE CORNER



OUTSIDE CORNER

**DETAIL-SHEET METAL CORNERS MULTIPLE-INCLEMENT WEATHER**

SCALE: N.T.S

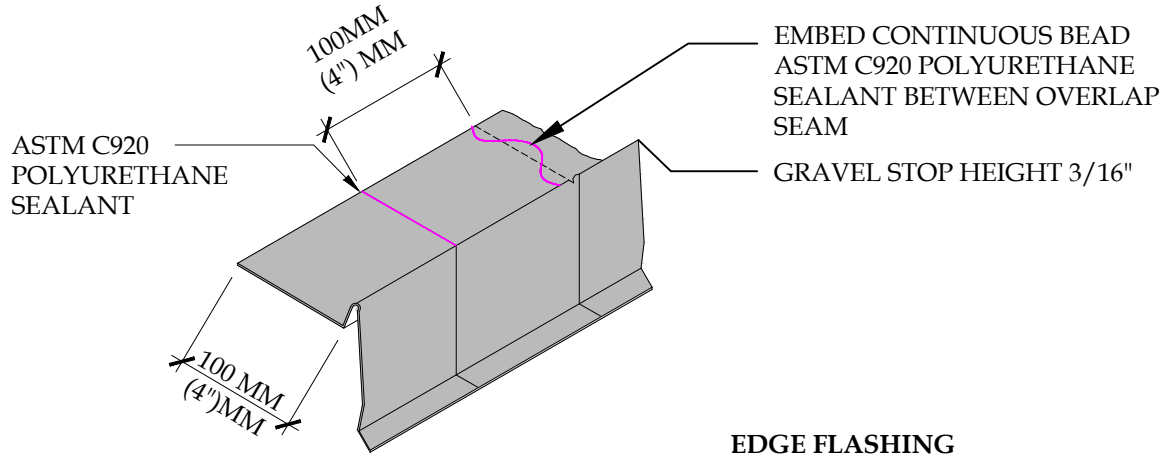


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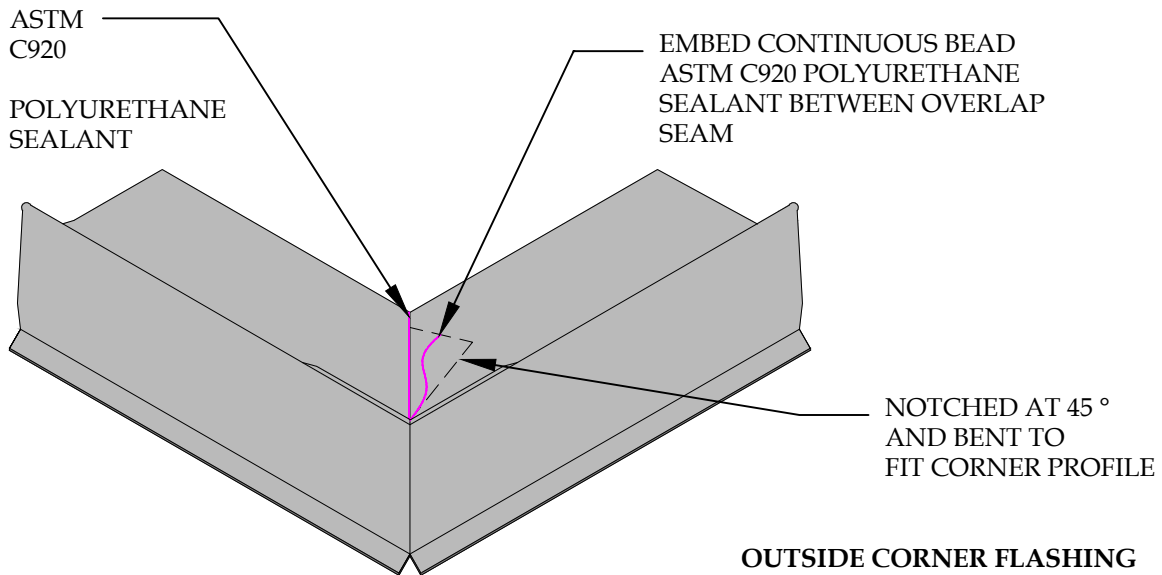
System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		SHEET METAL CORNERS MULTIPLE INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-28C-IW	
Dwn:	E.L.		

NOTES:

- ALL FLASHING TO BE GALVANIZED AND MINIMUM 26 GAUGE.
- ALL METAL FLASHING SURFACES REQUIRE CLEAN WIPE WITH SOLVENT PRIOR TO INSTALLATION, (MEK, ACETONE, XYLOR, XYLENE, ISOPROPYL ALCOHOL OR VINEGAR).
- ALL FLASHING OVERLAPS SHALL BE A MIN. OF 4" INSTALLED NOT TO "BUCK" WATER.
- THE FACE SEAM OF THE SHEET METAL OVERLAP, HORIZONTAL AND VERTICAL OVERLAPS, SHALL HAVE AN EMBEDMENT OF 3/4" SEALANT BEAD. (SURFACE SEALANT NOT ACCEPTABLE).
- (OPTIONAL) APPLY CONTINUOUS SEALANT 1" IN BOTH DIRECTIONS FROM THE OVERLAP SEAM AND EMBED 1-7/8" PAPERLESS DRYWALL JOINT TAPE WITH A MARGIN TROWEL TO THE ENTIRE SEAM AND ENSURE THE PAPERLESS DRYWALL JOINT TAPE IS COMPLETELY IN THE SEALANT.
- SEALANT IS REQUIRED TO BE A POLYURETHANE SEALANT PER ASTM C 920, IE: SIKA-1A, TREMCO 116 OR 911, SONNEBORN-NP1, DAP PREMIUM POLYURETHANE, QUICKRETE 8660, OR APPROVED EQUAL.
- VERTICAL FLASHING TO BE COATED WITH PD FLASH COAT AND/OR GS88 PIGMENTED SEALER.
- ALL EXPOSED METAL TO BE COATED WITH PLI-DEK FINISH COAT.



EDGE FLASHING



OUTSIDE CORNER FLASHING

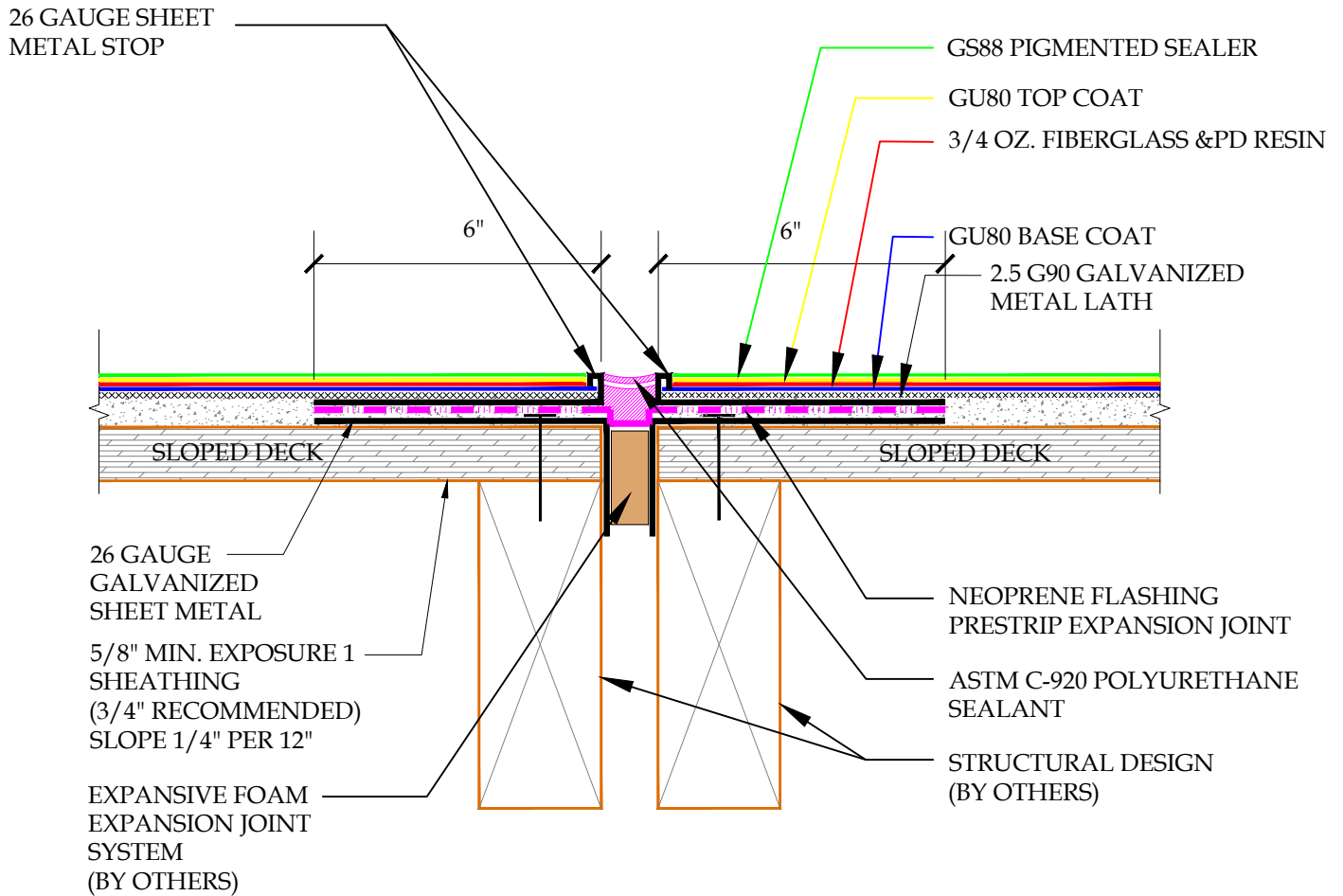
DETAIL-EDGE METAL FLASHING-INCLEMENT WEATHER

SCALE: N.T.S



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System:	Pli-Dek System ICC-ES ESR-2097	
Detail:	EDGE METAL FLASHING INCLEMENT WEATHER	
Job:		Drawing Number:
Date:	10/21/2020	PD-28D-IW
Dwn:	E.L.	



DETAIL-EXPANSION JOINT DETAIL-EXPANSIVE FOAM-INCLEMENT WEATHER

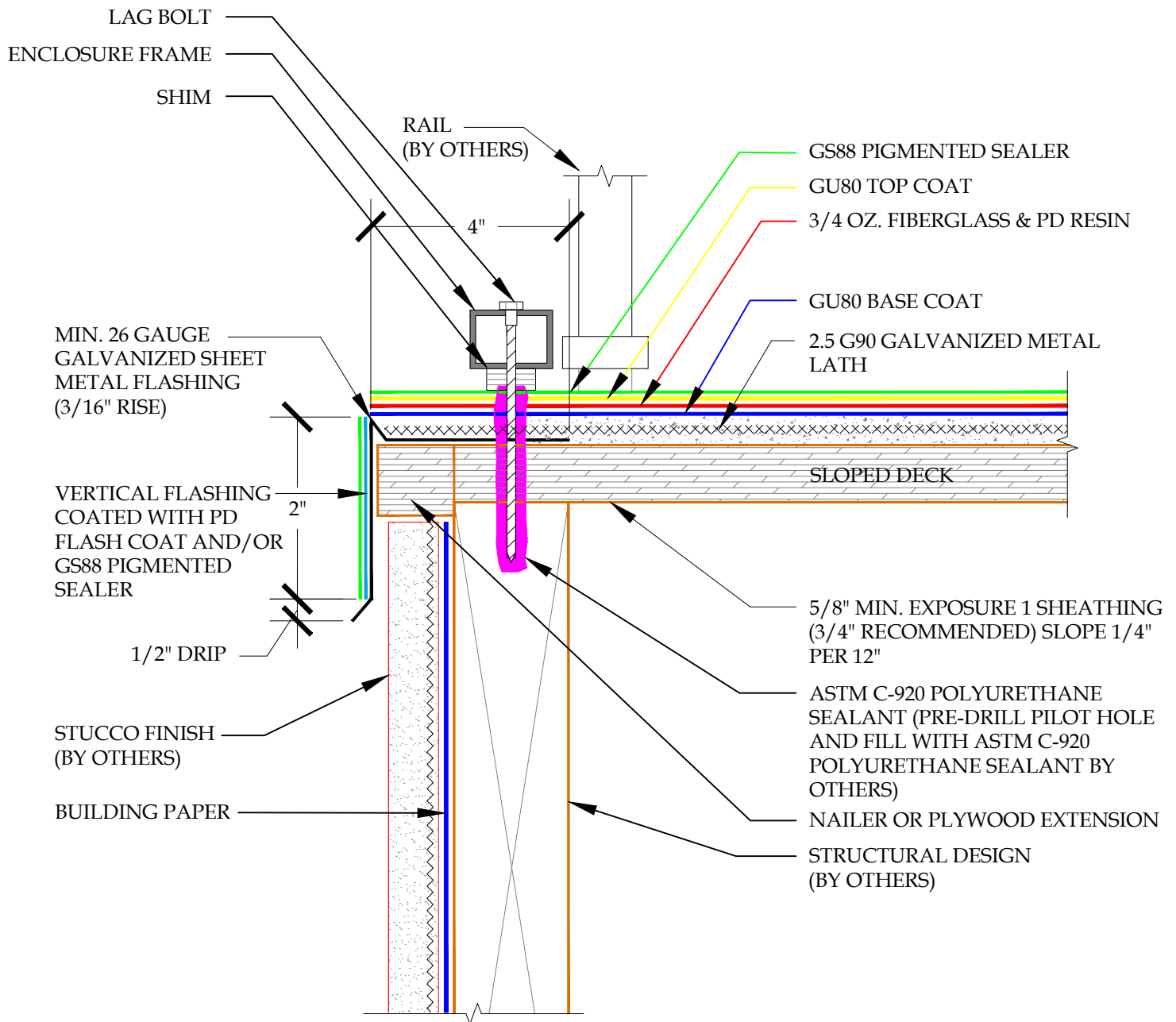
SCALE: N.T.S.



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System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		JOINT DETAIL EXPANSIVE FOAM INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-29-IW	
Dwn:	E.L.		



DETAIL-PERIMETER DECK FLASHING DETAIL-ENCLOSURE ATTACHMENT-INCLEMENT WEATHER

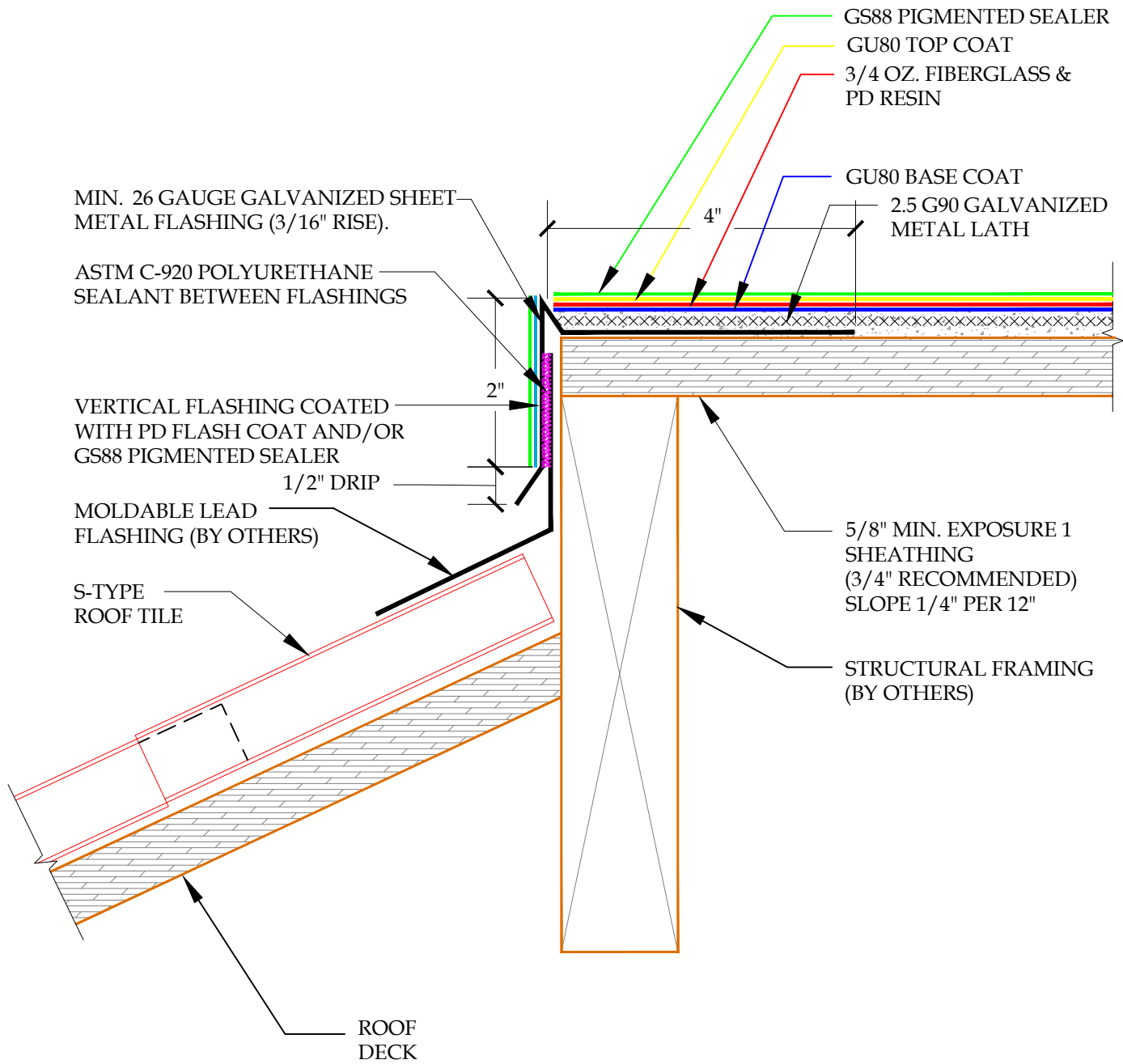
SCALE: N.T.S.



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System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		FLASHING DETAIL-ENCLOSURE ATTACHMENT INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-31-IW	
Dwn:	E.L.		



**DETAIL-ROOF EDGE DETAIL-INCLEMENT WEATHER**

SCALE: N.T.S.

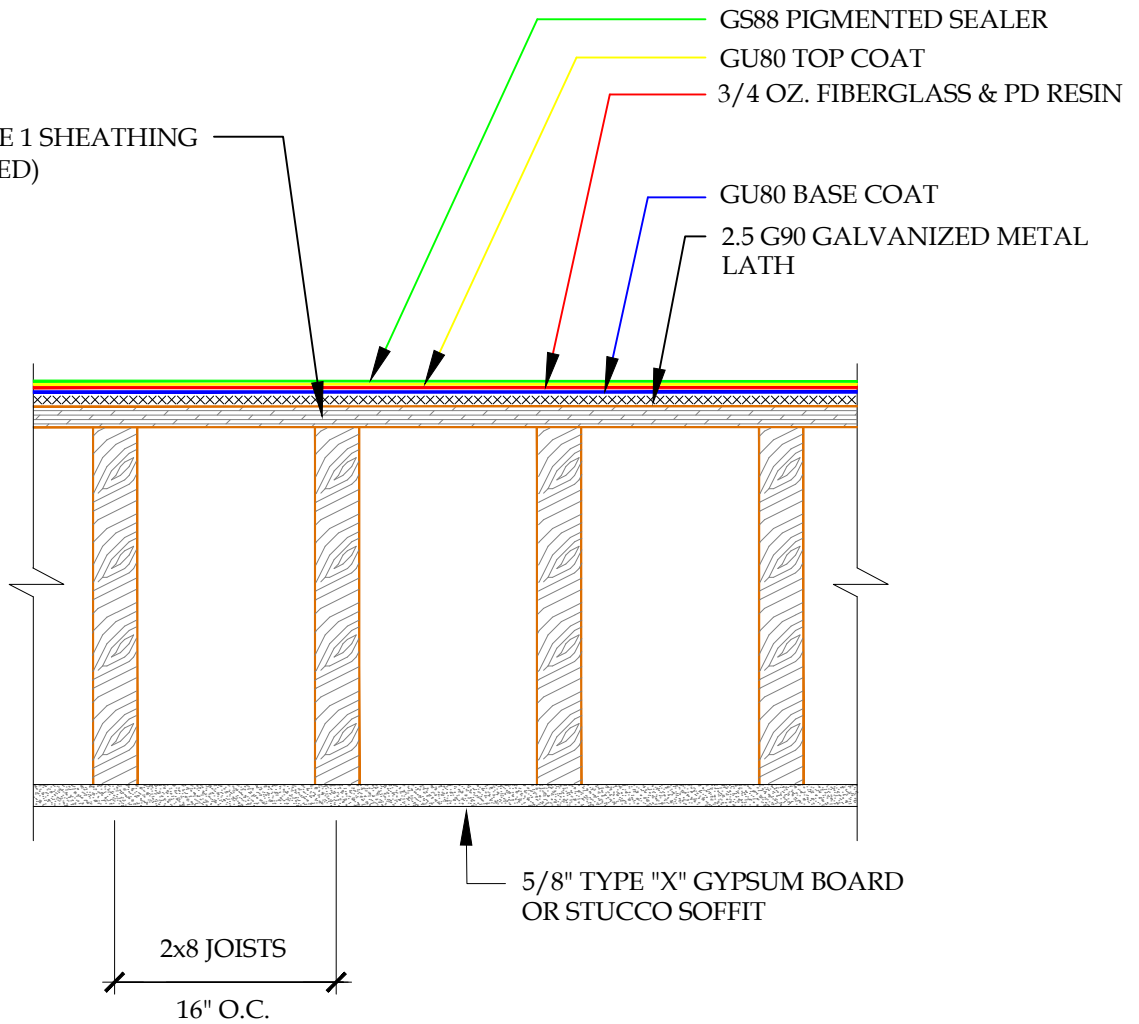


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System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		ROOF EDGE DETAIL INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-41-IW	
Dwn:	E.L.		

5/8" MIN. EXPOSURE 1 SHEATHING  
(3/4" RECOMMENDED)  
SLOPE 1/4" PER 12"



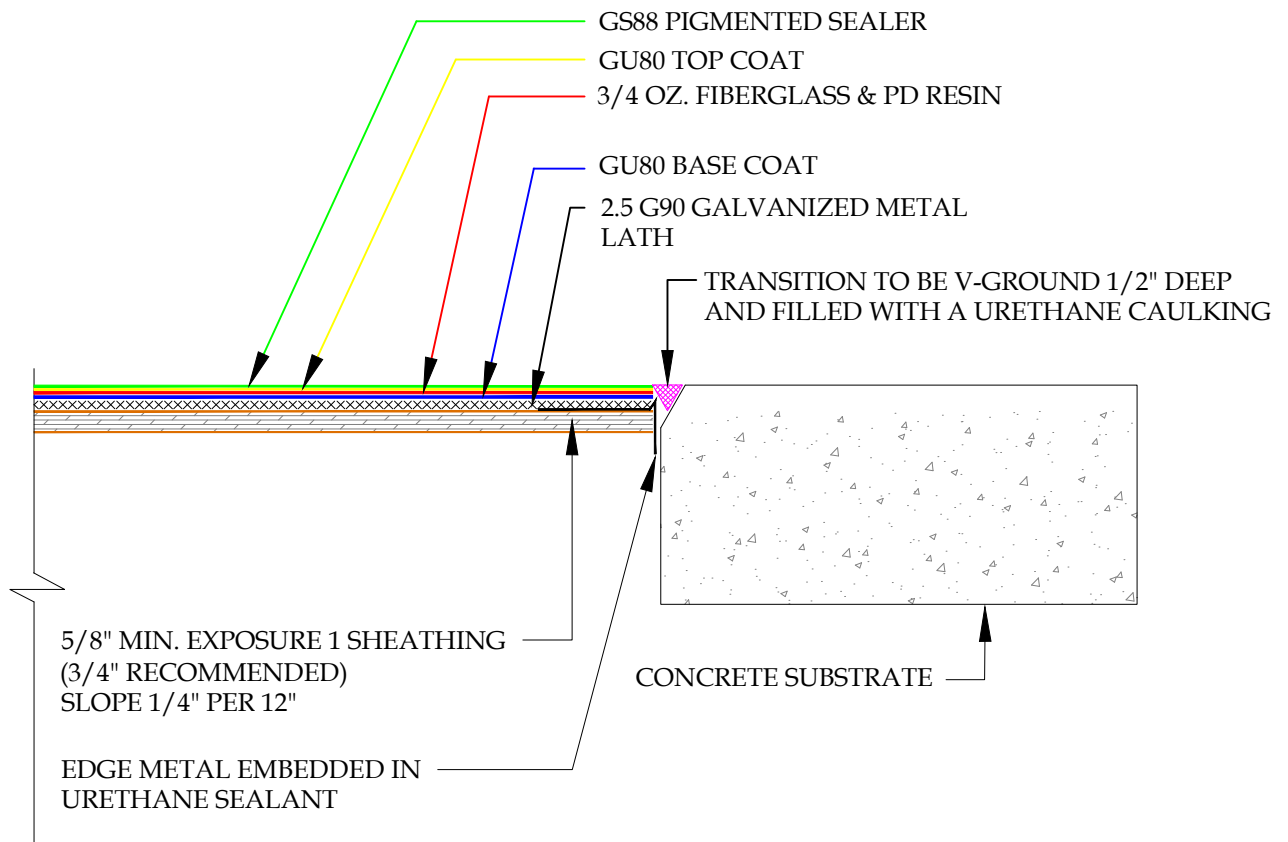
NOTE: \*PLEASE CONTACT Pli-DEK FOR ALTERNATE ONE-HOUR FIRE RATED ASSEMBLIES\*

**DETAIL-1-HR FIRE RATED ASSEMBLY-INCLEMENT WEATHER**  
SCALE: N.T.S.



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System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		1-HR FIRE RATED ASSEMBLY INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-42-IW	
Dwn:	E.L.		



**DETAIL-TRANSITION FROM PLYWOOD TO CONCRETE SUBSTRATE-INCLEMENT WEATHER**

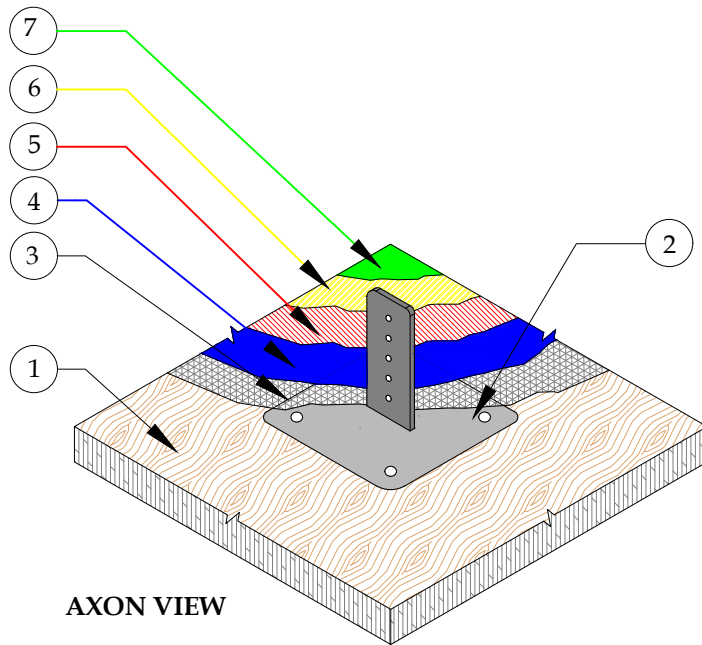
SCALE: NTS



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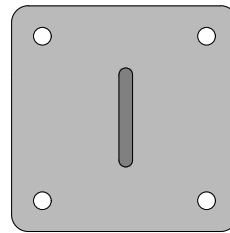
System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		TRANSITION FROM PLYWOOD TO CONCRETE SUBSTRATE INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-43-IW	
Dwn:	E.L.		



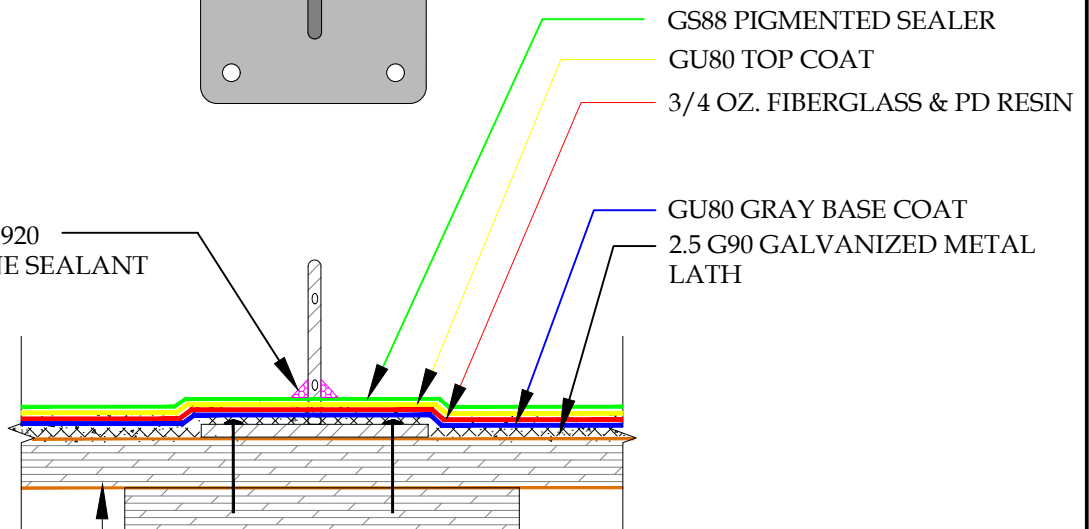
AXON VIEW

1. PLYWOOD DECK (SLOPED)
2. MOUNTING BRACKET
3. 2.5 G90 GALVANIZED METAL LATH
4. GU80 BASE COAT
5. 3/4 OZ. FIBERGLASS & PD RESIN
6. GU80 TOP COAT
7. GS88 PIGMENTED SEALER

PLAN VIEW



APPLY ASTM C-920  
POLYURETHANE SEALANT



5/8" MIN. EXPOSURE 1 SHEATHING  
(3/4" RECOMMENDED)  
SLOPE AFTER 1/4" PER 12"

BRACKET TO BE SUPPORTED  
BY BLOCKING UNDER THE  
EXPOSURE 1 SHEATHING

**DETAIL-WOOD DECK FINISH MOUNTING BRACKET-INCLEMENT WEATHER**

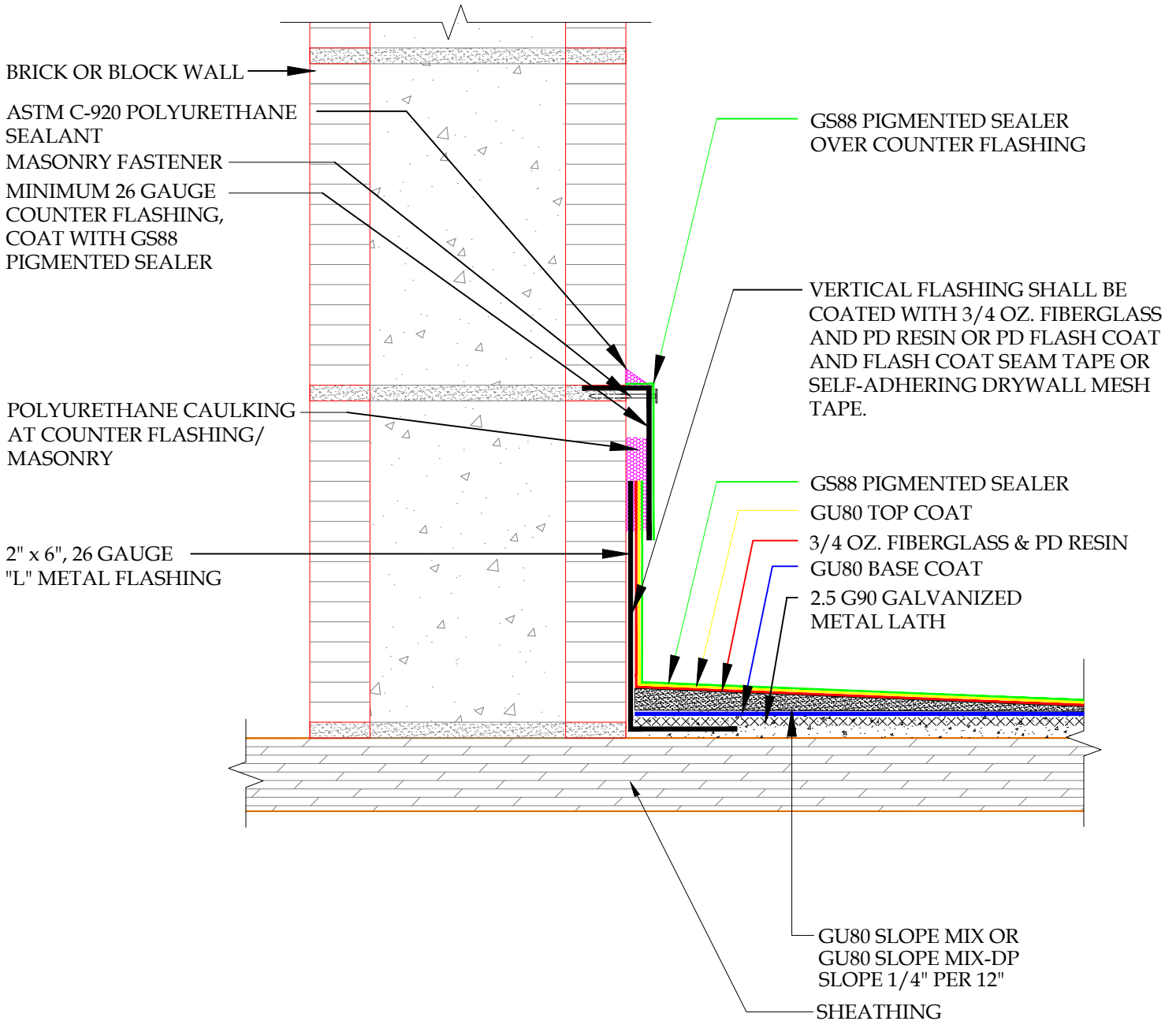
SCALE: N.T.S.



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System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		WOOD DECK FINISH MOUNTING BRACKET INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-44-IW	
Dwn:	E.L.		





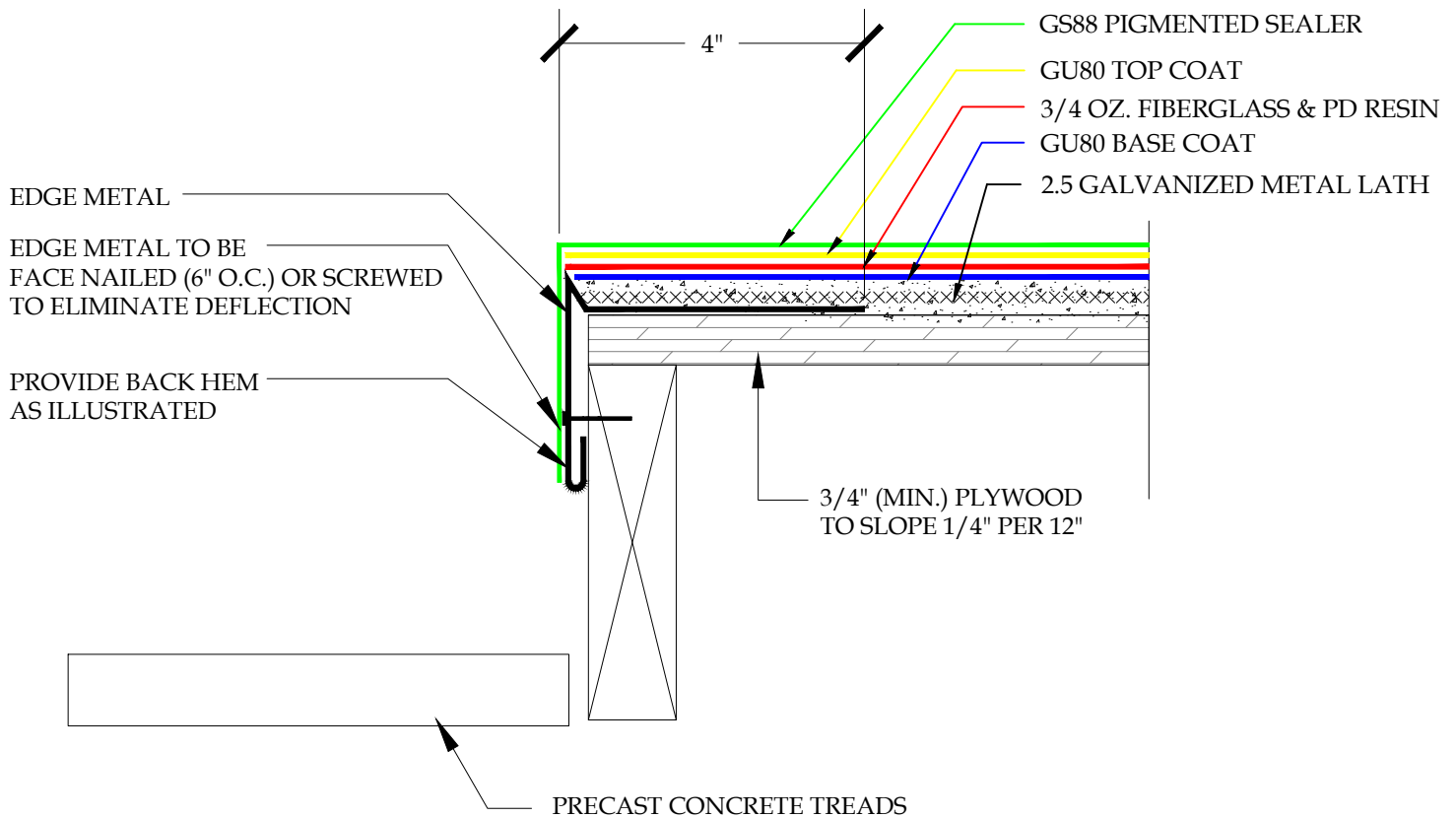
**DETAIL-BLOCK/BRICK TO DECK SLOPE-INCLEMENT WEATHER**

SCALE: N.T.S.



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System:	Pli-Dek System ICC-ES ESR-2097	
Detail:	BLOCK/BRICK TO DECK SLOPE-INCLEMENT WEATHER	
Job:		Drawing Number:
Date:	10/21/2020	PD-45-IW
Dwn:	E.L.	



DETAIL-EDGE METAL AT LANDING

SCALE: N.T.S.

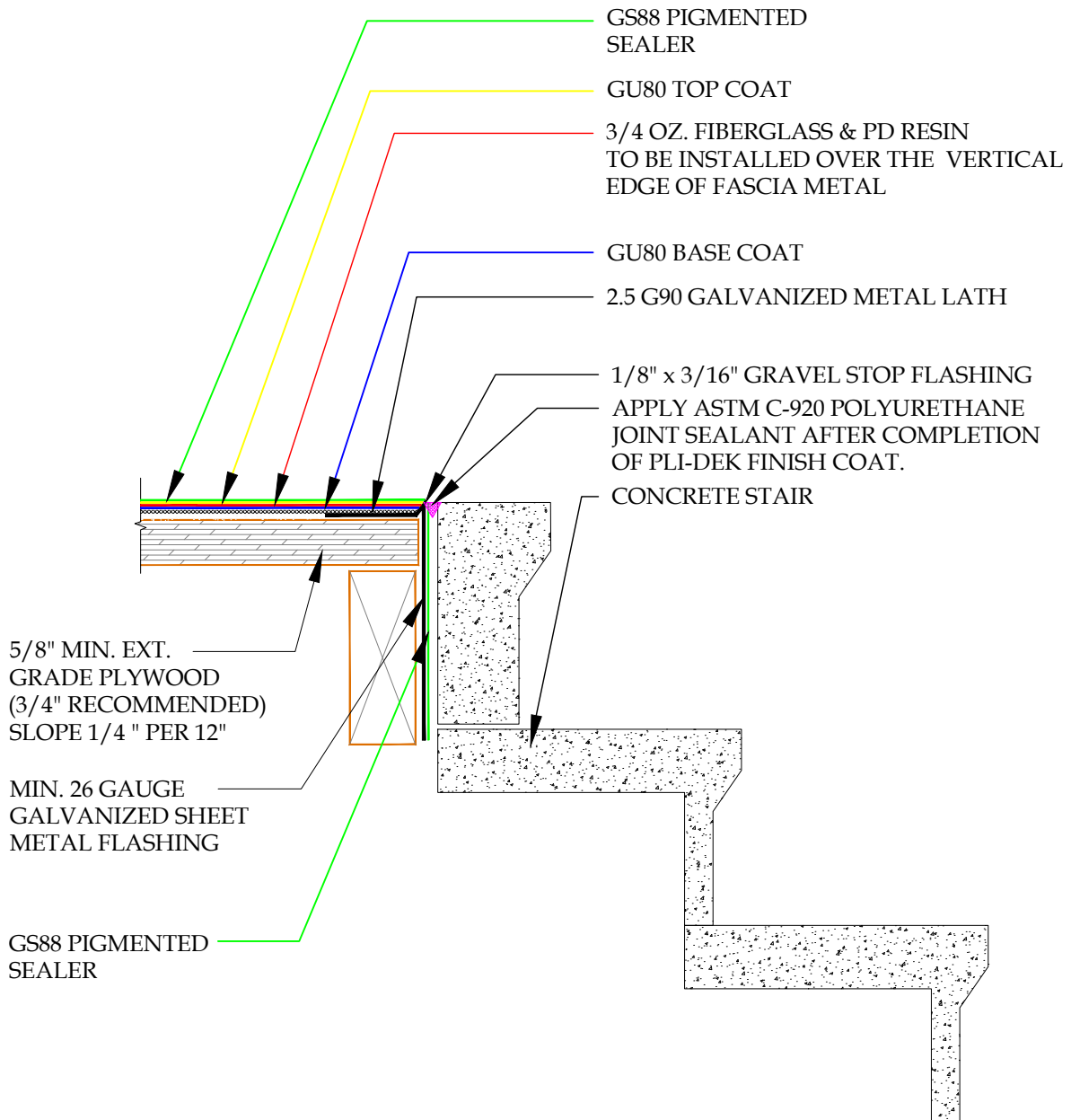


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System: Pli-Dek System  
 ICC-ES ESR-2097  
 Detail: EDGE METAL AT LANDING

Job: \_\_\_\_\_  
 Date: 10/21/2020  
 Dwn: E.L.

Drawing Number:  
**PD-46**



DETAIL-EDGE DETAIL AT VERTICAL CONCRETE STAIR RISER-  
PLYWOOD SUBSTRATE - INCLEMENT WEATHER

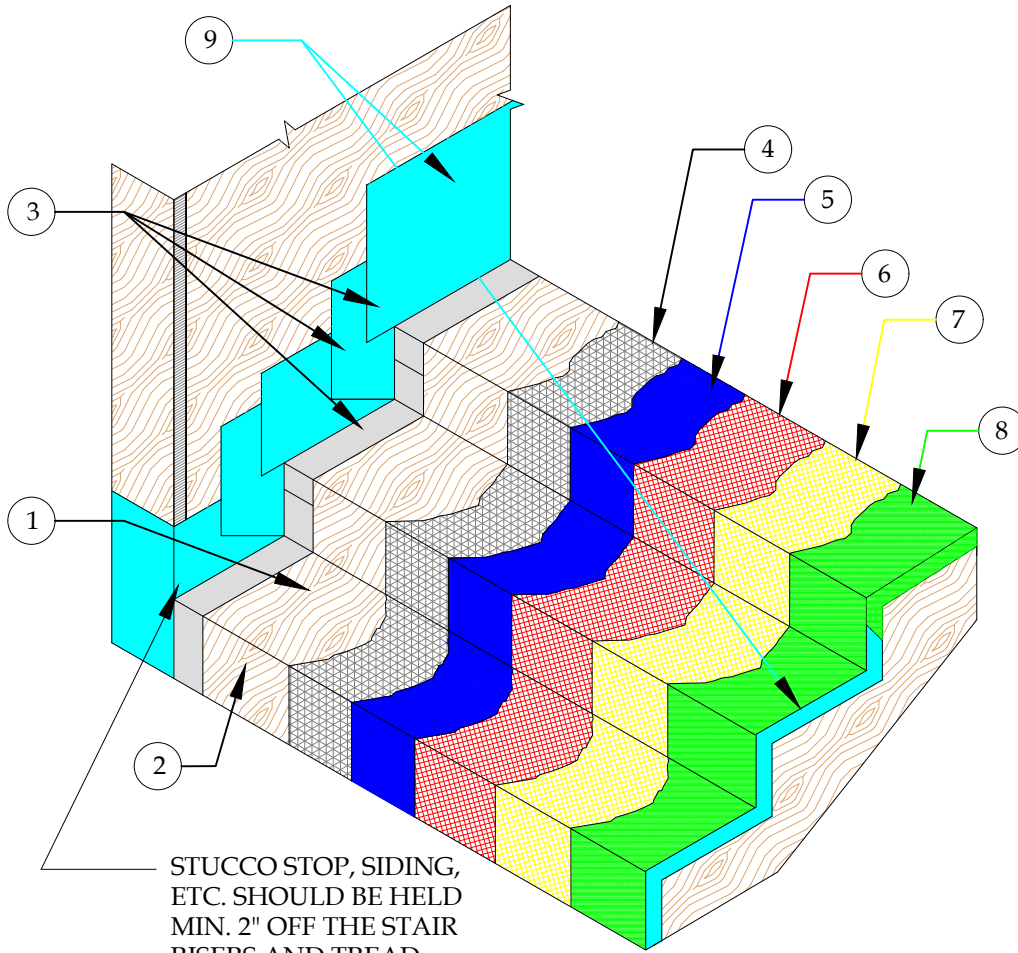
SCALE: N.T.S.



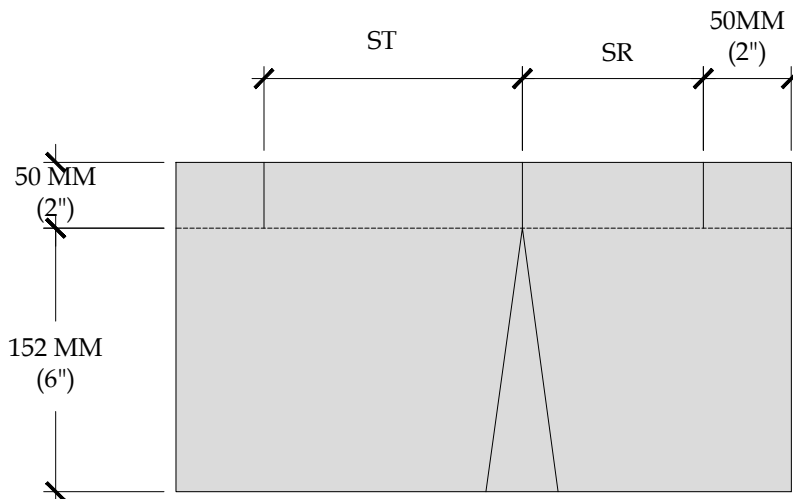
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System:		Pli-Dek System ICC-ES ESR-2097	
Detail:		EDGE DETAIL AT VERTICAL CONCRETE STAIR RISER-PLYWOOD SUBSTRATE INCLEMENT WEATHER	
Job:		Drawing Number:	
Date:	10/21/2020	PD-SA-1-1W	
Dwn:	E.L.		

1. PLYWOOD STAIR TREAD
2. PLYWOOD STAIR RISER
3. STANDARD 2" x 6", 26 GAUGE GALVANIZED FLASHING WITH SEALANT AT OVERLAPS
4. 2.5 G90 METAL LATH
5. GU80 BASE COAT
6. 3/4 OZ. FIBERGLASS & PD RESIN
7. GU80 TOP COAT
8. GS88 PIGMENTED SEALER
9. VERTICAL FLASHING SHALL BE COATED WITH FIBERGLASS AND PD RESIN OR PD FLASHCOAT AND FLASHCOAT SEAM TAPE OR SELF-ADHERING MESH TAPE



NOTE:  
STAIR NOSING OPTIONAL



NOTE:  
ST-STAIR TREAD DIMENSION  
SR-STAIR RISER DIMENSION

## DETAIL-STAIRWAY WALL FLASHING-INCLEMENT WEATHER

SCALE: N.T.S.



**PLI-DEK**  
WATERPROOFING SOLUTIONS  
150 Dascomb Rd., Andover, MA 01810  
Phone: 800.364.0287 \* Fax: 951.834.9555  
WWW.PLI-DEK.COM

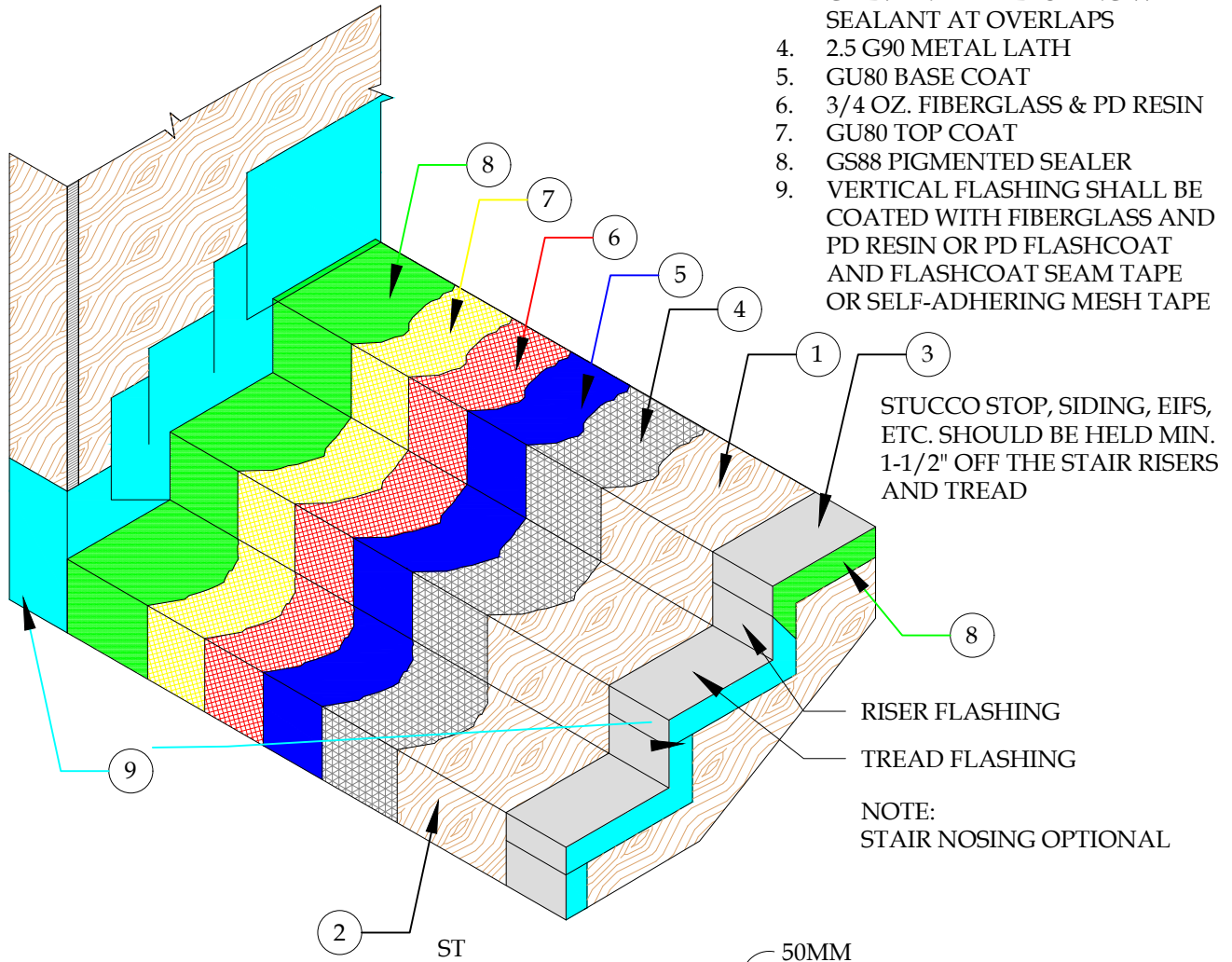
These waterproofing procedures are not to be used for permit and should be reviewed by the project architect. The waterproofing procedures are not complete plans or specifications and a professional design professional should be contacted prior to performing major waterproofing and repairs.

System: Pli-Dek System  
ICC-ES ESR-2097  
Detail: STAIRWAY WALL FLASHING  
INCLEMENT WEATHER

Job: \_\_\_\_\_  
Date: 10/21/2020  
Dwn: E.L.

Drawing Number:  
**PD-SA-2-IW**

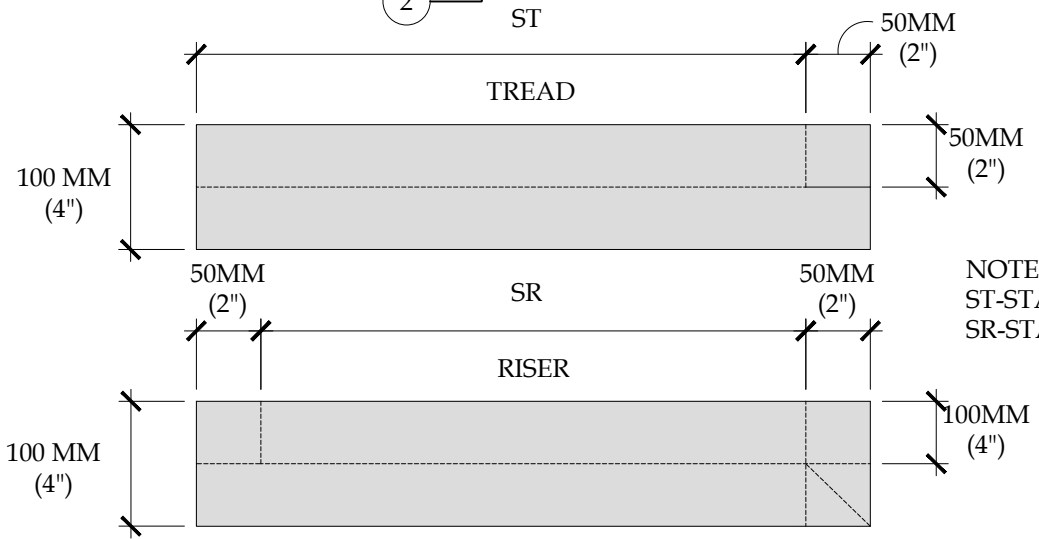
1. PLYWOOD STAIR TREAD
2. PLYWOOD STAIR RISER
3. STANDARD 2" x 6", 26 GAUGE GALVANIZED FLASHING WITH SEALANT AT OVERLAPS
4. 2.5 G90 METAL LATH
5. GU80 BASE COAT
6. 3/4 OZ. FIBERGLASS & PD RESIN
7. GU80 TOP COAT
8. GS88 PIGMENTED SEALER
9. VERTICAL FLASHING SHALL BE COATED WITH FIBERGLASS AND PD RESIN OR PD FLASHCOAT AND FLASHCOAT SEAM TAPE OR SELF-ADHERING MESH TAPE



STUCCO STOP, SIDING, EIFS, ETC. SHOULD BE HELD MIN. 1-1/2" OFF THE STAIR RISERS AND TREAD

RISER FLASHING  
TREAD FLASHING

NOTE:  
STAIR NOSING OPTIONAL



NOTE:  
ST-STAIR TREAD DIMENSION  
SR-STAIR RISER DIMENSION

### DETAIL-STAIRWAY FASCIA FLASHING-INCLEMENT WEATHER

SCALE: N.T.S.



**PLI-DEK**  
WATERPROOFING SOLUTIONS  
150 Dascomb Rd., Andover, MA 01810  
Phone: 800.364.0287 \* Fax: 951.834.9555  
WWW.PLI-DEK.COM

These waterproofing procedures are not to be used for permit and should be reviewed by the project architect. The waterproofing procedures are not complete plans or specifications and a professional design professional should be contacted prior to performing major waterproofing and repairs.

System: Pli-Dek System  
ICC-ES ESR-2097  
Detail: STAIRWAY FASCIA FLASHING  
INCLEMENT WEATHER

Job: \_\_\_\_\_  
Date: 10/21/2020  
Dwn: E.L.

Drawing Number:  
**PD-SA-3-IW**

---

**BID FORM****Reconstruction of Breezeways at Oaks at Riverview  
Apartments****FY22-IFB-05****Attention:**

The undersigned, having familiarized (him/herself) (themselves) with the local conditions affecting the cost of the work, and with the Detailed Scope of Work, including the Invitation to Bid; Instructions to Bidders, this Bid Form, the form of the Non-Collusive Affidavit; the form of the General Conditions; the Special Conditions; the Wage Determination, the Technical Specifications, The Construction Drawings, Addenda, if any and any other associated forms or documents thereto, on file in the Office of the Housing Authority, hereby proposes to furnish all labor, equipment, services, licenses, permits and material required, complete with all associated work required by the plans and specifications. Questions concerning bid documents shall be directed to the Housing Authority by e-mailing [bidderquestions@thafl.com](mailto:bidderquestions@thafl.com).

The following principles shall govern the competitive bidding process:

1. The Housing Authority will award the contract to the acceptable Contractor submitting the lowest responsive **Total Base Bid Amount**.
2. In the event an error is made totaling amounts listed on the bid form the award will be made on the basis of amounts correctly extended.
3. Bidders are required to bid on all items requested on the Bid Form. Failure to provide all information requested shall render the bid non-responsive.
4. All questions concerning the bid documents requiring additional information or clarification shall be submitted in writing to THA via e-mail at [bidderquestions@thafl.com](mailto:bidderquestions@thafl.com). All questions will be accepted until **Tuesday, April 25, 2023** and responded to in writing with addendum(s) issued to all prospective bidders via the THA website at <http://www.thafl.com/Departments/Contract-n-Procurement/Default.aspx>
5. The Housing Authority reserves the right to activate any alternate bids for a period of sixty days subsequent to the date of contract award.
6. All prices and information required on the bid form must be typewritten or written legibly in ink.

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**Bid Form**



**Bid Form**

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7. Any stipulations made as to the bidder's bid shall subject the bid to rejection. If bidder wishes to include additional information, bidder may do so with attachments. However, alternate proposals will not be considered unless specifically requested in these specifications.
  
8. Any bidder having a complaint or protest regarding this bid must submit the complaint or protest in writing to the Housing Authority's Contracting Officer eight (8) or more days prior to the date set for opening of bids. Any bidder protesting a bid opening must submit the protest in writing to the contracting officer no later than three (3) days after bid opening for the protest to be considered.

**BIDDER agrees to perform all the work described in these Contract Documents for the Reconstruction of Breezeways at Oaks at Riverview Apartments located at 7501 North Florida Avenue, Tampa, FL 33604:**

**Total Base Bid Amount:                                        \$ \_\_\_\_\_**

---

**Bid Form**



**Subcontractor List:** The Housing Authority requires bidders to identify subcontractors that have provided proposals for this bid and who may be considered if the contractor is the bid winner. This list of subcontractors shall demonstrate the level of commitment to achieving the Authority's stated MBE and Section 3 goals. The Authority realizes that firm commitments will not be made by the General Contractor until after the GC is announced as the successful bidder. The subcontractors on the list may therefore be modified by the GC subject to review by the Authority.

Subcontractor Name & Address	Type of Work Classification	Approx. Amount	License #	Ownership (check)		
				MBE	SECT. 3	LOCAL

**ADD ADDITIONAL PAGES AS NECESSARY**

- MBE** - Minority Business Enterprise as defined in Section 00810
- Section 3** - Section 3 Business Concern as defined in Section 00810
- Local** - A business who has a local, City of Tampa or Hillsborough County business office address.





**ADDENDA:**

Bidder hereby acknowledges the following addenda issued during the bidding period:

Addendum # 1 issued, \_\_\_\_\_  
(enter date of addendum, if any)

Addendum #2 issued, \_\_\_\_\_  
(enter date of addendum, if any)

In submitting this bid it is understood that the right is reserved by the Housing Authority to reject any and all bids. If written notice of the acceptance of this bid is mailed, telegraphed, or delivered to the undersigned within sixty (60) consecutive calendar days after the opening thereof, or at any time thereafter, before this bid is withdrawn, the undersigned agree to execute and deliver a contract in the prescribed form and furnish the required bond within ten (10) consecutive calendar days after the contract is presented to him/her for signature.

DATE \_\_\_\_\_ NAME OF BIDDER \_\_\_\_\_

SEAL BY \_\_\_\_\_

TITLE \_\_\_\_\_

ADDRESS \_\_\_\_\_

\_\_\_\_\_

STATE OF \_\_\_\_\_ PHONE \_\_\_\_\_

CITY OF \_\_\_\_\_ FEDERAL I.D. NUMBER \_\_\_\_\_

Subscribed and sworn to me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_

\_\_\_\_\_  
NOTARY PUBLIC

My Commission expires \_\_\_\_\_

**BID BOND**

Bond No: \_\_\_\_\_

KNOW ALL MEN BY THESE PRESENTS, That we, the undersigned

\_\_\_\_\_  
(Name of Principal)as **PRINCIPAL** (hereinafter called "Principal"), and\_\_\_\_\_  
(Name of Surety)

as **SURETY** (hereinafter called "Surety"), are hereby held and firmly bound unto the **HOUSING AUTHORITY OF THE CITY OF TAMPA** (hereinafter called "AUTHORITY") for the penal sum of \_\_\_\_\_ DOLLARS, lawful money of the United States, for the payment of which sum well and truly to be made, we hereby jointly and severally bind ourselves, our heirs, executors, administrators, personal representatives, successors and assigns, jointly and severally, firmly by these presents.

**THE CONDITION OF THIS OBLIGATION IS SUCH** that whereas the Principal has submitted an accompanying bid dated \_\_\_\_\_, 20\_\_\_\_ for the Project Contract number

\_\_\_\_\_  
(Insert Job Number)

**NOW, THEREFORE**, if the Principal shall not withdraw said bid within the period specified therein after the opening of the same, or, if no period be specified, within sixty (60) days after said opening, and shall in the period specified therefore, or if no period be specified, within ten (10) days after the prescribed forms are presented to him for signature, enter into a written contract with the Authority in accordance with the bids as accepted, and give bond with good and sufficient surety or sureties, as may be required for the faithful performance and proper fulfillment of such contract; or in the event of withdrawal of said bid within the period specified, or the failure to enter into such contract and give such bond within the time specified, the Principal shall pay the Authority the difference between the amount specified in said bid and the amount for which the Authority may procure the required work or supplies or both, if the latter amount be in excess of the former, then the above obligation shall be void and of no effect, otherwise to remain in full force and virtue.

**IN WITNESS WHEREOF**, the above bound parties have executed this instrument under their seals this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, the name and corporate seal of each corporate party being hereto affixed and these presents duly signed by its undersigned representative, pursuant to authority of its governing body.

---

**Bid Bond**



In presence of:

\_\_\_\_\_  
(Attest)

\_\_\_\_\_ (Seal)  
(Individual Principal)

\_\_\_\_\_  
(Business Address)

\_\_\_\_\_  
(Attest)

\_\_\_\_\_ (Seal)  
(Individual Principal)

\_\_\_\_\_  
(Business Address)

By \_\_\_\_\_ Affix Corporate Seal

\_\_\_\_\_  
(Attest:)

\_\_\_\_\_  
(Attest:)

\_\_\_\_\_  
(Corporate Surety)

By \_\_\_\_\_ Affix Corporate Seal

(Power of Attorney for person signing for Surety Company must be attached to bond)

**Bid Bond**

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**CERTIFICATE AS TO CORPORATE PRINCIPAL**

I, \_\_\_\_\_ certify that I am the  
Secretary of the corporation named as Principal in the within bond: That

\_\_\_\_\_  
who signed the bond on behalf of the Principal , was then

\_\_\_\_\_  
of said corporation; that I know his/her/hers signature thereto is genuine; and that said bond was duly signed, sealed, and attested to for and in behalf of said corporation by authority of its governing body

\_\_\_\_\_ (Corporate Seal).

This Page is intentionally Left Blank

**END OF BID BOND**

# Representations, Certifications, and Other Statement of Bidders - Public and Indian Housing Programs

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**1. Certificate of Independent Price Determination**

(a) The bidder certifies that -

(1) The prices in this bid have been arrived at independently, without, for the purpose of restricting competition, any consultation, communication, or agreement with any other bidder of competitor relating to (i) those prices, (ii) the intention to submit a bid, or (iii) the methods or factors used to calculate the prices offered;

(2) The prices in this bid have not been and will not be knowingly disclosed by the bidder, directly or indirectly, to any other bidder or competitor before bid opening (in the case of a sealed bid solicitation) or contract award (in the case of a competitive proposal solicitation) unless otherwise required by law; and

(3) No attempt has been made or will be made by the bidder to induce any other concern to submit or not to submit a bid for the purpose of restricting competition.

(b) Each signature on the bid is considered to be a certification by the signatory that the signatory -

(1) Is the person in the bidder's organization responsible for determining the prices being offered in this bid or proposal, and that the signatory has not participated and will not participate in any action contrary to subparagraphs (a) (1) through (a)(3) above; or

(2) (i) Has been authorized, in writing, to act as agent for the following principals in certifying that those principals have not participated, and will not participate in any action contrary to subparagraphs (a)(1) through (a)(3) above.

\_\_\_\_\_ [insert full name of person(s) in the bidder's organization responsible for determining the prices offered in this bid or proposal, and the title of his or her position in the bidder's organization];

(ii) As an authorized agent, does certify that the principals named in subdivision (b)(2)(i) have not participated, and will not participate, in any action contrary to subparagraphs (a)(1) through (a)(3) above; and

(iii) As an agent, has not personally participated, and will not participate in any action contrary to subparagraphs (a)(1) through (a)(3) above.

(c) If the bidder deletes or modifies subparagraph (a)2 above, the bidder must furnish with its bid a signed statement setting forth in detail the circumstances of the disclosure.

[Contracting Officer check if following paragraph is applicable]

(d) Non-collusive affidavit. (Applicable to contracts for construction and equipment exceeding \$50,000)

(1) Each bidder shall execute, in the form provided by the PHA/IHA, an affidavit to the effect that he/she has not colluded with any other person, firm or corporation in regard to any bid submitted in response to this solicitation. If the successful bidder did not submit the affidavit with his/her bid, he/she must submit it within three (3) working days of bid opening. Failure to submit the affidavit by that date may render the bid nonresponsive. No contract award will be made without a properly executed affidavit.

(2) A fully executed "Non-collusive Affidavit" [ ] is, [ ] is not included with this bid.

**2. Contingent Fee Representation and Agreement**

(a) Definitions. As used in this provision:

"Bona fide employee" means a person, employed by a bidder and subject to the bidder's supervision and control as to time, place, and manner of performance, who neither exerts, nor proposes to exert improper influence to solicit or obtain contracts nor holds out as being able to obtain any contract(s) through improper influence.

"Improper influence" means any influence that induces or tends to induce a PHA/IHA employee or officer to give consideration or to act regarding a PHA/IHA contract on any basis other than the merits of the matter.

(b) The bidder represents and certifies as part of its bid that, except for full-time bona fide employees working solely for the bidder, the bidder:

(1)  has,  has not employed or retained any person or company to solicit or obtain this contract; and

(2)  has,  has not paid or agreed to pay to any person or company employed or retained to solicit or obtain this contract any commission, percentage, brokerage, or other fee contingent upon or resulting from the award of this contract.

(c) If the answer to either (a)(1) or (a)(2) above is affirmative, the bidder shall make an immediate and full written disclosure to the PHA/IHA Contracting Officer.

(d) Any misrepresentation by the bidder shall give the PHA/IHA the right to (1) terminate the contract; (2) at its discretion, deduct from contract payments the amount of any commission, percentage, brokerage, or other contingent fee; or (3) take other remedy pursuant to the contract.

### **3. Certification and Disclosure Regarding Payments to Influence Certain Federal Transactions** (applicable to contracts exceeding \$100,000)

(a) The definitions and prohibitions contained in Section 1352 of title 31, United States Code, are hereby incorporated by reference in paragraph (b) of this certification.

(b) The bidder, by signing its bid, hereby certifies to the best of his or her knowledge and belief as of December 23, 1989, that:

(1) No Federal appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress on his or her behalf in connection with the awarding of a contract resulting from this solicitation;

(2) If any funds other than Federal appropriated funds (including profit or fee received under a covered Federal transaction) have been paid, or will be paid, to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress on his or her behalf in connection with this solicitation, the bidder shall complete and submit, with its bid, OMB standard form LLL, "Disclosure of Lobbying Activities;" and

(3) He or she will include the language of this certification in all subcontracts at any tier and require that all recipients of subcontract awards in excess of \$100,000 shall certify and disclose accordingly.

(c) Submission of this certification and disclosure is a prerequisite for making or entering into this contract imposed by section 1352, title 31, United States Code. Any person who makes expenditure prohibited under this provision or who fails to file or amend the disclosure form to be filed or amended by this provision, shall be subject to a civil penalty of not less than \$10,000, and not more than \$100,000, for each such failure.

(d) Indian tribes (except those chartered by States) and Indian organizations as defined in section 4 of the Indian Self-Determination and Education Assistance Act (25 U.S.C. 450B) are exempt from the requirements of this provision

### **4. Organizational Conflicts of Interest Certification**

The bidder certifies that to the best of its knowledge and belief and except as otherwise disclosed, he or she does not have any organizational conflict of interest which is defined as a situation in which the nature of work to be performed under this proposed contract and the bidder's organizational, financial, contractual, or other interests may, without some restriction on future activities:

- (a) Result in an unfair competitive advantage to the bidder; or
- (b) Impair the bidder's objectivity in performing the contract work.

[ ] In the absence of any actual or apparent conflict, I hereby certify that to the best of my knowledge and belief, no actual or apparent conflict of interest exists with regard to my possible performance of this procurement.

### **5. Bidder's Certification of Eligibility**

(a) By the submission of this bid, the bidder certifies that to the best of its knowledge and belief, neither it, nor any person or firm which has an interest in the bidder's firm, nor any of the bidder's subcontractors, is ineligible to:

(1) Be awarded contracts by any agency of the United States Government, HUD, or the State in which this contract is to be performed; or,

(2) Participate in HUD programs pursuant to 24 CFR Part 24.

(b) The certification in paragraph (a) above is a material representation of fact upon which reliance was placed when making award. If it is later determined that the bidder knowingly rendered an erroneous certification, the contract may be terminated for default, and the bidder may be debarred or suspended from participation in HUD programs and other Federal contract programs.

### **6. Minimum Bid Acceptance Period**

(a) "Acceptance period", as used in this provision, means the number of calendar days available to the PHA/IHA for awarding a contract from the date specified in this solicitation for receipt of bids.

(b) This provision supersedes any language pertaining to the acceptance period that may appear elsewhere in this solicitation.

(c) The PHA/IHA requires a minimum acceptance period of sixty (60) consecutive calendar days.

(d) In the space provided immediately below, bidders may specify a longer acceptance period than the PHA's/IHA's minimum requirement. The bidder allows the following acceptance period: \_\_\_\_\_ calendar days.



(e) A bid allowing less than the PHA's/IHA's minimum acceptance period will be rejected.

(f) The bidder agrees to execute all that it has undertaken to do, in compliance with the bid, if that bid is accepted in writing within (1) the acceptance period stated in paragraph (c) above or (2) any longer acceptance period stated in paragraph (d) above.

7. Small, Minority, Women-Owned Business Concern Representation

The bidder represents and certifies as part of its bid/offer that it -

(a) [ ] is, [ ] is not a small business concern. "Small business concern," as used in this provision, means a concern, including its affiliates, that is independently owned and operated, not dominant in the field of operation in which it is bidding, and qualified as a small business under the criteria and size standards in 13 CFR 121.

(b) [ ] is, [ ] is not a women-owned business enterprise. "Women-owned business enterprise," as used in this provision, means a business that is at least 51 percent owned by a woman or women who are U.S. citizens and who also control and operate the business.

(c) [ ] is, [ ] is not a minority business enterprise. "Minority business enterprise," as used in this provision, means a business which is at least 51 percent owned or controlled by one or more minority group members or, in the case of a publicly-owned business, at least 51 percent of its voting stock is owned by one or more minority group members, and whose management and daily operations are controlled by one or more such individuals. For the purpose of this definition, minority group members are:

- (Check the block applicable to you)
[ ] Black Americans [ ] Asian Pacific Americans
[ ] Hispanic Americans [ ] Asian Indian Americans
[ ] Native Americans [ ] Hasidic Jewish Americans

8. Indian-Owned Economic Enterprise and Indian Organization Representation

(applicable only if this solicitation is for a contract to be performed on a project for an Indian Housing Authority)

The bidder represents and certified that it:

(a) [ ] is, [ ] is not an Indian-owned economic enterprise. "Economic enterprise," as used in this provision, means any commercial, industrial, or business activity established or organized for the purpose of profit, which at least 51 percent Indian is owned. "Indian," as used in this provision, means any person who is a member of any tribe, band, group, pueblo, or community which is recognized by the Federal Government as eligible for services for the Bureau of Indian Affairs and "Native" as defined in the Alaska Native Claims Settlement Act.

(b) [ ] is, [ ] is not an Indian organization. "Indian organization," as used in this provision, means the governing body of any Indian tribe or entity established or recognized by such governing body. Indian "tribe" means any Indian tribe, band, group, pueblo, or community including Native villages and Native groups (including corporations organized by Kenai, Juneau, Sitka, and Kodiak) as defined in the Alaska Native Claims Settlement Act, which is recognized by the Federal Government as eligible

for services from the Bureau of Indian Affairs.

9. Certification of Eligibility Under the Davis-Bacon Act (applicable to construction contracts exceeding \$2,000)

a. By the submission of this bid, the bidder certifies that neither it nor any person or firm who has an interest in the bidder's firm is a person or firm ineligible to be awarded contracts by the United States Government by virtue of section 3(a) of the Davis-Bacon Act or 29 CFR 5.12(a)(1).

(b) No part of the contract resulting from this solicitation shall be subcontracted to any person or firm ineligible to be awarded contracts by the United States Government by virtue of section 3(a) of the Davis-Bacon Act or 29 CFR 5.12(a)(1).

(c) The penalty for making false statements is prescribed in the U.S. Criminal Code, 18 U.S.C. 1001.

10. Certification of Nonsegregated Facilities (applicable to contracts exceeding \$10,000)

(a) The bidder's attention is called to the clause entitled Equal Employment Opportunity of the General Conditions of the Contract for Construction.

(b) "Segregated facilities," as used in this provision, means any waiting rooms, work areas, rest rooms and wash rooms, restaurants and other eating areas, time clocks, locker rooms and other storage or dressing areas, parking lots, drinking fountains, recreation or entertainment areas, transportation, and housing facilities provided for employees, that are segregated by explicit directive or are in fact segregated on the basis of race, color, religion, or national origin because of habit, local custom, or otherwise.

(c) By the submission of this bid, the bidder certifies that it does not and will not maintain or provide for its employees any segregated facilities at any of its establishments, and that it does not and will not permit its employees to perform their services at any location under its control where segregated facilities are maintained. The bidder agrees that a breach of this certification is a violation of the Equal Employment Opportunity clause in the contract.

(d) The bidder further agrees that (except where it has obtained identical certifications from proposed subcontractors for specific time periods) prior to entering into subcontracts which exceed \$10,000 and are not exempt from the requirements of the Equal Employment Opportunity clause, it will -

- (1) Obtain identical certifications from the proposed subcontractors;
(2) Retain the certifications in its files; and
(3) Forward the following notice to the proposed subcontractors (except if





the proposed subcontractors have submitted identical certifications for specific time periods:

**11. Notice to Prospective Subcontractors of Requirement for Certifications of Nonsegregated Facilities**

A Certification of Nonsegregated Facilities must be submitted before the award of a subcontract exceeding \$10,000 which is not exempt from the provisions of the Equal Employment Opportunity clause of the prime contract. The certification may be submitted either for each subcontract or for all subcontracts during a period (i.e., quarterly, semiannually, or annually).

**Note:** The penalty for making false statements in bids is prescribed in 18 U.S.C. 1001.

**12. Clean Air and Water Certification (applicable to contracts exceeding \$100,000)**

The bidder certifies that:

(a) Any facility to be used in the performance of this contract  is,  is not listed on the Environmental Protection Agency List of Violating Facilities;

(b) The bidder will immediately notify the PHA/IHA Contracting Officer, before award, of the receipt of any communication from the Administrator, or a designee, of the Environmental Protection Agency, indicating that any facility that the bidder proposes to use for the performance of the contract is under consideration to be listed on the EPA List of Violating Facilities; and

(c) The bidder will include a certification substantially the same as this certification, including this paragraph (c), in every nonexempt subcontract.

**13. Bidder's Signature**

The bidder hereby certifies that the information contained in these certifications and representations is accurate, complete, and current.

\_\_\_\_\_  
(Signature and Date)

\_\_\_\_\_  
(Typed or Printed Name)

\_\_\_\_\_  
(Title)

\_\_\_\_\_  
(Company Name)

**END OF HUD FORM 5369-A (11/92)**



## STATEMENT OF BIDDER'S QUALIFICATIONS

All questions must be answered and the data provided must be clear and comprehensive. This statement must be notarized. If necessary add separate sheets for items requiring additional explanations. This information must be submitted in a separate sealed envelope marked "Bidder's Qualifications" and inserted inside the sealed Bid envelope. In the event your bid is not selected for award, this envelope will be returned to the Bidder unopened.

### SECTION 1: General Information

1. Name of Bidder.
2. Permanent main office address.
3. Date Organized.
4. State in which Bidder is incorporated.
5. Submit your license # for the Contractor's licensing that conforms to the Bid requirements.
6. Number of years you have been engaged in the contracting business under your present firm name.

### SECTION 2: Contracting Experience and Past Performance

7. Describe the general character of work normally performed by your company. *Do not exceed one (1) page.*
8. Provide a schedule of all current contracts,

For each contract provide the following:

- a. Contract title.
- b. A general description of the work.
- c. Owner.
- d. Name of Owner's representative, title, address and phone number.
- e. Contract amount.
- f. Contractual start and completion date
- g. The approximate % and dollar amount of work completed.
- h. % of work self performed
- i. Identify any Owner MBE and/or Section 3 contractual goals
- j. % of work and dollar value performed by MBE and/or Section 3 Contractors



## Statement of Bidder's Qualifications

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9. Describe any past experience your firm may have had of a similar nature to this project. (List each project, number of units or square foot demolished, address, contract amount, contract duration, name and contact information of owner or owner's representative.
10. Has your firm ever failed to complete any work awarded to you? If so, provide information regarding for whom, where, and why?
11. Has your firm ever defaulted on a contract? If so, provide information regarding for whom, where, and why?
12. Describe your company's senior management involvement in ensuring customer satisfaction. Describe your firm's plan for ensuring customer satisfaction for this contract. *Do not exceed two (2) pages.*
13. Provide any additional information or statements that you feel will demonstrate your firm's ability to successfully manage this contract and multiple trade Subcontractors. Information and statements will be considered with particular attention paid to demonstrate past experience with regard to mechanical, electrical, and commercial Contracts. *Do not exceed two (2) pages.*

### **SECTION 3: Quality Control Plan**

14. Describe the specific qualifications of each member of your quality control staff. Indicate their levels of authority to redirect or put a stop to work and on what basis. *Do not exceed two (2) pages.*
15. Describe the detailed procedures to be followed by your quality control staff in visiting the sites; documenting the progress and quality of work; directing subcontractors in the correction of deficiencies; and directing work in the event of problems, design changes, change orders, etc. *Do not exceed three (3) pages.*
16. Describe the approach your firm will utilize to inspect work and correct deficiencies prior to Authority staff being informed that the work is ready for inspection. *Do not exceed two (2) pages.*

### **SECTION 5: Subcontractor and Section 3 Utilization/Management**

17. Provide a description of the provisions your firm will institute regarding your bonding and insurance requirements, imposed on your Subcontractors, that will enhance the viability of Subcontract opportunities for small, minority and Section 3 Subcontractors and make such requirements more attainable for said Subcontractors. *Do not exceed one (1) page.*



**Statement of Bidder's Qualifications**

18. Describe your firm's policy of making progress payments to small, minority and Section 3 Subcontractors that will enhance the viability of Subcontract opportunities with your firm and allow you to maximize your firm's utilization of such businesses. *Do not exceed one (1) page.*

19. Describe your plan for coordinating and controlling Subcontractors (see previous assumptions in the Statement of Bidder's qualification section of these Contract Documents). Focus specifically on your plan to ensure that subcontractors show up on the job site every day they are scheduled, with appropriate staff and materials, and make reasonable progress. The Authority is particularly interested in a plan that demonstrates capabilities to accomplish the majority of the supervision and management tasks early each workday to minimize elapsed unproductive time. *Do not exceed two (2) pages.*

20. Authority is interested in the Bidder demonstrating past experience in subcontracting to and managing a significant number of trade Contractors. Provide a representative list of Subcontractors you intend to use or solicit bids from during the duration of this contract. For each Subcontractor, list the city and state of its office location. Authority recommends that to demonstrate adequate capability, at a minimum, identify one contractor for each trade area listed below or note your intent to self-perform in that specific trade area. In addition, Authority will give significant attention as to whether or not those listed are local (Tampa metro area) subcontractors, MBE or Section 3 Contractors and if the Bidder has demonstrated experience and/or knowledge of the local and MBE subcontractor market.

a. Trade Areas: Demolition, earthwork, carpentry, concrete, masonry, roofing, painting, flooring, drywall finishing, mechanical/plumbing, electrical, lead paint abatement, and asbestos abatement, final cleaning, hauling, and principal material suppliers.

b. For each trade firm listed in (a) above indicate the most recent project you have worked together on, and provide the approximate dates.

c. Provide the information in a table format, similar to the example below:

<u>Trade</u>	<u>Sub Name</u>	<u># of Times</u>					<u>Most Recent</u>
		<u>Used</u>	<u>MBE</u>	<u>Section 3</u>	<u>Local</u>		
<u>Project/Date</u>							
Demolition	ACME Wrecking	6	X	N/A	Yes	NBH 1999	

21. Provide a description of your plan to market subcontract opportunities to the MBE subcontractor community and to market employment opportunities to Section 3 Employees (see Supplemental General Conditions section of these Contract Documents for definition of MBE Contractors, and Section 3 Employees). Provide a summary of any past successes Subcontracting to MBE Subcontractors and hiring Section 3 Employees. For each example cited, provide a brief description and an

**Statement of Bidder's Qualifications**



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## Statement of Bidder's Qualifications

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Owner Contact and phone number so that the Authority may verify the event occurrence and the achievement cited. *Do not exceed three (3) pages.*

22. To demonstrate the ability to meet the requirements of this contract and the service expectations of Authority, the Bidder shall provide audited *or* CPA prepared (by a CPA not employed by your firm) Financial Statements for the most recently completed fiscal year (**no later than twelve months ago**).

**Provide evidence of available credit in sufficient amount to complete the requirements of this Contract (typical form would be a letter from a credit source).**

**END OF STATEMENT OF BIDDER'S QUALIFICATIONS**

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**Statement of Bidder's Qualifications**



**NON COLLUSIVE AFFIDAVIT**

State of \_\_\_\_\_ )

County of \_\_\_\_\_ )

\_\_\_\_\_, being first duly sworn,  
(Printed Name)

deposes and says,

That he/she is \_\_\_\_\_  
(Owner, Partner, Officer, Representative or Agent)

the party making the foregoing proposal or bid is genuine and not collusive or sham; that the said bidder has not colluded, conspired, connived or agreed, directly or indirectly, with any bidder or person to put in a sham bid or to refrain from bidding, and has not in any manner, directly or indirectly, sought by agreement or collusion, or communication, or conference, with any person, to fix the bid price or any other bidder, to fix any overhead, profit or cost element of said bid price, or that of any other bidder, or to secure any advantage against the Housing Authority of the City of Tampa or any person interested in the proposed contract; and that all statements in said proposal or bid are true.

SIGNATURE \_\_\_\_\_

TITLE \_\_\_\_\_

COMPANY NAME \_\_\_\_\_

Bidder, if the Bidder is an Individual  
Partner, if the Bidder is a Partnership  
Officer, if the Bidder is a Corporation

Subscribed & sworn to before me

This \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

My Commission expires \_\_\_\_\_, 20\_\_\_\_.

**END OF NON COLLUSIVE AFFIDAVIT**



## SWORN STATEMENT UNDER SECTION A FLORIDA STATUTES ON PUBLIC ENTITY CRIMES

(To be signed in the presence of notary public or other officer authorized to administer oaths.)

Before me, the undersigned authority, personally appeared \_\_\_\_\_  
who, being by me first duly sworn, made the following statement:

1. The business address of  
(name of Offeror or business) is.
2. My relationship to \_\_\_\_\_ (name of Offeror or business) is  
\_\_\_\_\_. (Relationship such as sole proprietor, partner, president,  
vice president).
3. I understand that a public entity crime as defined in Section 287.133 of the Florida Statutes includes a violation of any state or federal law by a person with respect to and directly related to the transaction of business with any public entity in Florida or with an agency or political subdivision of any other state or with the United States, including, but not limited to, any proposal or contract for goods or services to be provided to any public entity or such an agency or political subdivision and involving antitrust, fraud, theft, bribery, collusion, racketeering, conspiracy or material misrepresentation.
4. I understand that "convicted" or "conviction" is defined by the Florida Statutes to mean a finding of guilt or a conviction of a public entity crime, with or without an adjudication of guilt, in any federal or state trial court of record relating to charges brought by indictment or information after July 1, 1989, as a result of a jury verdict, non-jury trial, or entry of a plea of guilt or no contest.
5. I understand that "affiliate" is defined by the Florida Statutes to mean (1) a predecessor or successor of a person or a corporation convicted of a public entity crime, or (2) an entity under the control of any natural person who is active in the management of the entity and who has been convicted of a public entity crime, or (3) those officers, directors, executives, partners, shareholders, employees, members, and agents who are active in the management of an affiliate, or (4) a person or corporation who knowingly entered into a joint venture with a person who has been convicted of a public entity crime in Florida during the preceding 36 months.
6. Neither the Offeror or contractor, nor any officer, director, executive, partner, shareholder, employee, member or agent who is active in the management of the Offeror or contractor, nor any affiliate of the Offeror or contractor has been convicted of a public entity crime subsequent to July 1, 1989. (Draw a line through paragraph 6 if paragraph 7 below applies.)



7. There has been a conviction of a public entity crime by the Offeror or contractor, or an officer, director, executive, partner, shareholder, employee, member or agent of the Offeror or contractor who is active in the management of the Offeror or contractor or an affiliate of the Offeror or contractor. A determination has been made pursuant to Section 287.133(3) by order of the Division of Administrative Hearings that it is not in the public interest for the name of the convicted person or affiliate to appear on the convicted vendor list. The name of the convicted person or affiliate is \_\_\_\_\_ a copy of the order of the Division of Administrative Hearings is attached to this statement. (Draw a line through paragraph 7 if paragraph 6 above applies.)

\_\_\_\_\_

(Signature)

\_\_\_\_\_

(Print name)

STATE OF  
COUNTY OF

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_ by \_\_\_\_\_, who is personally known to me or who has produced \_\_\_\_\_ as identification and who did take an oath.

\_\_\_\_\_ Notary Public

My Commission Expires: \_\_\_\_\_





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## **Section 3 & MBE Compliance Certification Forms**

### **Section 3 & MBE Compliance Certification Forms**

The certifications herein are to be submitted with the Bid. See Section 00810 – Special Conditions for explanation of Section and MBE Definitions, Policies and Procedures.



**Section 3 & MBE Compliance Certification Forms**

*To Be Submitted For Each New Section 3 Business Subcontract*

**Housing Authority of the City of Tampa  
Section 3 Program**

*Certification for Business Concerns Seeking Section 3 Preference*

Name of Business: \_\_\_\_\_

Address of Business: \_\_\_\_\_  
\_\_\_\_\_

Type of Section 3 Business:

- Corporation
- Partnership
- Sole Proprietorship
- Joint Venture

Name and Address of Section 3 Resident(s) in 51% Ownership Position:  
\_\_\_\_\_  
\_\_\_\_\_

Attached is the following documentation as evidence of Section 3 status (as appropriate):

For person claiming status as a Section 3 Resident:

- Copy of resident lease with Housing Authority of the City of Tampa
- Copy of receipt of public assistance
- Evidence of participation in public assistance program
- Other evidence, as appropriate

For the Section 3 Business entity as applicable:

- Copy of resident lease with Housing Authority of the City of Tampa
- Assumed business name certificate
- List of Owners/stockholders and % ownership of each
- Organizational chart w/names, titles & functional statement
- Certificate of good standing
- Partnership agreement
- Corporation annual report
- Latest board minutes appointing officers
- Additional documentation

Attested by: \_\_\_\_\_

CORPORATE SEAL

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

**HOUSING AUTHORITY OF THE CITY OF TAMPA**



**Section 3 & MBE Compliance Certification Forms**

**SECTION 3 PROGRAM**

*Contractor Certification of Efforts to Fully Comply with Employment and Training Provisions of Section 3 (P&D99-52)*

The bidder represents and certifies as part of its bid/offer that it:

- Is a Section 3 Business concern.**  
A Section 3 Business concern means a business concern:
  1. That is 51% or more owned by Section 3 Resident(s); or
  2. Whose permanent, full-time employees include persons, at least 30% of whom are currently Section 3 residents, or within the last three years of the date of first employment with the business concern were Section 3 residents; or
  3. That provides evidence of a commitment to subcontract in excess of 25% of the dollar value of all subcontracts to be awarded to business concerns that meet the qualifications set forth in paragraphs 1 or 2 herein.

**Is Not a Section 3 Business concern but who has and will continue to seek compliance with Section 3 by certifying to the following efforts as being undertaken.**

**EFFORTS TO AWARD SUBCONTRACTOR TO SECTION 3 CONCERNS:**

(Check ALL that apply)

- 
- By contacting business assistance agencies, minority contractors associations and community organizations to inform them of the contracting opportunities and requesting their assistance in identifying Section 3 businesses which may solicit bids for a portion of the work
- By advertising contracting opportunities by posting notices, which provide general information about the work to be contracted and where to obtain additional information, in the common areas of the applicable development(s) owned and managed by the Housing Authority
- By providing written notice to all known Section 3 business concerns of contracting opportunities. This notice should be in sufficient time to allow the Section 3 business concerns to respond to bid invitations
- By following up with Section 3 business concerns that have expressed interest in the contracting opportunities

By coordinating meetings at which Section 3 business concerns could be informed of specific elements of the work for which subcontract bids are being sought

- By conducting workshops on contracting procedures and specific contracting opportunities in a timely manner so that Section 3 business concerns can take advantage of contracting opportunities
- By advising Section 3 business concerns as to where they may seek assistance to overcome barriers such as inability to obtain bonding, lines of credit, financing, or insurance, and aiding Section 3 businesses in qualifying for such bonding, financing, insurance, etc.
- Where appropriate, by breaking out contract work into economically feasible units to facilitate participation by Section 3 businesses
- By developing and utilizing a list of eligible Section 3 business concerns
- By actively supporting and undertaking joint ventures with Section 3 businesses

**EFFORTS TO PROVIDE TRAINING AND EMPLOYMENT TO SECTION 3 RESIDENTS:**

(Check ALL that apply)

- By entering into a "first source" hiring agreements with organizations representing Section 3 residents
- By establishing training programs, which are consistent with the requirements of the Department of Labor, specifically for Section 3 residents in the building trades
- By advertising employment and training positions to dwelling units occupied by Category 1 and 2 residents
- By contacting resident councils and other resident organizations in the affected housing development to request assistance in notifying residents of the training and employment positions to be filled
- By arranging interviews and conducting interviews on the job site
- By undertaking such continued job-training efforts as may be necessary to ensure the continued employment of Section 3 residents previously hired for employment opportunities

\_\_\_\_\_  
Authorized Signature of the Bidder & Date

**SELECTION 3 AND MBE  
PRE-AWARD COMPLIANCE CERTIFICATION  
(ORED FORM 99-17)**



## Section 3 Contractor List

Company Name	Services Provided	Contact Name	Company Address	Phone #	Email
3-Vets, Inc.	Construction Painting, Window/Doors Install	Reggie Tim	1907 E. Hillsborough Ave., Suite 101 Tampa, FL 33610	813-237-8387	<a href="mailto:vetlinds@aol.com">vetlinds@aol.com</a>
AIRMAX1, Inc.	A/C Service and Repairs	Eloy Rojas	PO Box 263394 Tampa, FL 33685	813-385-1867	<a href="mailto:Airmax1ac@yahoo.com">Airmax1ac@yahoo.com</a>
American Ecosystems, Inc.	Aquatic Mgmt., Water Treatment	Kevin Youngberg	10460 75 <sup>th</sup> Street Largo, FL 33777	727-545-4404	<a href="mailto:kry@american-ecosystems.com">kry@american-ecosystems.com</a>
Arcor Trading, Inc.	Painting, Waterproofing	Juan Restrepo Luis Arguello	P.O. Box 4149 Tampa, FL 33677	813-446-3225	<a href="mailto:luisgamin55@gmail.com">luisgamin55@gmail.com</a>
Cablelytics, LLC	Communications, Cable	Floyd Freeman	4607 Limerick Drive Tampa, FL 33610	813-727-6728	<a href="mailto:Ffreeman@cablelytics.com">Ffreeman@cablelytics.com</a>
Campellos Houses Solutions	Cabinets	Jose Campello	2010 Clarice Circle Tampa, FL 33619	813-650-6714	<a href="mailto:Yeidavid1106@gmail.com">Yeidavid1106@gmail.com</a>
Classic Construction Ltd. Co.	GC/Construction	Brian Lodermeier	703 Regency Ct. Tampa, FL 33613	727-421-2845 813-994-3193	<a href="mailto:classicltd@gmail.com">classicltd@gmail.com</a>
Classie Ladies' Cleaning Service	General Cleaning Services	Classie McMillen	7495 Somerset Court Palm Harbor, FL 34584	813-856-8092	<a href="mailto:ClassieLadie35@gmail.com">ClassieLadie35@gmail.com</a>
Climatize Air of Florida	A/C Service/Repairs, HVAC, Refrigeration	Marcus Carn	7610 Dragon Fly Loop Gibsonton, FL 33534	813-638-5434	<a href="mailto:climatizeairmkt@gmail.com">climatizeairmkt@gmail.com</a>
Darryl Ward's Painting	Construction Painting	Darryl Ward	35247 Janine Drive Zephyrhills, FL 33541	813-918-3806	<a href="mailto:Dwpllc1@gmail.com">Dwpllc1@gmail.com</a>
Faithful Cleaning Service To The Rescue	Commercial and Residential Cleaning	Michelle Henry	9824 Morris Glen Way Tampa, FL 33637	813-210-3616	<a href="mailto:Faithfulcleaningservice17@yahoo.com">Faithfulcleaningservice17@yahoo.com</a>
Full of Hope Cleaning Services	Construction and Janitorial Cleaning	Hope Terrible	6913 Bon Air Dr., #C Tampa, FL 33617	813-992-5382	<a href="mailto:hterrible@yahoo.com">hterrible@yahoo.com</a>
GraphixT's, Inc.	Screen Printing, Banners	Randy Johnson	10071 Country Road Weeki Wachee, FL 34613	352-600-9170	<a href="mailto:tees@gpats.com">tees@gpats.com</a>
I. B. B., Inc.	Wall Install, Fencing, Enclosures, Etc.	Donald Burkett	2804 Lutz Lake Fern Rd. Tampa, FL 33558	813-949-4786	<a href="mailto:donb@burint.com">donb@burint.com</a>

Company Name	Services Provided	Contact Name	Company Address	Phone #	Email
Impact Construction Services Div. 1	GC/Construction	Alex Maldonado	4628 Fremont Ter S. St. Petersburg, FL 33711	708-214-9599	<a href="mailto:Alex.m@icsdi.com">Alex.m@icsdi.com</a>
Intex Builders	GC/Construction	David Knight	3800 Gunn Hwy. Tampa, FL 33618	813-205-1892	<a href="mailto:david@intexbuilders.net">david@intexbuilders.net</a>
Johnson & Johnson Janitorial	Janitorial Cleaning, Construction Cleaning, Environmental Services	Janice and Earl Johnson	7901 Bahia Ave. Tampa, FL 33619	813-629-6565	<a href="mailto:Janice.johnson33@verizon.net">Janice.johnson33@verizon.net</a>
Johnson Construction and Hauling	Stucco, Drywall, Professional Painting, Demolition Hauling, Emergency Clean-up/Demo, Asphalt Services, Landscape & Tree Service, Debris Removal	Eugene Johnson	3205 E. 24 <sup>th</sup> Avenue Tampa, FL 33605	813-417-9116	<a href="mailto:johnsonhauling78@gmail.com">johnsonhauling78@gmail.com</a>
On-Line Electrician, LLC	Electrician	Jack Luper	210 W. Powhatan Tampa, FL 33604	813-335-8263	<a href="mailto:On_line_ele@live.com">On_line_ele@live.com</a>
Paramount Trim, Inc.	Carpentry, Doors	Walid Ben Khaffed	7419 Savannah Lane Tampa, FL 33637	813-927-1082	<a href="mailto:paramounttrim@yahoo.com">paramounttrim@yahoo.com</a>
Pastels Child Development Center	Childcare	Spencena Dalmas	PO Box 286 Lakeland, FL 33802	813-900-8176	<a href="mailto:pastelschilddevelopment@gmail.com">pastelschilddevelopment@gmail.com</a>
Pick N Go Property Waste Services	Junk Removal, Dumpster Rental, Demolition Service	Joe Biccum	13575 58 <sup>th</sup> Street N., #173 Clearwater, FL 33760	727-504-4672	<a href="mailto:joeb@pickngowaste.com">joeb@pickngowaste.com</a>
Pipeline Construction, LLC	Site Preparation, Underground Utilities	Christopher Lee	1313 33rd Avenue Tampa, FL 33603	813-927-6646	<a href="mailto:pipelinecontractingllc@yahoo.com">pipelinecontractingllc@yahoo.com</a>
Randall Mechanical, Inc.	Plumbing Services	Paul Welsh	3102 Cherry Palm Dr., Suite 150 Tampa, FL 33619	813-626-6161	<a href="mailto:pwelsh@ramdallmechanical.com">pwelsh@ramdallmechanical.com</a>
Ryman Commercial Roofing, Inc.	Roofing	Christian	36413 SR 54 Zephyrhills, FL 33541	813-526-9695	<a href="mailto:christian@rymanroofing.com">christian@rymanroofing.com</a>
Spotless Cleaning 7, LLC	Janitorial Services, Pressure Wash, Hauling	Tow and Reid	PO Box 11093 Tampa, FL 33680	813-370-3645	<a href="mailto:Spotlesscleaning40@yahoo.com">Spotlesscleaning40@yahoo.com</a>
Sunbelt Constructing Company, LLC	Flooring	Mark Stalsitz	3109 Reseda Court Tampa, FL 33618	813-312-4460	<a href="mailto:sunbelt.mark@gmail.com">sunbelt.mark@gmail.com</a>

Company Name	Services Provided	Contact Name	Company Address	Phone #	Email
SunScape Grounds Maintenance	Landscape, Lawn Maintenance	Demond Bryant	3624 18th Street N. Tampa, FL 33603	813-376-8755 813-247-3100	<a href="mailto:sunscapegmi@verizon.net">sunscapegmi@verizon.net</a>
Universal Contracting Services, Inc.	Drywall, Painting, Carpentry, Pressure Wash	Hadeel Elshehaiy	5008 W. Linebaugh Ave., Suite 13 Tampa, FL 33624	813-966-1508	<a href="mailto:ucs@email.com">ucs@email.com</a>
Z's Fine Furniture, Inc.	Kitchen and Bathroom Cabinets Install and Reface	Gina and Michael Zayas	4401 W. Jean Street Tampa, FL 33614	813-323-3893 813-309-2339	<a href="mailto:mikezcabinets@gmail.com">mikezcabinets@gmail.com</a>
Global 360	Painting	Celestine Obi	P.O. Box 234 Mango, FL 33550	813-400-8562	<a href="mailto:obigloballlc@gmail.com">obigloballlc@gmail.com</a>
D and R United Cleaning Services Corp.	Cleaning	Dianna Rebeza	1707 Elk Spring Drive Brandon, FL 33511	813-438-5636 407-435-7032	<a href="mailto:Rebazadiana@hotmail.com">Rebazadiana@hotmail.com</a>

**For Questions Regarding Section 3, please contact:**  
**Yasmin Dilbert, Manager of Construction Services**  
**Tampa Housing Authority, Office of Real Estate Development**  
**5301 W. Cypress Street**  
**Tampa, FL 33607**  
**813-341-9101 ext. 2660**  
**E-mail: [yasmin.dilbert@thafl.com](mailto:yasmin.dilbert@thafl.com)**

A searchable list of local MBE (Minority Business Enterprise) certified businesses can be found at the City of Tampa's website here:

<https://tampa.diversitysoftware.com/FrontEnd/VendorSearchPublic.asp?TN=tampa&XID=846>

or at the Hillsborough County website here:

<https://hillsboroughcounty.diversitycompliance.com/FrontEnd/SEARCHCERTIFIEDDIRECTORY.asp>



## Section 3 Applicant List

Name	Address	Email	Eligibility Status	Phone #	Skillset	Date Certified	Expiration Date	Comments
Brittany Williams	12420 N. Florida Ave., Lot 127 Tampa, FL 33612		Arbors	813-853-4653	Construction, Cleaning, General Labor	5/25/2018	5/24/2021	
Ciera Johnson	3723 N. Jefferson St. Tampa, FL 33603		RPV	813-401-7616	Construction, Cleaning, Restaurant	4/12/2021	4/11/2024	
Crystal Moore	6817 N. Habana Ave., #49 Tampa, FL		S8	813-900-6987	CSR, Housekeeping	11/29/2018	11/28/2021	
Zenitha Stewart	10624 Sweet Sapling St. Riverview, FL 33578	<a href="mailto:zenitiastewart@gmail.com">zenitiastewart@gmail.com</a>	Low Income	813-410-8187	General Laborer, Real Estate, Child Care, Cleaning, Customer Service, Nursing Assistant	4/13/2021	4/12/2024	
Elaine Justice	2509 W. Grace Street Tampa, FL 33607		RPV	813-445-2140	Construction, Security, Cooking, Clean Up	5/25/2018	5/24/2021	
Elana Harris	430 E. Nordica Street Tampa, FL 33603		RPV	813-458-2965	Program Solver, Interpersonal Skills, Behavioral Health Training	11/15/2018	11/14/2021	
Gaikeena Sua	710 S. Castle Court Tampa, FL 33603		Propety	813-847-4990		2/21/2018	2/20/2021	
Gariello Nicolas	2813 N. 15th Street Tampa, FL 33605		Public Housing	813-520-0371	General Laborer	7/3/2018	7/2/2021	
Joyce M. Griffin	3211 E. 23rd Avenue Tampa, FL 33605		RPV	813-956-7262	Medical, Janitorial, CS, MGMT, Cashier	5/25/2018	5/24/2021	
Monique Pennington	405 E. Ohio Avenue Tampa, FL 33603		Public Housing	813-850-1996		7/9/2018	7/8/2021	



Name	Address	Email	Eligibility Status	Phone #	Skillset	Date Certified	Expiration Date	Comments
Reva Iman	427 N. Hernandez Ct. Tampa, FL		Robles	813-900-8745	Office, Customer Service, Food Service, Housing Support Services	5/15/2018	5/14/2021	
William Williams	4833 Ashland Drive Tampa, FL 33610		Low Income	813-538-6292	Construction	7/9/2018	7/8/2021	
Nicholas French	1010 Riverplace, #207 Tampa, FL 33603	<a href="mailto:longliveomni@gmail.com">longliveomni@gmail.com</a>	Low Income	813-953-7706	Machine Operator, Certified Fumigation and Dolly Operator	6/11/2019	6/10/2022	
Donnie Malone	11716 N. 17th St., #B Tampa, FL 33612		Low Income	813-297-1235		2/11/2020	2/10/2022	
Kemontrey Lecount	Homeless		JL Young S8	813-720-9990	Warehouse, Trucks	2/11/2020	2/10/2022	
Akbar Jackson	3909 N. 16th Street Tampa, FL 33612		Low Income	813-531-0364	Warehouse, Welding, Forklift, Concrete	2/11/2020	2/10/2022	
Patrick O. Lebranch	5516 Terrain Degolf Dr. Tampa, FL		Low Income	863-623-2146	Laborer, Customer Service	2/11/2020	2/10/2022	
Jason Talavera	12811 Thonotassassa Rd. Dover, FL 33527	<a href="mailto:jasontalaveraj.t@gmail.com">jasontalaveraj.t@gmail.com</a>	Low Income	813-403-3697	Cut Trees, Cut Grass, Asphalt, Kitchen Work	2/11/2020	2/10/2022	
Calvin Pulphus	4213 Union Street Tampa, FL 33607		Low Income	813-327-1567	Drafting, Architecture	2/11/2020	2/10/2022	
Donnie H. Adams	10771 Ranfield Drive Riverview, FL 33579		Low Income	727-977-6349	Laborer, Customer Service	2/11/2020	2/10/2022	
Julius Snell	5631 Casino Drive Tampa, FL 34690		Low Income	727-612-8758	Construction, Welding, Labor, Roofing, Concrete	2/11/2020	2/10/2022	
Anthony Vaughn	9308 Ashley Oaks Ct. Tampa, FL 33610		Low Income	813-297-9346	Drywall	2/11/2020	2/10/2022	
Gary Cassell	803 Woodcarver Lane Brandon, FL 33510	<a href="mailto:gcassell83@icloud.com">gcassell83@icloud.com</a>	Low Income	813-679-9460		2/11/2020	2/10/2022	
Donald Washington	9205 Robbie Court, #2 Tampa, FL 33617	<a href="mailto:mr.washington196@gmail.com">mr.washington196@gmail.com</a>	Low Income	813-993-3786	Customer Service	2/11/2020	2/10/2022	

Name	Address	Email	Eligibility Status	Phone #	Skillset	Date Certified	Expiration Date	Comments
Jartaqaron Williford	4719 Bullock Court Tampa, FL 33624	<a href="mailto:jd.williford1@gmail.com">jd.williford1@gmail.com</a>	Low Income	678-499-6088	Marketing, Mentor, Program Manager, Event Planner	1/11/2020	2/10/2022	Resume On File
Dorothy Gay	5025 E. Sligh Ave., #B Tampa, FL 33617	<a href="mailto:dgay77973@gmail.com">dgay77973@gmail.com</a>	Low Income	813-415-1899	Customer Service	2/11/2020	2/10/2022	Resume On File
Stephanie D. Spoto	709 E Robson Street Tampa, FL 33604		Low Income	813-562-3695	Food Service, Clerical, Coordinator, Administrative	2/11/2020	2/10/2022	
Seven Henderson	2340 Dovesong Tace Dr. Ruskin, FL 33507		Low Income	802-922-6692		2/11/2020	2/10/2022	
Djons Antoine	PO Box 220588		Homeless	813-384-0405	Customer Service, Framing, Caulking, Finisher Painter	2/11/2020	2/10/2022	
Aaron Acosta	1215 E. 15th Avenue Tampa, FL 33605		Low Income	813-947-4377		2/11/2020	2/10/2022	
Edwin Cruz	12502 Forest Lane Dr. Tampa, FL 33624		Low Income	215-807-9774	Heacy Equipment Operator	2/11/2020	2/10/2022	
Jose Alonso	5807 Blossom Avenue Tampa, FL 33614		Low Income	813-727-2843		2/11/2020	2/10/2022	
Kaula Relyea	923 Cape Cod Circle Valrico, FL 33594		Low Income	607-220-9763	Carpenter	2/11/2020	2/10/2022	
Charles A. Harrilal	11803 Newberry Grove Loop Riverview, FL 33579		Low Income	813-566-2553	Supervisor, Construction Industry, OSHA Certified, Forklift, Scaffolding, Power Tool Training, Project Management	2/11/2020	2/10/2022	
Oluyemi Felix Akinto	7814 BallyMoney Road Tampa, FL 33610	<a href="mailto:akintofelix@yahoo.com">akintofelix@yahoo.com</a>	Low Income	813-296-0669	Fortklift Operator, Industriial Truck Operator	2/11/2020	2/10/2022	

Name	Address	Email	Eligibility Status	Phone #	Skillset	Date Certified	Expiration Date	Comments
Jose De Jesus	8220 N. Florida Ave., #387 Tampa, FL 33604	<a href="mailto:jalexanderm2@gmail.com">jalexanderm2@gmail.com</a>	Low Income	813-367-6065	Human Resources Manager, Compliance Director, Store Manager	2/11/2020	2/10/2022	
Courtney Martin	3809 N. Jefferson St. Tampa FL 33603	<a href="mailto:cmuo6683@gmail.com">cmuo6683@gmail.com</a>	Section 8	813-410-6220	Cashier, Food Service	2/27/2020	2/27/2022	
Christopher Manuel	3413 East 33rd Avenue Tampa, FL 33610		Food Stamp	863-212-2005		4/3/2020	4/3/2022	
Tyron Elleby	2806 E. Anthony St., #A Tampa, FL 33619	<a href="mailto:tyronelleby@gmail.com">tyronelleby@gmail.com</a>	Food Stamp	203-902-2061		4/3/2020	4/3/2022	
Da'metrius Walker	2806 E. Anthony St., #A Tampa, FL 33619	<a href="mailto:lizalldaylong@aol.com">lizalldaylong@aol.com</a>	Low Income	813-538-584	General Labor Worker, Customer Service	4/3/2020	4/3/2022	Resume On File
Heather Lapradd	5315 Pickron Road, Lot 7 Tampa, FL 33610	<a href="mailto:heatherlapradd1967@gmail.com">heatherlapradd1967@gmail.com</a>	Food Stamp	813-459-1041		4/16/2020	4/16/2022	
Jennifer Lanphar	3113 Huron Avenue Oldsmar, FL 34677	<a href="mailto:jenniferlanphar@yahoo.com">jenniferlanphar@yahoo.com</a>	Low Income	727-967-2213	Layout Assitant	6/2/2020	6/2/2022	
Justin Tribert	4637 Mariner Blvd. Springhill, FL 34609	<a href="mailto:jtribert2013@gmail.com">jtribert2013@gmail.com</a>	Low Income	239-530-8903	Lead Supervisor	6/2/2020	6/2/2022	
Miguel Crespo	1929 12th Street Largo, FL 33778	<a href="mailto:crespomgl@msn.com">crespomgl@msn.com</a>	Low Income	727-269-1820		6/2/2020	6/2/2022	
Peter Bowen	3340 Shell Point Road Ruskin, FL 33570	<a href="mailto:petebowen843@gmail.com">petebowen843@gmail.com</a>	Low Income	920-365-6046		6/2/2020	6/2/2022	
Ted Velasquez	37429 Harper Drive Zephyrhills, FL 33541		Low Income	352-457-4603	Superintendant	6/2/2020	6/2/2022	
Rafael Hernandez Garcia	1019 W Beacon Ave. Tampa, FL 33614	None	Low Income	813-635-8551		6/9/2020	6/9/2022	
Yurisbel Fleites-Portal	4721 N. Hesperides St., #2 Tampa, FL 33614	None	Low Income	813-452-7536		6/9/2020	6/9/2022	
Anthony Castillo	29410 Crossland Drive Wesley Chapel, FL 33543	<a href="mailto:anthonyhcastillo@gmail.com">anthonyhcastillo@gmail.com</a>	Low Income	813-618-1879		6/9/2020	6/9/2022	
Ashley Valentin	7331 Ibis Drive Lakeland, FL 33810	<a href="mailto:ashley.valentin98@hotmail.com">ashley.valentin98@hotmail.com</a>	Low Income	939-404-0893		6/9/2020	6/9/2022	

Name	Address	Email	Eligibility Status	Phone #	Skillset	Date Certified	Expiration Date	Comments
Shahveer Hashm	2706 King Surrey Court Valrico, FL 33596	<a href="mailto:shahveer@cesarglassinc.com">shahveer@cesarglassinc.com</a>	Low Income	813-842-7118		6/22/2020	6/22/2022	
Adailton Garcia	11319 Riverview Drive Riverview, FL 335478		Low Income	813-545-4215		6/22/2020	6/22/2022	
Estanislao Valladares	4018 Fawn Circle Tampa, FL 33610		Low Income	240-938-7057		6/22/2020	6/21/2022	
Jose Pedraza	3814 Pinedale Street Brandon, FL 33511		Low Income	813-382-9557		6/22/2020	6/21/2022	
Samuel Zavala	3814 Pinedale Street Brandon, FL 33511		Low Income	813-375-2052		6/22/2020	6/21/2022	
Cesar Gomez	218 Skywood Drive Valrico, FL 33594	<a href="mailto:cesarglass@tampabayrr.com">cesarglass@tampabayrr.com</a>	Low Income	<a href="tel:919-196-3341">919-196-3341</a>		6/22/2020	6/21/2022	
Juan Mora	723 Cape Cod Circle Valrico, FL 33544	<a href="mailto:antonmoru95@gmail.com">antonmoru95@gmail.com</a>	Low Income	720-789-9115		6/22/2020	6/21/2022	
Michael Rosario	14698 Coronado Drive Springhill, FL 34609	<a href="mailto:michaelrosario355@gmail.com">michaelrosario355@gmail.com</a>	Low Income	352-584-2098		6/22/2022	6/21/2022	
Ricardo Morena	218 Skywood Drive Valrico, FL 33594		Low Income	919-763-7566		6/22/2020	6/21/2022	
Tavaris Mitchell	3814 N. Avon Avenue Tampa, FL 33603		Low Income	813-327-0230	Computer Repair, Cable Installation, PVDL, Customer Service	7/22/2020	7/21/2022	
Ramiro Munguia	10303 Celtic Ash Drive Ruskin, FL 33573		Low Income	941-301-5011		6/22/2020	6/21/2022	
Mark Isaac	2606 N. Boulevard Tampa, FL 33602		Food Stamp	813-970-3695		7/1/2020	6/30/2022	



### Section 3 & MBE Compliance Certification Forms

1. Contractor Name & Address (street, city, zip):	2. Contract Number and Description	3. Dollar Amount of Contract
	4. Contact Person:	5. Phone Number:
	6. Contracting Period:	7. Date Report Submitted:

**Part I: Employment and Training of Section 3 Residents (If Prime Contractor is Section 3 Owned Check Here)**

The employment and training component of Section 3 applies to the prime contractor and all sub-contractors providing construction services and professional services to the Tampa Housing Authority. It is the responsibility of the Prime Contractor to enforce these same requirements within any sub-contracts.

**Instructions: Complete items A, B and C and adjoining worksheet**

- A. Total Number of Current Employees? \_\_\_\_\_
- B. Total Number of Anticipated New Hires and Trainees. \_\_\_\_\_
- C. Total Number of Section 3 New Hires & Trainees?  
(the established goal is 30% of Line B) \_\_\_\_\_

Adjoining Worksheet		
(A) Job Category	(B) Number of Anticipated New Hires and Trainees	(C) Number of column (B) that will be Section 3 Residents
Professional		
Technical		
Construction by Trade(list)		
Other (list)		
Total		

**Part II: Subcontract awards – Section 3 and MBE (If Prime Contractor is Section 3 Owned Check Here)**

The contracting component of Section 3 and minority-owned business participation apply to all prime contractors and sub-contractors providing construction services, professional services and supplies to the Tampa Housing Authority’s project. It is the responsibility of the prime contractor to enforce the same requirements within any sub-contracts.

**Instructions: All contractors must complete item D. Complete item E for construction contracts only. Complete item F for professional service and supplier contracts only. All contractors must complete item G.**

D. Total dollar amount of all sub-contracts anticipated for this project? \$ \_\_\_\_\_

**Applies to construction contracts only:**

E. Total amount of anticipated Section 3 sub-contract awards? \$ \_\_\_\_\_  
(The established goal is 10% of Line D)

**Applies to professional service contracts and suppliers:**

F. Total amount of anticipated Section 3 sub-contract awards? \$ \_\_\_\_\_  
(The established goal is 3% of Line D)

**Applies to all contracts:**

G. Total amount of anticipated minority-owned business contract awards? \$ \_\_\_\_\_

(The established goal is 20% of Line D) **A minority-owned business is an entity that is 51% or more owned and controlled by one or more of the following minority group members: Black Americans, Hispanic Americans, Native Americans, Asian Pacific Americans, Asian Indian Americans and Hasidic Jewish Americans.**

**Part III – Certification**

As a duly authorize representative of the prime contractor, it is hereby agreed that the prime contractor and all sub-contractors will make every effort to achieve at least the minimum levels for compliance with Section 3 and Minority- Owned Business participation goals. It is further understood that the undersigned will enforce and ensure compliance within all subcontracts.

<b>Signature:</b>	<b>Print Name and Title</b>	<b>Date</b>
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**PERFORMANCE BOND FORM**

**KNOW ALL MEN BY THESE PRESENTS:**

That

\_\_\_\_\_

As Principal, and \_\_\_\_\_

a corporation of the State of \_\_\_\_\_, as

Surety, are held and firmly bound unto the HOUSING AUTHORITY OF THE CITY OF TAMPA,

as Obligee, in the amount of \_\_\_\_\_ DOLLARS

(\$ \_\_\_\_\_) for the payment thereof Principal and Surety bond themselves, their

heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these present.

**WHEREAS,** Principal has, by written agreement dated \_\_\_\_\_, 20\_\_\_\_,

entered into a contract with Obligee or \_\_\_\_\_

in accordance with Contract Documents prepared by THE HOUSING AUTHORITY OF THE CITY OF TAMPA, which Contract is, by reference, made a part hereof and is hereinafter referred to as the Contract.

**NOW, THEREFORE,** the conditions of this obligation are such that if the Principal shall faithfully satisfy all claims and demands incurred by the Principal of said Contract, and shall pay all obligation arising there under, and shall fully indemnify and save harmless the OWNER from all cost and damage which the OWNER might suffer by reason of the failure of the Principal to do so, and shall fully reimburse and repay to the OWNER all costs, damages, and expenses which the OWNER may incur, making good any default by the Principal, and shall promptly make payment to all persons supplying labor, equipment, or materials for use in the prosecution of the Work, whether by subcontractor or otherwise, and including all insurance premiums on said Work as provided for in such Contract, then this obligation shall be null and void; otherwise, it shall remain in full force and effect.

In addition, the Principal and Surety, jointly and severally, expressly guarantee that the Owner will be held harmless from any liens, claims, demands, or obligations in conjunction with materials or services provided with respect to this Contract. This Bond shall remain in effect for a period of one year from the date of final acceptance.



The OWNER may sue on this Bond, and any person furnishing material or performing labor, either as an individual or as a subcontractor, shall have the right to sue on this bond, in the name of the OWNER, for his/her use and benefit.

**ATTEST**

\_\_\_\_\_  
Contractor

\_\_\_\_\_

Secretary

BY: \_\_\_\_\_

Title

\_\_\_\_\_

Surety

(SEAL)

\_\_\_\_\_

BY: \_\_\_\_\_

Signed and sealed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.



PAYMENT BOND FORM

THIS INSTRUMENT WITNESSETH: That we (1)

\_\_\_\_\_
\_\_\_\_\_

a(2)
\_\_\_\_\_

organized under the law's of the State of \_\_\_\_\_ hereinafter authorized to do business
in the State of (3) \_\_\_\_\_, and (4) \_\_\_\_\_ as Surety

are held and firmly bound unto HOUSING AUTHORITY OF THE CITY OF TAMPA, hereinafter
called the OWNER, in accordance with a referred to, in the penal sum of

(5) \_\_\_\_\_ Dollars (\$) \_\_\_\_\_
lawful money of the United States, well and truly to be paid unto the said OWNER, for the
payment of which we bind ourselves, our heirs, executors, administrators, successors and
assignees, jointly and severally firmly by these presents.

WHEREAS, the said Principal has entered into a written contract with the OWNER, dated,

\_\_\_\_\_ 20\_\_\_\_\_ for work designated as

\_\_\_\_\_

Located in \_\_\_\_\_, in conformity with Contract Documents
hereby referred to and made a part hereof, the same, to all intents and purposes, as if written at
length herein, in which Contract the said Principal has contracted to perform the Work specified in
said Contract in accordance with the terms thereof.

- (1) Contractor
(2) Corporation. Partnership or Individual
(3) State in which project is located
(4) Surety
(5) 100 percent of the Contract

NOW THEREFORE, the conditions of this obligation are such that if the Principal shall faithfully
satisfy all claims and demands incurred by the Principal of said Contract, and shall pay all

FY2014/2015





**Payment Bond Form**

obligations arising there-under, and shall fully indemnify and save harmless the OWNER from all cost and damage which the OWNER might suffer by reason of the failure of the Principal to do so, and shall fully reimburse and repay to the OWNER all costs, damages, and expenses which the OWNER may incur, making good any default

by the Principal, and shall promptly make payment to all persons supplying labor, equipment or materials for use in the prosecution of the Work, whether by subcontractor or otherwise, and including all insurance premiums on said Work as provided for in such Contract, then this obligation shall be null and void; otherwise, it shall remain in full force and effect.

In addition, the Principal and Surety, jointly and severally, expressly guarantee that the Owner will be held harmless from any liens, claims, demands or obligations in conjunction with materials or services provided with respect to this Contract. The bond shall remain in effect for a period of one year from the date of final acceptance.

The OWNER may sue on this Bond, and any person furnishing material or performing labor, either as an individual or as a subcontractor, shall have the right to sue on this bond, in the name of the OWNER, for his/her use and benefit. The said Surety, for value received, hereby stipulates and agrees that no change, extension of time, alteration or addition to the terms of the Contract, or to the Work to be performed there-under, or the Contract Documents accompanying the same, shall in any way affect its obligation on this Bond, and it does hereby waive notice of any such changes, extension of time, alteration or addition to the terms of the Contract or to the Work or to the Contract Documents.

**PROVIDED, FURTHER**, that no final settlement between the OWNER and the CONTRACTOR shall abridge the right of any beneficiary herein under, whose claim may be unsatisfied.

**IN WITNESS WHEREOF**, this instrument is executed in several counterparts, each one of which shall be deemed an original, this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

(Seal)  
Attest:  
  
\_\_\_\_\_

Contractor:  
BY: \_\_\_\_\_  
TITLE: \_\_\_\_\_

(Seal)  
Attest:  
  
\_\_\_\_\_

Surety:  
BY: \_\_\_\_\_  
Attorney-in-Fact

# General Conditions for Construction Contracts - Public Housing Programs

U.S. Department of Housing and Urban  
Development  
Office of Public and Indian Housing  
OMB Approval No. 2577-0157 (exp. 11/30/2023)

**Applicability. This form is applicable to any  
construction/development contract greater than \$250,000.**

Public reporting burden for this collection of information is estimated to average 1 hour. This includes the time for collecting, reviewing, and reporting the data. The information requested is required to obtain a benefit. This form includes those clauses required by OMB's common rule on grantee procurement, implemented at HUD in 2 CFR 200, and those requirements set forth in Section 3 of the Housing and Urban Development Act of 1968 and its amendment by the Housing and Community Development Act of 1992, implemented by HUD at 24 CFR Part 75. The form is required for construction contracts awarded by Public Housing Agencies (PHAs). The form is used by Housing Authorities in solicitations to provide necessary contract clauses. If the form were not used, PHAs would be unable to enforce their contracts. There are no assurances of confidentiality. HUD may not conduct or sponsor, and an applicant is not required to respond to a collection of information unless it displays a currently valid OMB control number.

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## 1. Definitions

- (a) "Architect" means the person or other entity engaged by the PHA to perform architectural, engineering, design, and other services related to the work as provided for in the contract. When a PHA uses an engineer to act in this capacity, the terms "architect" and "engineer" shall be synonymous. The Architect shall serve as a technical representative of the Contracting Officer. The Architect's authority is as set forth elsewhere in this contract.
- (b) "Contract" means the contract entered into between the PHA and the Contractor. It includes the forms of Bid, the Bid Bond, the Performance and Payment Bond or Bonds or other assurance of completion, the Certifications, Representations, and Other Statements of Bidders (form HUD-5370), these General Conditions of the Contract for Construction (form HUD-5370), the applicable wage rate determinations from the U.S. Department of Labor, any special conditions included elsewhere in the contract, the specifications, and drawings. It includes all formal changes to any of those documents by addendum, change order, or other modification.
- (c) "Contracting Officer" means the person delegated the authority by the PHA to enter into, administer, and/or terminate this contract and designated as such in writing to the Contractor. The term includes any successor Contracting Officer and any duly authorized representative of the Contracting Officer also designated in writing. The Contracting Officer shall be deemed the authorized agent of the PHA in all dealings with the Contractor.
- (d) "Contractor" means the person or other entity entering into the contract with the PHA to perform all of the work required under the contract.
- (e) "Drawings" means the drawings enumerated in the schedule of drawings contained in the Specifications and as described in the contract clause entitled Specifications and Drawings for Construction herein.
- (f) "HUD" means the United States of America acting through the Department of Housing and Urban Development including the Secretary, or any other person designated to act on its behalf. HUD has agreed, subject to the provisions of an Annual Contributions Terms and Conditions (ACC), to provide financial assistance to the PHA, which includes assistance in financing the work to be performed under this contract. As defined elsewhere in these General Conditions or the contract documents, the determination of HUD may be required to authorize changes in the work or for release of funds to the PHA for payment to the Contractor. Notwithstanding HUD's role, nothing in this contract shall be construed to create any contractual relationship between the Contractor and HUD.
- (g) "Project" means the entire project, whether construction or rehabilitation, the work for which is provided for in whole or in part under this contract.
- (h) "PHA" means the Public Housing Agency organized under applicable state laws which is a party to this contract.
- (j) "Specifications" means the written description of the technical requirements for construction and includes the criteria and tests for determining whether the requirements are met.
- (l) "Work" means materials, workmanship, and manufacture and fabrication of components.

## 2. Contractor's Responsibility for Work

- (a) The Contractor shall furnish all necessary labor, materials, tools, equipment, and transportation necessary for performance of the work. The Contractor shall also furnish all necessary water, heat, light, and power not made available to the Contractor by the PHA pursuant to the clause entitled Availability and Use of Utility Services herein.
- (b) The Contractor shall perform on the site, and with its own organization, work equivalent to at least [ ] (12 percent unless otherwise indicated) of the total amount of work to be performed under the order. This percentage may be reduced by a supplemental agreement to this order if, during performing the work, the Contractor requests a reduction and the Contracting Officer determines that the reduction would be to the advantage of the PHA.
- (c) At all times during performance of this contract and until the work is completed and accepted, the Contractor shall directly superintend the work or assign and have on the work site a competent superintendent who is satisfactory to the Contracting Officer and has authority to act for the Contractor.
- (d) The Contractor shall be responsible for all damages to persons or property that occur as a result of the Contractor's fault or negligence, and shall take proper safety and health precautions to protect the work, the workers, the public, and the property of others. The Contractor shall hold and save the PHA, its officers and agents, free and harmless from liability of any nature occasioned by the Contractor's performance. The Contractor shall also be responsible for all materials delivered and work performed until completion and acceptance of the entire work, except for any completed unit of work which may have been accepted under the contract.
- (e) The Contractor shall lay out the work from base lines and bench marks indicated on the drawings and be responsible for all lines, levels, and measurements of all work executed under the contract. The Contractor shall verify the figures before laying out the work and will be held responsible for any error resulting from its failure to do so.
- (f) The Contractor shall confine all operations (including storage of materials) on PHA premises to areas authorized or approved by the Contracting Officer.
- (g) The Contractor shall at all times keep the work area, including storage areas, free from accumulations of waste materials. After completing the work and before final inspection, the Contractor shall (1) remove from the premises all scaffolding, equipment, tools, and materials (including rejected materials) that are not the property of the PHA and all rubbish caused by its work; (2) leave the work area in a clean, neat, and orderly condition satisfactory to the Contracting Officer; (3) perform all specified tests; and, (4) deliver the installation in complete and operating condition.
- (h) The Contractor's responsibility will terminate when all work has been completed, the final inspection made, and the work accepted by the Contracting Officer. The Contractor will then be released from further obligation except as required by the warranties specified elsewhere in the contract.

## 3. Architect's Duties, Responsibilities, and Authority

- (a) The Architect for this contract, and any successor, shall be designated in writing by the Contracting Officer.

- (b) The Architect shall serve as the Contracting Officer's technical representative with respect to architectural, **Schedule** engineering, and design matters related to the work performed under the contract. The Architect may provide direction on contract performance. Such direction shall be within the scope of the contract and may not be of a nature which: (1) institutes additional work outside the scope of the contract; (2) constitutes a change as defined in the Changes clause herein; (3) causes an increase or decrease in the cost of the contract; (4) alters the Construction Progress Schedule; or (5) changes any of the other express terms or conditions of the contract.
- (c) The Architect's duties and responsibilities may include but shall not be limited to:
- (1) Making periodic visits to the work site, and on the basis of his/her on-site inspections, issuing written reports to the PHA which shall include all observed deficiencies. The Architect shall file a copy of the report with the Contractor's designated representative at the site;
  - (2) Making modifications in drawings and technical specifications and assisting the Contracting Officer in the preparation of change orders and other contract modifications for issuance by the Contracting Officer;
  - (3) Reviewing and making recommendations with respect to - (i) the Contractor's construction progress schedules; (ii) the Contractor's shop and detailed drawings; (iii) the machinery, mechanical and other equipment and materials or other articles proposed for use by the Contractor; and, (iv) the Contractor's price breakdown and progress payment estimates; and,
  - (4) Assisting in inspections, signing Certificates of Completion, and making recommendations with respect to acceptance of work completed under the contract.

#### 4. Other Contracts

The PHA may undertake or award other contracts for additional work at or near the site of the work under this contract. The Contractor shall fully cooperate with the other contractors and with PHA employees and shall carefully adapt scheduling and performing the work under this contract to accommodate the additional work, heeding any direction that may be provided by the Contracting Officer. The Contractor shall not commit or permit any act that will interfere with the performance of work by any other contractor or by PHA employees

### Construction Requirements

#### 5. Pre-construction Conference and Notice to Proceed

of the work, and that it has investigated and satisfied itself

- (a) Within ten calendar days of contract execution, and prior to the commencement of work, the Contractor shall attend a preconstruction conference with representatives of the PHA, its Architect, and other interested parties convened by the PHA. The conference will serve to acquaint the participants with the general plan of the construction operation and all other requirements of the contract. The PHA will provide the Contractor with the date, time, and place of the conference.
- (b) The contractor shall begin work upon receipt of a written Notice to Proceed from the Contracting Officer or designee. The Contractor shall not begin work prior to receiving such notice.

#### 6. Construction Progress

- (a) The Contractor shall, within five days after the work commences on the contract or another period of time determined by the Contracting Officer, prepare and submit to the Contracting Officer for approval three copies of a practicable schedule showing the order in which the Contractor proposes to perform the work, and the dates on which the Contractor contemplates starting and completing the several salient features of the work (including acquiring labor, materials, and equipment). The schedule shall be in the form of a progress chart of suitable scale to indicate appropriately the percentage of work scheduled for completion by any given date during the period. If the Contractor fails to submit a schedule within the time prescribed, the Contracting Officer may withhold approval of progress payments or take other remedies under the contract until the Contractor submits the required schedule.
- (b) The Contractor shall enter the actual progress on the chart as required by the Contracting Officer, and immediately deliver three copies of the annotated schedule to the Contracting Officer. If the Contracting Officer determines, upon the basis of inspection conducted pursuant to the clause entitled Inspection and Acceptance of Construction, herein that the Contractor is not meeting the approved schedule, the Contractor shall take steps necessary to improve its progress, including those that may be required by the Contracting Officer, without additional cost to the PHA. In this circumstance, the Contracting Officer may require the Contractor to increase the number of shifts, overtime operations, days of work, and/or the amount of construction plant, and to submit for approval any supplementary schedule or schedules in chart form as the Contracting Officer deems necessary to demonstrate how the approved rate of progress will be regained.
- (c) Failure of the Contractor to comply with the requirements of the Contracting Officer under this clause shall be grounds for a determination by the Contracting Officer that the Contractor is not prosecuting the work with sufficient diligence to ensure completion within the time specified in the Contract. Upon making this determination, the Contracting Officer may terminate the Contractor's right to proceed with the work, or any separable part of it, in accordance with the Default clause of this contract.

#### 7. Site Investigation and Conditions Affecting the Work

- (a) The Contractor acknowledges that it has taken steps reasonably necessary to ascertain the nature and location as to the general and local conditions which can affect the work or its cost, including but not limited to, (1) conditions bearing upon transportation, disposal, handling, and storage of materials; (2) the availability of labor, water, electric power, and roads; (3) uncertainties of weather, river stages, tides, or similar physical conditions at the site; (4) the conformation and conditions of the ground; and (5) the character of equipment and facilities needed preliminary to and during work performance. The Contractor also acknowledges that it has satisfied itself as to the character, quality, and quantity of surface and subsurface materials or obstacles to be encountered insofar as this information is

reasonably ascertainable from an inspection of the site, including all exploratory work done by the PHA, as well as from the drawings and specifications made a part of this contract. Any failure of the Contractor to take the actions described and acknowledged in this paragraph will not relieve the Contractor from responsibility for estimating properly the difficulty and cost of successfully performing the work, or for proceeding to successfully perform the work without additional expense to the PHA.

- (b) The PHA assumes no responsibility for any conclusions or interpretations made by the Contractor based on the information made available by the PHA. Nor does the PHA assume responsibility for any understanding reached or representation made concerning conditions which can affect the work by any of its officers or agents before the execution of this contract, unless that understanding or representation is expressly stated in this contract.

## 8. Differing Site Conditions

(a) The Contractor shall promptly, and before the conditions are disturbed, give a written notice to the Contracting Officer of (1) subsurface or latent physical conditions at the site which differ materially from those indicated in this contract, or (2) unknown physical conditions at the site(s), of an unusual nature, which differ materially from those ordinarily encountered and generally recognized as inhering in work of the character provided for in the contract.

(b) The Contracting Officer shall investigate the site conditions promptly after receiving the notice. Work shall not proceed at the affected site, except at the

Contractor's risk, until the Contracting Officer has provided written instructions to the Contractor. If the conditions do materially so differ and cause an increase or decrease in the Contractor's cost of, or the time required for, performing any part of the work under this contract, whether or not changed as a result of the conditions, the Contractor shall file a claim in writing to the PHA within ten days after receipt of such instructions and, in any event, before proceeding with the work. An equitable adjustment in the contract price, the delivery schedule, or both shall be made under this clause and the contract modified in writing accordingly.

(c) No request by the Contractor for an equitable adjustment to the contract under this clause shall be allowed, unless the Contractor has given the written notice required; provided, that the time prescribed in (a) above for giving written notice may be extended by the Contracting Officer.

(d) No request by the Contractor for an equitable adjustment to the contract for differing site conditions shall be allowed if made after final payment under this contract.

## 9. Specifications and Drawings for Construction

(a) The Contractor shall keep on the work site a copy of the drawings and specifications and shall at all times give the Contracting Officer access thereto. Anything mentioned in the specifications and not shown on the drawings, or shown on the drawings and not mentioned in the specifications, shall be of like effect as if shown or mentioned in both. In case of difference between drawings and specifications, the specifications shall govern. In case of discrepancy in the figures, in the drawings, or in the specifications, the matter shall be

promptly submitted to the Contracting Officer, who shall promptly make a determination in writing. Any adjustment by the Contractor without such a determination shall be at its own risk and expense. The Contracting Officer shall furnish from time to time such detailed drawings and other information as considered necessary, unless otherwise provided.

(b) Wherever in the specifications or upon the drawings the words "directed", "required", "ordered", "designated", "prescribed", or words of like import are used, it shall be understood that the "direction", "requirement", "order", "designation", or "prescription", of the Contracting Officer is intended and similarly the words "approved", "acceptable", "satisfactory", or words of like import shall mean "approved by", or "acceptable to", or "satisfactory to" the Contracting Officer, unless otherwise expressly stated.

(c) Where "as shown" "as indicated", "as detailed", or words of similar import are used, it shall be understood that the reference is made to the drawings accompanying this contract unless stated otherwise. The word "provided" as used herein shall be understood to mean "provide complete in place" that is "furnished and installed".

(d) "Shop drawings" means drawings, submitted to the PHA by the Contractor, subcontractor, or any lower tier subcontractor, showing in detail (1) the proposed fabrication and assembly of structural elements and (2) the installation (i.e., form, fit, and attachment details) of materials of equipment. It includes drawings, diagrams, layouts, schematics, descriptive literature, illustrations, schedules, performance and test data, and similar materials furnished by the Contractor to explain in detail specific portions of the work required by the contract. The PHA may duplicate, use, and disclose in any manner and for any purpose shop drawings delivered under this contract.

(e) If this contract requires shop drawings, the Contractor shall coordinate all such drawings, and review them for accuracy, completeness, and compliance with other contract requirements and shall indicate its approval thereon as evidence of such coordination and review. Shop drawings submitted to the Contracting Officer without evidence of the Contractor's approval may be returned for resubmission. The Contracting Officer will indicate an approval or disapproval of the shop drawings and if not approved as submitted shall indicate the PHA's reasons therefore. Any work done before such approval shall be at the Contractor's risk. Approval by the Contracting Officer shall not relieve the Contractor from responsibility for any errors or omissions in such drawings, nor from responsibility for complying with the requirements of this contract, except with respect to variations described and approved in accordance with (f) below.

(f) If shop drawings show variations from the contract requirements, the Contractor shall describe such variations in writing, separate from the drawings, at the time of submission. If the Architect approves any such variation and the Contracting Officer concurs, the Contracting Officer shall issue an appropriate modification to the contract, except that, if the variation is minor or does not involve a change in price or in time of performance, a modification need not be issued.

(g) It shall be the responsibility of the Contractor to make timely requests of the PHA for such large scale and full size drawings, color schemes, and other additional information, not already in his possession, which shall be

required in the planning and production of the work. Such requests may be submitted as the need arises, but each such request shall be filed in ample time to permit appropriate action to be taken by all parties involved so as to avoid delay.

- (h) The Contractor shall submit to the Contracting Officer for approval four copies (unless otherwise indicated) of all shop drawings as called for under the various headings of these specifications. Three sets (unless otherwise indicated) of all shop drawings, will be retained by the PHA and one set will be returned to the Contractor. As required by the Contracting Officer, the Contractor, upon completing the work under this contract, shall furnish a complete set of all shop drawings as finally approved. These drawings shall show all changes and revisions made up to the time the work is completed and accepted.
- (i) This clause shall be included in all subcontracts at any tier. It shall be the responsibility of the Contractor to ensure that all shop drawings prepared by subcontractors are submitted to the Contracting Officer.

#### 10. As-Built Drawings

- (a) "As-built drawings," as used in this clause, means drawings submitted by the Contractor or subcontractor at any tier to show the construction of a particular structure or work as actually completed under the contract. "As-built drawings" shall be synonymous with "Record drawings."
- (b) As required by the Contracting Officer, the Contractor shall provide the Contracting Officer accurate information to be used in the preparation of permanent as-built drawings. For this purpose, the Contractor shall record on one set of contract drawings all changes from the installations originally indicated, and record final locations of underground lines by depth from finish grade and by accurate horizontal offset distances to permanent surface improvements such as buildings, curbs, or edges of walks.
- (c) This clause shall be included in all subcontracts at any tier. It shall be the responsibility of the Contractor to ensure that all as-built drawings prepared by subcontractors are submitted to the Contracting Officer.

#### 11. Material and Workmanship

- (a) All equipment, material, and articles furnished under this contract shall be new and of the most suitable grade for the purpose intended, unless otherwise specifically provided in this contract. References in the contract to equipment, material, articles, or patented processes by trade name, make, or catalog number, shall be regarded as establishing a standard of quality and shall not be construed as limiting competition. The Contractor may, at its option, use any equipment, material, article, or process that, in the judgment of, and as approved by the Contracting Officer, is equal to that named in the specifications, unless otherwise specifically provided in this contract.
- (b) Approval of equipment and materials.
- (1) The Contractor shall obtain the Contracting Officer's approval of the machinery and mechanical and other equipment to be incorporated into the work. When requesting approval, the Contractor shall furnish to the Contracting Officer the name of the manufacturer, the model number, and other information concerning the performance, capacity, nature, and rating of the

machinery and mechanical and other equipment. When required by this contract or by the Contracting Officer, the Contractor shall also obtain the Contracting Officer's approval of the material or articles which the Contractor contemplates incorporating into the work. When requesting approval, the Contractor shall provide full information concerning the material or articles. Machinery, equipment, material, and articles that do not have the required approval shall be installed or used at the risk of subsequent rejection.

- (2) When required by the specifications or the Contracting Officer, the Contractor shall submit appropriately marked samples (and certificates related to them) for approval at the Contractor's expense, with all shipping charges prepaid. The Contractor shall label, or otherwise properly mark on the container, the material or product represented, its place of origin, the name of the producer, the Contractor's name, and the identification of the construction project for which the material or product is intended to be used.
- (3) Certificates shall be submitted in triplicate, describing each sample submitted for approval and certifying that the material, equipment or accessory complies with contract requirements. The certificates shall include the name and brand of the product, name of manufacturer, and the location where produced.
- (4) Approval of a sample shall not constitute a waiver of the PHA right to demand full compliance with contract requirements. Materials, equipment and accessories may be rejected for cause even though samples have been approved.
- (5) Wherever materials are required to comply with recognized standards or specifications, such specifications shall be accepted as establishing the technical qualities and testing methods, but shall not govern the number of tests required to be made nor modify other contract requirements. The Contracting Officer may require laboratory test reports on items submitted for approval or may approve materials on the basis of data submitted in certificates with samples. Check tests will be made on materials delivered for use only as frequently as the Contracting Officer determines necessary to insure compliance of materials with the specifications. The Contractor will assume all costs of retesting materials which fail to meet contract requirements and/or testing materials offered in substitution for those found deficient.
- (6) After approval, samples will be kept in the Project office until completion of work. They may be built into the work after a substantial quantity of the materials they represent has been built in and accepted.
- (c) Requirements concerning lead-based paint. The Contractor shall comply with the requirements concerning lead-based paint contained in the Lead-Based Paint Poisoning Prevention Act (42 U.S.C. 4821-4846) as implemented by 24 CFR Part 35.

#### 12. Permits and Codes

- (a) The Contractor shall give all notices and comply with all applicable laws, ordinances, codes, rules and regulations. Notwithstanding the requirement of the Contractor to comply with the drawings and specifications in the contract, all work installed shall comply with all applicable codes and regulations as amended by any

waivers. Before installing the work, the Contractor shall examine the drawings and the specifications for compliance with applicable codes and regulations bearing on the work and shall immediately report any discrepancy it may discover to the Contracting Officer.

Where the requirements of the drawings and specifications fail to comply with the applicable code or regulation, the Contracting Officer shall modify the contract by change order pursuant to the clause entitled Changes herein to conform to the code or regulation.

- (b) The Contractor shall secure and pay for all permits, fees, and licenses necessary for the proper execution and completion of the work. Where the PHA can arrange for the issuance of all or part of these permits, fees and licenses, without cost to the Contractor, the contract amount shall be reduced accordingly.

### 13. Health, Safety, and Accident Prevention

(a) In performing this contract, the Contractor shall:

- (1) Ensure that no laborer or mechanic shall be required to work in surroundings or under working conditions which are unsanitary, hazardous, or dangerous to his/her health and/or safety as determined under construction safety and health standards promulgated by the Secretary of Labor by regulation;
- (2) Protect the lives, health, and safety of other persons;
- (3) Prevent damage to property, materials, supplies, and equipment; and,
- (4) Avoid work interruptions.

(b) For these purposes, the Contractor shall:

- (1) Comply with regulations and standards issued by the Secretary of Labor at 29 CFR Part 1926. Failure to comply may result in imposition of sanctions pursuant to the Contract Work Hours and Safety Standards Act (Public Law 91-54, 83 Stat. 96), 40 U.S.C. 3701 et seq.; and
- (2) Include the terms of this clause in every subcontract so that such terms will be binding on each subcontractor.

(c) The Contractor shall maintain an accurate record of exposure data on all accidents incident to work performed under this contract resulting in death, traumatic injury, occupational disease, or damage to property, materials, supplies, or equipment, and shall report this data in the manner prescribed by 29 CFR Part 1904.

(d) The Contracting Officer shall notify the Contractor of any noncompliance with these requirements and of the corrective action required. This notice, when delivered to the Contractor or the Contractor's representative at the site of the work, shall be deemed sufficient notice of the noncompliance and corrective action required. After receiving the notice, the Contractor shall immediately take corrective action. If the Contractor fails or refuses to take corrective action promptly, the Contracting Officer may issue an order stopping all or part of the work until satisfactory corrective action has been taken. The Contractor shall not base any claim or request for equitable adjustment for additional time or money on any stop order issued under these circumstances.

(e) The Contractor shall be responsible for its subcontractors' compliance with the provisions of this clause. The Contractor shall take such action with respect to any subcontract as the PHA, the Secretary of Housing and Urban Development, or the Secretary of Labor shall direct as a means of enforcing such provisions.

### 14. Temporary Heating

The Contractor shall provide and pay for temporary heating, covering, and enclosures necessary to properly protect all work and materials against damage by dampness and cold, to dry out the work, and to facilitate the completion of the work. Any permanent heating equipment used shall be turned over to the PHA in the condition and at the time required by the specifications.

### 15. Availability and Use of Utility Services

(a) The PHA shall make all reasonably required amounts of utilities available to the Contractor from existing outlets and supplies, as specified in the contract. Unless otherwise provided in the contract, the amount of each utility service consumed shall be charged to or paid for by the Contractor at prevailing rates charged to the PHA or, where the utility is produced by the PHA, at reasonable rates determined by the Contracting Officer. The Contractor shall carefully conserve any utilities furnished without charge.

(b) The Contractor, at its expense and in a manner satisfactory to the Contracting Officer, shall install and maintain all necessary temporary connections and distribution lines, and all meters required to measure the amount of each utility used for the purpose of determining charges. Before final acceptance of the work by the PHA, the Contractor shall remove all the temporary connections, distribution lines, meters, and associated paraphernalia.

### 16. Protection of Existing Vegetation, Structures, Equipment, Utilities, and Improvements

(a) The Contractor shall preserve and protect all structures, equipment, and vegetation (such as trees, shrubs, and grass) on or adjacent to the work site, which are not to be removed under this contract, and which do not unreasonably interfere with the work required under this contract.

(b) The Contractor shall only remove trees when specifically authorized to do so, and shall avoid damaging vegetation that will remain in place. If any limbs or branches of trees are broken during performance of this contract, or by the careless operation of equipment, or by workmen, the Contractor shall trim those limbs or branches with a clean cut and paint the cut with a tree-pruning compound as directed by the Contracting Officer.

(c) The Contractor shall protect from damage all existing improvements and utilities (1) at or near the work site and (2) on adjacent property of a third party, the locations of which are made known to or should be known by the Contractor. Prior to disturbing the ground at the construction site, the Contractor shall ensure that all underground utility lines are clearly marked.

(d) The Contractor shall shore up, brace, underpin, secure, and protect as necessary all foundations and other parts of existing structures adjacent to, adjoining, and in the vicinity of the site, which may be affected by the excavations or other operations connected with the construction of the project.

(e) Any equipment temporarily removed as a result of work under this contract shall be protected, cleaned, and replaced in the same condition as at the time of award of this contract.

- (f) New work which connects to existing work shall correspond in all respects with that to which it connects and/or be similar to existing work unless otherwise required by the specifications.
- (g) No structural members shall be altered or in any way weakened without the written authorization of the Contracting Officer, unless such work is clearly specified in the plans or specifications.
- (h) If the removal of the existing work exposes discolored or unfinished surfaces, or work out of alignment, such surfaces shall be refinished, or the material replaced as necessary to make the continuous work uniform and harmonious. This, however, shall not be construed to require the refinishing or reconstruction of dissimilar finishes previously exposed, or finished surfaces in good condition, but in different planes or on different levels **Construction** when brought together by the removal of intervening work, unless such refinishing or reconstruction is specified in the plans or specifications.
- (i) The Contractor shall give all required notices to any adjoining or adjacent property owner or other party before the commencement of any work.
- (j) The Contractor shall indemnify and save harmless the PHA from any damages on account of settlement or the loss of lateral support of adjoining property, any damages from changes in topography affecting drainage, and from all loss or expense and all damages for which the PHA may become liable in consequence of such injury or damage to adjoining and adjacent structures and their premises.
- (k) The Contractor shall repair any damage to vegetation, structures, equipment, utilities, or improvements, including those that are the property of a third party, resulting from failure to comply with the requirements of this contract or failure to exercise reasonable care in performing the work. If the Contractor fails or refuses to repair the damage promptly, the Contracting Officer may have the necessary work performed and charge the cost to the Contractor.

## 17. Temporary Buildings and Transportation of Materials

- (a) Temporary buildings (e.g., storage sheds, shops, offices, sanitary facilities) and utilities may be erected by the Contractor only with the approval of the Contracting Officer and shall be built with labor and materials furnished by the Contractor without expense to the PHA. The temporary buildings and utilities shall remain the property of the Contractor and shall be removed by the Contractor at its expense upon completion of the work. With the written consent of the Contracting Officer, the buildings and utilities may be abandoned and need not be removed.
- (b) The Contractor shall, as directed by the Contracting Officer, use only established roadways, or use temporary roadways constructed by the Contractor when and as authorized by the Contracting Officer. When materials are transported in prosecuting the work, vehicles shall not be loaded beyond the loading capacity recommended by the manufacturer of the vehicle or prescribed by any federal, state, or local law or regulation. When it is necessary to cross curbs or sidewalks, the Contractor shall protect them from damage. The Contractor shall repair or pay for the repair of any damaged curbs, sidewalks, or roads.

## 18. Clean Air and Water

The contractor shall comply with the Clean Air Act, as amended, 42 USC 7401 et seq., the Federal Water Pollution Control Water Act, as amended, 33 U.S.C. 1251 et seq., and standards issued pursuant thereto in the facilities in which this contract is to be performed.

## 19. Energy Efficiency

The Contractor shall comply with mandatory standards and policies relating to energy efficiency which are contained in the energy conservation plan issued in compliance with the Energy Policy and Conservation Act (Pub.L. 94-163) for the State in which the work under the contract is performed.

## 20. Inspection and Acceptance of

- (a) Definitions. As used in this clause -
- (1) "Acceptance" means the act of an authorized representative of the PHA by which the PHA approves and assumes ownership of the work performed under this contract. Acceptance may be partial or complete.
- (2) "Inspection" means examining and testing the work performed under the contract (including, when appropriate, raw materials, equipment, components, and intermediate assemblies) to determine whether it conforms to contract requirements.
- (3) "Testing" means that element of inspection that determines the properties or elements, including functional operation of materials, equipment, or their components, by the application of established scientific principles and procedures.
- (b) The Contractor shall maintain an adequate inspection system and perform such inspections as will ensure that the work performed under the contract conforms to contract requirements. All work is subject to PHA inspection and test at all places and at all reasonable times before acceptance to ensure strict compliance with the terms of the contract.
- (c) PHA inspections and tests are for the sole benefit of the PHA and do not: (1) relieve the Contractor of responsibility for providing adequate quality control measures; (2) relieve the Contractor of responsibility for loss or damage of the material before acceptance; (3) constitute or imply acceptance; or, (4) affect the continuing rights of the PHA after acceptance of the completed work under paragraph (j) below.
- (d) The presence or absence of the PHA inspector does not relieve the Contractor from any contract requirement, nor is the inspector authorized to change any term or condition of the specifications without the Contracting Officer's written authorization. All instructions and approvals with respect to the work shall be given to the Contractor by the Contracting Officer.
- (e) The Contractor shall promptly furnish, without additional charge, all facilities, labor, and material reasonably needed for performing such safe and convenient inspections and tests as may be required by the Contracting Officer. The PHA may charge to the Contractor any additional cost of inspection or test when work is not ready at the time specified by the Contractor for inspection or test, or when prior rejection makes reinspection or retest necessary. The PHA shall perform all inspections and tests in a manner that will not unnecessarily delay the work. Special, full size, and performance tests shall be performed as described in the contract.



- (f) The PHA may conduct routine inspections of the construction site on a daily basis.
- (g) The Contractor shall, without charge, replace or correct work found by the PHA not to conform to contract requirements, unless the PHA decides that it is in its interest to accept the work with an appropriate adjustment in contract price. The Contractor shall promptly segregate and remove rejected material from the premises.
- (h) If the Contractor does not promptly replace or correct rejected work, the PHA may (1) by contract or otherwise, replace or correct the work and charge the cost to the Contractor, or (2) terminate for default the Contractor's right to proceed.
- (i) If any work requiring inspection is covered up without approval of the PHA, it must, if requested by the Contracting Officer, be uncovered at the expense of the Contractor. If at any time before final acceptance of the entire work, the **Construction PHA** considers it necessary or advisable, to examine work already completed by removing or tearing it out, the Contractor, shall on request, promptly furnish all necessary facilities, labor, and material. If such work is found to be defective or nonconforming in any material respect due to the fault of the Contractor or its subcontractors, the Contractor shall defray all the expenses of the examination and of satisfactory reconstruction. If, however, such work is found to meet the requirements of the contract, the Contracting Officer shall make an equitable adjustment to cover the cost of the examination and reconstruction, including, if completion of the work was thereby delayed, an extension of time.
- (j) The Contractor shall notify the Contracting Officer, in writing, as to the date when in its opinion all or a designated portion of the work will be substantially completed and ready for inspection. If the Architect determines that the state of preparedness is as represented, the PHA will promptly arrange for the inspection. Unless otherwise specified in the contract, the PHA shall accept, as soon as practicable after completion and inspection, all work required by the contract or that portion of the work the Contracting Officer determines and designates can be accepted separately. Acceptance shall be final and conclusive except for latent defects, fraud, gross mistakes amounting to fraud, or the PHA's right under any warranty or guarantee.

## 21. Use and Possession Prior to Completion

- (a) The PHA shall have the right to take possession of or use any completed or partially completed part of the work. Before taking possession of or using any work, the Contracting Officer shall furnish the Contractor a list of items of work remaining to be performed or corrected on those portions of the work that the PHA intends to take possession of or use. However, failure of the Contracting Officer to list any item of work shall not relieve the Contractor of responsibility for complying with the terms of the contract. The PHA's possession or use shall not be deemed an acceptance of any work under the contract.
- (b) While the PHA has such possession or use, the Contractor shall be relieved of the responsibility for (1) the loss of or damage to the work resulting from the PHA's possession or use, notwithstanding the terms of the clause entitled Permits and Codes herein; (2) all maintenance costs on the areas occupied; and, (3) furnishing heat, light, power, and water used in the areas

occupied without proper remuneration therefore. If prior possession or use by the PHA delays the progress of the work or causes additional expense to the Contractor, an equitable adjustment shall be made in the contract price or the time of completion, and the contract shall be modified in writing accordingly.

## 22. Warranty of Title

The Contractor warrants good title to all materials, supplies, and equipment incorporated in the work and agrees to deliver the premises together with all improvements thereon free from any claims, liens or charges, and agrees further that neither it nor any other person, firm or corporation shall have any right to a lien upon the premises or anything appurtenant thereto.

## 23. Warranty of

- (a) In addition to any other warranties in this contract, the Contractor warrants, except as provided in paragraph (j) of this clause, that work performed under this contract conforms to the contract requirements and is free of any defect in equipment, material, or workmanship performed by the Contractor or any subcontractor or supplier at any tier. This warranty shall continue for a period of \_\_\_\_\_ (one year unless otherwise indicated) from the date of final acceptance of the work. If the PHA takes possession of any part of the work before final acceptance, this warranty shall continue for a period of (one year unless otherwise indicated) from the date that the PHA takes possession.
- (b) The Contractor shall remedy, at the Contractor's expense, any failure to conform, or any defect. In addition, the Contractor shall remedy, at the Contractor's expense, any damage to PHA-owned or controlled real or personal property when the damage is the result of—
  - (1) The Contractor's failure to conform to contract requirements; or
  - (2) Any defects of equipment, material, workmanship or design furnished by the Contractor.
- (c) The Contractor shall restore any work damaged in fulfilling the terms and conditions of this clause. The Contractor's warranty with respect to work repaired or replaced will run for (one year unless otherwise indicated) from the date of repair or replacement.
- (d) The Contracting Officer shall notify the Contractor, in writing, within a reasonable time after the discovery of any failure, defect or damage.
- (e) If the Contractor fails to remedy any failure, defect, or damage within a reasonable time after receipt of notice, the PHA shall have the right to replace, repair or otherwise remedy the failure, defect, or damage at the Contractor's expense.
- (f) With respect to all warranties, express or implied, from subcontractors, manufacturers, or suppliers for work performed and materials furnished under this contract, the Contractor shall:
  - (1) Obtain all warranties that would be given in normal commercial practice;
  - (2) Require all warranties to be executed in writing, for the benefit of the PHA; and,
  - (3) Enforce all warranties for the benefit of the PHA.
- (g) In the event the Contractor's warranty under paragraph (a) of this clause has expired, the PHA may bring suit at its own expense to enforce a subcontractor's, manufacturer's or supplier's warranty.

- (h) Unless a defect is caused by the negligence of the Contractor or subcontractor or supplier at any tier, the Contractor shall not be liable for the repair of any defect of material or design furnished by the PHA nor for the repair of any damage that results from any defect in PHA furnished material or design.
- (i) Notwithstanding any provisions herein to the contrary, the establishment of the time periods in paragraphs (a) and (c) above relate only to the specific obligation of the Contractor to correct the work, and have no relationship to the time within which its obligation to comply with the contract may be sought to be enforced, nor to the time within which proceedings may be commenced to establish the Contractor's liability with respect to its obligation other than specifically to correct the work.
- (j) This warranty shall not limit the PHA's rights under the Inspection and Acceptance of Construction clause of this contract with respect to latent defects, gross mistakes or fraud.

**24. Prohibition Against Liens**

The Contractor is prohibited from placing a lien on the PHA's property. This prohibition shall apply to all subcontractors at any tier and all materials suppliers.

**Administrative Requirements**

**25. Contract Period**

this contract within \_\_\_\_\_ calendar days of the effective date of the contract, or within the time schedule established in the notice to proceed issued by the Contracting Officer.

**26. Order of Provisions**

accordance with the terms and conditions of the

In the event of a conflict between these General Conditions and the Specifications, the General Conditions shall prevail. In the event of a conflict between the contract and any applicable state or local law or regulation, the state or local law or regulation shall prevail; provided that such state or local law or regulation does not conflict with, or is less restrictive than applicable federal law, regulation, or Executive Order. In the event of such a conflict, applicable federal law, regulation, and Executive Order shall prevail.

**27. Payments**

retain ten (10) percent of the amount of progress

- (a) The PHA shall pay the Contractor the price as provided in this contract.
- (b) The PHA shall make progress payments approximately every 30 days as the work proceeds, on estimates of work accomplished which meets the standards of quality established under the contract, as approved by the Contracting Officer. The PHA may, subject to written determination and approval of the Contracting Officer, make more frequent payments to contractors which are qualified small businesses.
- (c) Before the first progress payment under this contract, the Contractor shall furnish, in such detail as requested by the Contracting Officer, a breakdown of the total contract price showing the amount included therein for each principal category of the work, which shall substantiate the payment amount requested in order to provide a

basis for determining progress payments. The breakdown shall be approved by the Contracting Officer and must be acceptable to HUD. If the contract covers more than one project, the Contractor shall furnish a separate breakdown for each. The values and quantities employed in making up this breakdown are for determining the amount of progress payments and shall not be construed as a basis for additions to or deductions from the contract price. The Contractor shall prorate its overhead and profit over the construction period of the contract.

- (d) The Contractor shall submit, on forms provided by the PHA, periodic estimates showing the value of the work performed during each period based upon the approved submitted not later than \_\_\_\_\_ days in advance of the date set for payment and are subject to correction and revision as required. The estimates must be approved by the Contracting Officer with the concurrence of the Architect prior to payment. If the contract covers more than one project, the Contractor shall furnish a separate progress payment estimate for each.
- (e) Along with each request for progress payments and the required estimates, the Contractor shall furnish the following certification, or payment shall not be made: I hereby certify, to the best of my knowledge and belief, that:

- (1) The amounts requested are only for performance in accordance with the specifications, terms, and conditions of the contract;
- (2) Payments to subcontractors and suppliers have been made from previous payments received under the contract, and timely payments will be made from the proceeds of the payment covered by this certification, in accordance with subcontract agreements; and,
- (3) This request for progress payments does not include any amounts which the prime contractor intends to withhold or retain from a subcontractor or supplier in subcontract.

**Name:**

Title:

Date:

- (f) Except as otherwise provided in State law, the PHA shall payments until completion and acceptance of all work under the contract; except, that if upon completion of 50 percent of the work, the Contracting Officer, after consulting with the Architect, determines that the Contractor's performance and progress are satisfactory, the PHA may make the remaining payments in full for the work subsequently completed. If the Contracting Officer subsequently determines that the Contractor's performance and progress are unsatisfactory, the PHA shall reinstate the ten (10) percent (or other percentage as provided in State law) retainage until such time as the Contracting Officer determines that performance and progress are satisfactory.
- (g) The Contracting Officer may authorize material delivered on the site and preparatory work done to be taken into consideration when computing progress payments.

Material delivered to the Contractor at locations other than the site may also be taken into consideration if the Contractor furnishes satisfactory evidence that (1) it has acquired title to such material; (2) the material is properly stored in a bonded warehouse, storage yard, or similar suitable place as may be approved by the Contracting Officer; (3) the material is insured to cover its full value; and (4) the material will be used to perform this contract. Before any progress payment which includes delivered material is made, the Contractor shall furnish such documentation as the Contracting Officer may require to assure the protection of the PHA's interest in such materials. The Contractor shall remain responsible for such stored material notwithstanding the transfer of title to the PHA.

- (h) All material and work covered by progress payments made shall, at the time of payment become the sole property of the PHA, but this shall not be construed as (1) relieving the Contractor from the sole responsibility for all material and work upon which payments have been made or the restoration of any damaged work; or, (2) waiving the right of the PHA to require the fulfillment of all of the terms of the contract. In the event the work of the Contractor has been damaged by other contractors or persons other than employees of the PHA in the course of their employment, the Contractor shall restore such damaged work without cost to the PHA and to seek redress for its damage only from those who directly caused it.
- (i) The PHA shall make the final payment due the Contractor under this contract after (1) completion and final acceptance of all work; and (2) presentation of release of all claims against the PHA arising by virtue of this contract, other than claims, in stated amounts, that the Contractor has specifically excepted from the operation of the release. Each such exception shall embrace no more than one claim, the basis and scope of which shall be clearly defined. The amounts for such excepted claims shall not be included in the request for final payment. A release may also be required of the assignee if the Contractor's claim to amounts payable under this contract has been assigned.
- (j) Prior to making any payment, the Contracting Officer may require the Contractor to furnish receipts or other evidence of payment from all persons performing work and supplying material to the Contractor, if the Contracting Officer determines such evidence is necessary to substantiate claimed costs.
- (k) The PHA shall not; (1) determine or adjust any claims for payment or disputes arising there under between the Contractor and its subcontractors or material suppliers; or, (2) withhold any moneys for the protection of the subcontractors or material suppliers. The failure or refusal of the PHA to withhold moneys from the Contractor shall in nowise impair the obligations of any surety or sureties under any bonds furnished under this contract.

## 28. Contract Modifications

- (a) Only the Contracting Officer has authority to modify any term or condition of this contract. Any contract modification shall be authorized in writing.
- (b) The Contracting Officer may modify the contract unilaterally (1) pursuant to a specific authorization stated in a contract clause (e.g., Changes); or (2) for administrative matters which do not change the rights or

responsibilities of the parties (e.g., change in the PHA address). All other contract modifications shall be in the form of supplemental agreements signed by the Contractor and the Contracting Officer.

- (c) When a proposed modification requires the approval of HUD prior to its issuance (e.g., a change order that exceeds the PHA's approved threshold), such modification shall not be effective until the required approval is received by the PHA.

## 29. Changes

- (a) The Contracting Officer may, at any time, without notice to the sureties, by written order designated or indicated to be a change order, make changes in the work within the general scope of the contract including changes:
  - (1) In the specifications (including drawings and designs);
  - (2) In the method or manner of performance of the work;
  - (3) PHA-furnished facilities, equipment, materials, services, or site; or,
  - (4) Directing the acceleration in the performance of the work.
- (b) Any other written order or oral order (which, as used in this paragraph (b), includes direction, instruction, interpretation, or determination) from the Contracting Officer that causes a change shall be treated as a change order under this clause; provided, that the Contractor gives the Contracting Officer written notice stating (1) the date, circumstances and source of the order and (2) that the Contractor regards the order as a change order.
- (c) Except as provided in this clause, no order, statement or conduct of the Contracting Officer shall be treated as a change under this clause or entitle the Contractor to an equitable adjustment.
- (d) If any change under this clause causes an increase or decrease in the Contractor's cost of, or the time required for the performance of any part of the work under this contract, whether or not changed by any such order, the Contracting Officer shall make an equitable adjustment and modify the contract in writing. However, except for an adjustment based on defective specifications, no proposal for any change under paragraph (b) above shall be allowed for any costs incurred more than 20 days (5 days for oral orders) before the Contractor gives written notice as required. In the case of defective specifications for which the PHA is responsible, the equitable adjustment shall include any increased cost reasonably incurred by the Contractor in attempting to comply with the defective specifications.
- (e) The Contractor must assert its right to an adjustment under this clause within 30 days after (1) receipt of a written change order under paragraph (a) of this clause, or (2) the furnishing of a written notice under paragraph (b) of this clause, by submitting a written statement describing the general nature and the amount of the proposal. If the facts justify it, the Contracting Officer may extend the period for submission. The proposal may be included in the notice required under paragraph (b) above. No proposal by the Contractor for an equitable adjustment shall be allowed if asserted after final payment under this contract.
- (f) The Contractor's written proposal for equitable adjustment shall be submitted in the form of a lump sum proposal supported with an itemized breakdown of all increases and decreases in the contract in at least the following details:

- (1) Direct Costs. Materials (list individual items, the quantity and unit cost of each, and the aggregate cost); Transportation and delivery costs associated with materials; Labor breakdowns by hours or unit costs (identified with specific work to be performed); Construction equipment exclusively necessary for the change; Costs of preparation and/ or revision to shop drawings resulting from the change; Worker's Compensation and Public Liability Insurance; Employment taxes under FICA and FUTA; and, Bond Costs when size of change warrants revision.
- (2) Indirect Costs. Indirect costs may include overhead, general and administrative expenses, and fringe benefits not normally treated as direct costs.
- (3) Profit. The amount of profit shall be negotiated and may vary according to the nature, extent, and complexity of the work required by the change. The allowability of the direct and indirect costs shall be determined in accordance with the Contract Cost Principles and Procedures for Commercial Firms in Part 31 of the Federal Acquisition Regulation (48 CFR 1-31), as implemented by HUD Handbook 2210.18, in effect on the date of this contract. The Contractor shall not be allowed a profit on the profit received by any subcontractor. Equitable adjustments for deleted work shall include a credit for profit and may include a credit for indirect costs. On proposals covering both increases and decreases in the amount of the contract, the application of indirect costs and profit shall be on the net-change in direct costs for the Contractor or subcontractor performing the work.
- (g) The Contractor shall include in the proposal its request for time extension (if any), and shall include sufficient information and dates to demonstrate whether and to what extent the change will delay the completion of the contract in its entirety.
- (h) The Contracting Officer shall act on proposals within 30 days after their receipt, or notify the Contractor of the date when such action will be taken.
- (i) Failure to reach an agreement on any proposal shall be a dispute under the clause entitled Disputes herein. Nothing in this clause, however, shall excuse the Contractor from proceeding with the contract as changed.
- (j) Except in an emergency endangering life or property, no change shall be made by the Contractor without a prior order from the Contracting Officer.

### 30. Suspension of Work

- (a) The Contracting Officer may order the Contractor in writing to suspend, delay, or interrupt all or any part of the work of this contract for the period of time that the Contracting Officer determines appropriate for the convenience of the PHA.
- (b) If the performance of all or any part of the work is, for an unreasonable period of time, suspended, delayed, or interrupted (1) by an act of the Contracting Officer in the administration of this contract, or (2) by the Contracting Officer's failure to act within the time specified (or within a reasonable time if not specified) in this contract an adjustment shall be made for any increase in the cost of performance of the contract (excluding profit) necessarily caused by such unreasonable suspension, delay, or interruption and the contract modified in writing accordingly. However, no adjustment shall be made under this clause for any suspension, delay, or interruption to the extent that performance would have

- been so suspended, delayed, or interrupted by any other cause, including the fault or negligence of the Contractor or for which any equitable adjustment is provided for or excluded under any other provision of this contract.
- (c) A claim under this clause shall not be allowed (1) for any costs incurred more than 20 days before the Contractor shall have notified the Contracting Officer in writing of the act or failure to act involved (but this requirement shall not apply as to a claim resulting from a suspension order); and, (2) unless the claim, in an amount stated, is asserted in writing as soon as practicable after the termination of the suspension, delay, or interruption, but not later than the date of final payment under the contract.

### 31. Disputes

- (a) "Claim," as used in this clause, means a written demand or written assertion by one of the contracting parties seeking, as a matter of right, the payment of money in a sum certain, the adjustment or interpretation of contract terms, or other relief arising under or relating to the contract. A claim arising under the contract, unlike a claim relating to the contract, is a claim that can be resolved under a contract clause that provides for the relief sought by the claimant. A voucher, invoice, or other routine request for payment that is not in dispute when submitted is not a claim. The submission may be converted to a claim by complying with the requirements of this clause, if it is disputed either as to liability or amount or is not acted upon in a reasonable time.
- (b) Except for disputes arising under the clauses entitled Labor Standards - Davis Bacon and Related Acts, herein, all disputes arising under or relating to this contract, including any claims for damages for the alleged breach thereof which are not disposed of by agreement, shall be resolved under this clause.
- (c) All claims by the Contractor shall be made in writing and submitted to the Contracting Officer for a written decision. A claim by the PHA against the Contractor shall be subject to a written decision by the Contracting Officer.
- (d) The Contracting Officer shall, within 60 (unless otherwise indicated) days after receipt of the request, decide the claim or notify the Contractor of the date by which the decision will be made.
- (e) The Contracting Officer's decision shall be final unless the Contractor (1) appeals in writing to a higher level in the PHA in accordance with the PHA's policy and procedures, (2) refers the appeal to an independent mediator or arbitrator, or (3) files suit in a court of competent jurisdiction. Such appeal must be made within (30 unless otherwise indicated) days after receipt of the Contracting Officer's decision.
- (f) The Contractor shall proceed diligently with performance of this contract, pending final resolution of any request for relief, claim, appeal, or action arising under or relating to the contract, and comply with any decision of the Contracting Officer.

### 32. Default

- (a) If the Contractor refuses or fails to prosecute the work, or any separable part thereof, with the diligence that will insure its completion within the time specified in this contract, or any extension thereof, or fails to complete said work within this time, the Contracting Officer may, by written notice to the Contractor, terminate the right to

proceed with the work (or separable part of the work) that has been delayed. In this event, the PHA may take over the work and complete it, by contract or otherwise, and may take possession of and use any materials, equipment, and plant on the work site necessary for completing the work. The Contractor and its sureties shall be liable for any damage to the PHA resulting from the **Convenience** Contractor's refusal or failure to complete the work within the specified time, whether or not the Contractor's right to proceed with the work is terminated. This liability includes any increased costs incurred by the PHA in completing the work.

- (b) The Contractor's right to proceed shall not be terminated or the Contractor charged with damages under this clause if—
- (1) The delay in completing the work arises from unforeseeable causes beyond the control and without the fault or negligence of the Contractor. Examples of such causes include (i) acts of God, or of the public enemy, (ii) acts of the PHA or other governmental entity in either its sovereign or contractual capacity, (iii) acts of another contractor in the performance of a contract with the PHA, (iv) fires, (v) floods, (vi) epidemics, (vii) quarantine restrictions, (viii) strikes, (ix) freight embargoes, (x) unusually severe weather, or (xi) delays of subcontractors or suppliers at any tier arising from unforeseeable causes beyond the control and without the fault or negligence of both the Contractor and the subcontractors or suppliers; and
- (2) The Contractor, within days (10 days unless otherwise indicated) from the beginning of such delay (unless extended by the Contracting Officer) notifies the Contracting Officer in writing of the causes of delay. The Contracting Officer shall ascertain the facts and the extent of the delay. If, in the judgment of the Contracting Officer, the findings of fact warrant such action, time for completing the work shall be extended by written modification to the contract. The findings of the Contracting Officer shall be reduced to a written decision which shall be subject to the provisions of the Disputes clause of this contract.
- (c) If, after termination of the Contractor's right to proceed, it is determined that the Contractor was not in default, or that the delay was excusable, the rights and obligations of the parties will be the same as if the termination had been for convenience of the PHA.

### 33. Liquidated Damages

- (a) If the Contractor fails to complete the work within the time specified in the contract, or any extension, as specified in the clause entitled Default of this contract, the Contractor shall pay to the PHA as liquidated damages, the sum of \$ \_\_\_\_\_ [Contracting Officer insert amount] for each day of delay. If different completion dates are specified in the contract for separate parts or stages of the work, the amount of liquidated damages shall be assessed on those parts or stages which are delayed. To the extent that the Contractor's delay or nonperformance is excused under another clause in this contract, liquidated damages shall not be due the PHA. The Contractor remains liable for damages caused other than by delay.
- (b) If the PHA terminates the Contractor's right to proceed, the resulting damage will consist of liquidated damages until such reasonable time as may be required for final

completion of the work together with any increased costs occasioned the PHA in completing the work.

- (c) If the PHA does not terminate the Contractor's right to proceed, the resulting damage will consist of liquidated damages until the work is completed or accepted.

### 34. Termination for

- (a) The Contracting Officer may terminate this contract in whole, or in part, whenever the Contracting Officer determines that such termination is in the best interest of the PHA. Any such termination shall be effected by delivery to the Contractor of a Notice of Termination specifying the extent to which the performance of the work under the contract is terminated, and the date upon which such termination becomes effective.
- (b) If the performance of the work is terminated, either in whole or in part, the PHA shall be liable to the Contractor for reasonable and proper costs resulting from such termination upon the receipt by the PHA of a properly presented claim setting out in detail: (1) the total cost of the work performed to date of termination less the total amount of contract payments made to the Contractor; (2) the cost (including reasonable profit) of settling and paying claims under subcontracts and material orders for work performed and materials and supplies delivered to the site, payment for which has not been made by the PHA to the Contractor or by the Contractor to the subcontractor or supplier; (3) the cost of preserving and protecting the work already performed until the PHA or assignee takes possession thereof or assumes responsibility therefore; (4) the actual or estimated cost of legal and accounting services reasonably necessary to prepare and present the termination claim to the PHA; and (5) an amount constituting a reasonable profit on the value of the work performed by the Contractor.
- (c) The Contracting Officer will act on the Contractor's claim within days (60 days unless otherwise indicated) of receipt of the Contractor's claim.
- (d) Any disputes with regard to this clause are expressly made subject to the provisions of the Disputes clause of this contract.

### 35. Assignment of Contract

The Contractor shall not assign or transfer any interest in this contract; except that claims for monies due or to become due from the PHA under the contract may be assigned to a bank, trust company, or other financial institution. Such assignments of claims shall only be made with the written concurrence of the Contracting Officer. If the Contractor is a partnership, this contract shall inure to the benefit of the surviving or remaining member(s) of such partnership as approved by the Contracting Officer.

### 36. Insurance

- (a) Before commencing work, the Contractor and each subcontractor shall furnish the PHA with certificates of insurance showing the following insurance is in force and will insure all operations under the Contract:
- (1) Workers' Compensation, in accordance with state or Territorial Workers' Compensation laws.
- (2) Commercial General Liability with a combined single limit for bodily injury and property damage of not less than \$ \_\_\_\_\_ [Contracting Officer insert amount]

per occurrence to protect the Contractor and each subcontractor against claims for bodily injury or death and damage to the property of others. This shall cover the use of all equipment, hoists, and vehicles on the site(s) not covered by Automobile Liability under (3) below. If the Contractor has a "claims made" policy, then the following additional requirements apply: the policy must provide a "retroactive date" which must be on or before the execution date of the Contract; and the extended reporting period may not be less than five years following the completion date of the Contract.

- (3) Automobile Liability on owned and non-owned motor vehicles used on the site(s) or in connection therewith for a combined single limit for bodily injury and property damage of not less than \$ \_\_\_\_\_

[Contracting Officer insert amount] per occurrence.

- (b) Before commencing work, the Contractor shall furnish the PHA with a certificate of insurance evidencing that Builder's Risk (fire and extended coverage) Insurance on all work in place and/or materials stored at the building site(s), including foundations and building equipment, is in force. The Builder's Risk Insurance shall be for the benefit of the Contractor and the PHA as their interests may appear and each shall be named in the policy or policies as an insured. The Contractor in installing equipment supplied by the PHA shall carry insurance on such equipment from the time the Contractor takes possession thereof until the Contract work is accepted by the PHA. The Builder's Risk Insurance need not be carried on excavations, piers, footings, or foundations until such time as work on the superstructure is started. It need not be carried on landscape work. Policies shall furnish coverage at all times for the full cash value of all completed construction, as well as materials in place and/or stored at the site(s), whether or not partial payment has been made by the PHA. The Contractor may terminate this insurance on buildings as of the date taken over for occupancy by the PHA. The Contractor is not required to carry Builder's Risk Insurance for modernization work which does not involve structural alterations or additions and where the PHA's existing fire and extended coverage policy can be endorsed to include such work.
- (c) All insurance shall be carried with companies which are financially responsible and admitted to do business in the State in which the project is located. If any such insurance is due to expire during the construction period, the Contractor (including subcontractors, as applicable) shall not permit the coverage to lapse and shall furnish evidence of coverage to the Contracting Officer. All certificates of insurance, as evidence of coverage, shall provide that no coverage may be canceled or non-renewed by the insurance company until at least 30 days prior written notice has been given to the Contracting Officer.

### 37. Subcontracts

- (a) Definitions. As used in this contract -
- (1) "Subcontract" means any contract, purchase order, or other purchase agreement, including modifications and change orders to the foregoing, entered into by a subcontractor to furnish supplies, materials, equipment, and services for the performance of the prime contract or a subcontract.

- (2) "Subcontractor" means any supplier, vendor, or firm that furnishes supplies, materials, equipment, or services to or for the Contractor or another subcontractor.
- (b) The Contractor shall not enter into any subcontract with any subcontractor who has been temporarily denied participation in a HUD program or who has been suspended or debarred from participating in contracting programs by any agency of the United States Government or of the state in which the work under this contract is to be performed.
- (c) The Contractor shall be as fully responsible for the acts or omissions of its subcontractors, and of persons either directly or indirectly employed by them as for the acts or omissions of persons directly employed by the Contractor.
- (d) The Contractor shall insert appropriate clauses in all subcontracts to bind subcontractors to the terms and conditions of this contract insofar as they are applicable to the work of subcontractors.
- (e) Nothing contained in this contract shall create any contractual relationship between any subcontractor and the PHA or between the subcontractor and HUD.

### 38. Subcontracting with Small and Minority Firms, Women's Business Enterprise, and Labor Surplus Area Firms

The Contractor shall take the following steps to ensure that, whenever possible, subcontracts are awarded to small business firms, minority firms, women's business enterprises, and labor surplus area firms:

- (a) Placing qualified small and minority businesses and women's business enterprises on solicitation lists;
- (b) Ensuring that small and minority businesses and women's business enterprises are solicited whenever they are potential sources;
- (c) Dividing total requirements, when economically feasible, into smaller tasks or quantities to permit maximum participation by small and minority businesses and women's business enterprises;
- (d) Establishing delivery schedules, where the requirements of the contract permit, which encourage participation by small and minority businesses and women's business enterprises; and
- (e) Using the services and assistance of the U.S. Small Business Administration, the Minority Business Development Agency of the U.S. Department of Commerce, and State and local governmental small business agencies.

### 39. Equal Employment Opportunity

During the performance of this contract, the Contractor/Seller agrees as follows:

- (a) The Contractor/Seller shall not discriminate against any employee or applicant for employment because of race color, religion, sex, sexual orientation, gender identity, disability, or national origin.
- (b) The Contractor/Seller shall take affirmative action to ensure that applicants are employed, and that employees are treated during employment without regard to their race, color, religion, sex, sexual orientation, gender identity, disability, or national origin. Such action shall include, but not be limited to, (1) employment, (2) upgrading demotion, (4) transfer, (5) recruitment or recruitment advertising, (6) layoff or termination, (7) rates of pay or other forms of compensation, and (8) selection for training, including apprenticeship

(c) The Contractor/Seller agrees to post in conspicuous places available to employees and applicants for employment the notices to be provided by the Contracting Officer setting forth the provisions of this nondiscrimination clause.

(d) The Contractor/Seller shall, in all solicitations or advertisements for employees placed by or on behalf of the Contractor/Seller, state that all qualified applicants will receive consideration for employment without regard to race, color, religion, sex, or national origin.

(e) The Contractor/Seller shall send, to each labor union or representative of workers with which it has a collective bargaining agreement or other contract or understanding, the notice to be provided by the Contracting Officer advising the labor union or workers' representative of the Contractor's commitments under this clause, and post copies of the notice in conspicuous places available to employees and applicants for employment.

(f) The Contractor/Seller shall comply with Executive Order 11246, as amended, and the rules, regulations, and orders of the Secretary of Labor.

(g) The Contractor/Seller shall furnish all information and reports required by Executive Order 11246, as amended, Section 503 of the Rehabilitation Act of 1973, as amended, and by rules, regulations, and orders of the Secretary of Labor, or pursuant thereto. The Contractor/Seller shall permit

access to its books, records, and accounts by the Secretary of Labor for purposes of investigation to ascertain compliance with such rules, regulations, and orders.

(h) In the event of a that the Contractor/Seller is in noncompliance with the nondiscrimination clauses of this contract or with any of such rules, regulations, or orders, this contract may be canceled, terminated or suspended in whole or in part and the contractor/seller may be declared ineligible for further Government contracts in accordance with procedures authorized in Executive Order 11246 of September 24, 1965, and such other sanctions may be imposed and remedies invoked as provided in Executive Order 11246 of September 24, 1965, or by rule, regulation, or order of the Secretary of Labor, or as otherwise provided by law.

(i) The contractor/seller will include the provisions of paragraphs (a) through (h) in every subcontract or purchase order unless exempted by rules, regulations, or orders of the Secretary of Labor issued pursuant to section 204 of Executive Order 11246 of September 24, 1965, so that such provisions will be binding upon each sub[contractor/seller] or vendor. The [contractor/seller] will take such action with respect to any subcontract or purchase order as may be directed by the Secretary of Labor as a means of enforcing such provisions including sanctions for noncompliance: Provided, however, that in the event the [contractor/seller] becomes involved in, or is threatened with, litigation with a subcontractor or vendor as a result of such direction, the [contractor/seller] may request the United States to enter into such litigation to protect the interests of the United States.

(j) Compliance with the requirements of this clause shall be to the maximum extent consistent with, but not in derogation of, compliance with section 7(b) of the Indian Self-Determination and Education Assistance Act and the Indian Preference clause of this contract.

#### **40. Employment, Training, and Contracting Opportunities for Low-Income Persons, Section 3 of the Housing and Urban Development Act of 1968.**

(a) The work to be performed under this contract is subject to the requirements of Section 3 of the Housing and Urban Development Act of 1968, as amended, 12 U.S.C. 1701u (section 3). The purpose of section 3 is to ensure that employment and other economic opportunities generated by HUD assistance or HUD-assisted projects covered by Section 3, shall, to the greatest extent feasible, be directed to low- and very low-income persons, particularly persons who are recipients of HUD assistance for housing.

(b) The parties to this contract agree to comply with HUD's regulations in 24 CFR Part 75, which implement Section 3. As evidenced by their execution of this contract, the parties to this contract certify that they are under no contractual or other impediment that would prevent them from complying with the Part 75 regulations.

(c) The contractor agrees to send to each labor organization or representative of workers with which the contractor has a collective bargaining agreement or other understanding, if any, a notice advising the labor organization or workers' representative of the contractor's commitments under this section 3 clause and will post copies of the notice in conspicuous places at the work site where both employees and applicants for training and employment positions can see the notice. The notice shall describe the Section 3 prioritization requirements and shall state the minimum percentages of labor hour requirements established in the Benchmark Notice (FR-6085-N-04).

(d) The contractor agrees to include this section 3 clause in every subcontract subject to compliance with regulations in 24 CFR Part 75, and agrees to take appropriate action, as provided in an applicable provision of the subcontract or in this section 3 clause, upon a finding that the subcontractor is in violation of the regulations in 24 CFR Part 75. The contractor will not subcontract with any subcontractor where the contractor has notice or knowledge that the subcontractor has been found in violation of the regulations in 24 CFR Part 75.

(e) Noncompliance with HUD's regulations in 24 CFR Part 75 may result in sanctions, termination of this contract for default, and debarment or suspension from future HUD assisted contracts.

(f) Contracts, subcontracts, grants, or subgrants subject to Section 7(b) of the Indian Self-Determination and Education Assistance Act (25 U.S.C. 5307(b)) or subject to tribal preference requirements as authorized under 101(k) of the Native American Housing Assistance and Self-Determination Act (25 U.S.C. 4111(k)) must provide preferences in employment, training, and business opportunities to Indians and Indian organizations, and are therefore not subject to the requirements of 24 CFR Part 75.

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#### 41. Interest of Members of Congress

No member of or delegate to the Congress of the United States of America shall be admitted to any share or part of this contract or to any benefit that may arise therefrom.

#### 42. Interest of Members, Officers, or Employees and Former Members, Officers, or Employees

No member, officer, or employee of the PHA, no member of the governing body of the locality in which the project is situated, no member of the governing body of the locality in which the PHA was activated, and no other public official of such locality or localities who exercises any functions or responsibilities with respect to the project, shall, during his or her tenure, or for one year thereafter, have any interest, direct or indirect, in this contract or the proceeds thereof.

#### 43. Limitations on Payments made to Influence Certain Federal Financial Transactions

- (a) The Contractor agrees to comply with Section 1352 of Title 31, United States Code which prohibits the use of **Acts** Federal appropriated funds to pay any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, and officer or employee of Congress, or an employee of a Member of Congress in connection with any of the following covered Federal actions: the awarding of any Federal contract; the making of any Federal grant; the making of any Federal loan; the entering into of any cooperative agreement; or the modification of any Federal contract, grant, loan, or cooperative agreement.
- (b) The Contractor further agrees to comply with the requirement of the Act to furnish a disclosure (OMB Standard Form LLL, Disclosure of Lobbying Activities) if any funds other than Federal appropriated funds (including profit or fee received under a covered Federal transaction) have been paid, or will be paid, to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with a Federal contract, grant, loan, or cooperative agreement.

#### 44. Royalties and Patents

The Contractor shall pay all royalties and license fees. It shall defend all suits or claims for infringement of any patent rights and shall save the PHA harmless from loss on account thereof; except that the PHA shall be responsible for all such loss when a particular design, process or the product of a particular manufacturer or manufacturers is specified and the Contractor has no reason to believe that the specified design, process, or product is an infringement. If, however, the Contractor has reason to believe that any design, process or product specified is an infringement of a patent, the Contractor shall promptly notify the Contracting Officer. Failure to give such notice shall make the Contractor responsible for resultant loss.

#### 45. Examination and Retention of Contractor's Records

- (a) The PHA, HUD, or Comptroller General of the United States, or any of their duly authorized representatives shall, until 3 years after final payment under this contract, have access to and the right to examine any of the Contractor's directly pertinent books, documents, papers, or other records involving transactions related to this contract for the purpose of making audit, examination, excerpts, and transcriptions.
- (b) The Contractor agrees to include in first-tier subcontracts under this contract a clause substantially the same as paragraph (a) above. "Subcontract," as used in this clause, excludes purchase orders not exceeding \$10,000.
- (c) The periods of access and examination in paragraphs (a) and (b) above for records relating to (1) appeals under the Disputes clause of this contract, (2) litigation or settlement of claims arising from the performance of this contract, or (3) costs and expenses of this contract to which the PHA, HUD, or Comptroller General or any of their duly authorized representatives has taken exception shall continue until disposition of such appeals, litigation, claims, or exceptions.

#### 46. Labor Standards - Davis-Bacon and Related

If the total amount of this contract exceeds \$2,000, the Federal labor standards set forth in the clause below shall apply to the development or construction work to be performed under the contract.

- (a) Minimum Wages.
  - (1) All laborers and mechanics employed under this contract in the development or construction of the project(s) involved will be paid unconditionally and not less often than once a week, and without subsequent deduction or rebate on any account (except such payroll deductions as are permitted by regulations issued by the Secretary of Labor under the Copeland Act (29 CFR Part 3)), the full amount of wages and bona fide fringe benefits (or cash equivalents thereof) due at time of payment computed at rates not less than those contained in the wage determination of the Secretary of Labor which is attached hereto and made a part hereof, regardless of any contractual relationship which may be alleged to exist between the Contractor and such laborers and mechanics. Contributions made or costs reasonably anticipated for bona fide fringe benefits under Section 1(b)(2) of the Davis-Bacon Act on behalf of laborers or mechanics are considered wages paid to such laborers or mechanics, subject to the provisions of 29 CFR 5.5(a)(1)(iv); also, regular contributions made or costs incurred for more than a weekly period (but not less often than quarterly) under plans, funds, or programs which cover the regular weekly period, are deemed to be constructively made or incurred during such weekly period. Such laborers and mechanics shall be paid the appropriate wage rate and fringe benefits in the wage determination for the classification of work actually performed, without regard to skill, except as provided in 29 CFR 5.5(a)(4). Laborers or mechanics performing work in more than one classification may be compensated at the rate specified for each classification for the time actually worked therein; provided, that the employer's payroll records accurately set forth the time spent in each classification in which work is performed. The wage determination (including any additional classification and wage rates conformed under 29 CFR 5.5(a)(1)(ii) and the Davis-Bacon poster (WH-1321) shall



be posted at all times by the Contractor and its subcontractors at the site of the work in a prominent and accessible place where it can be easily seen by the workers.

(2) (i) Any class of laborers or mechanics, including

helpers, which is not listed in the wage determination and which is to be employed under the contract shall be classified in conformance with the wage determination. HUD shall approve an additional classification and wage rate and fringe benefits therefor only when all the following criteria have been met: (A) The work to be performed by the classification requested is not performed by a classification in the wage determination; and (B) The classification is utilized in the area by the construction industry; and (C) The proposed wage rate, including any bona fide fringe benefits, bears a reasonable relationship to the wage rates contained in the wage determination.

- (ii) If the Contractor and the laborers and mechanics to be employed in the classification (if known), or their representatives, and HUD or its designee agree on the classification and wage rate (including the amount designated for fringe benefits where appropriate), a report of the action taken shall be sent by HUD or its designee to the Administrator of the Wage and Hour Division, Employee Standards Administration, U.S. Department of Labor, Washington, DC 20210. The Administrator, or an authorized representative, will approve, modify, or disapprove every additional classification action within 30 days of receipt and so advise HUD or its designee or will notify HUD or its designee within the 30-day period that additional time is necessary.
- (iii) In the event the Contractor, the laborers or mechanics to be employed in the classification or their representatives, and HUD or its designee do not agree on the proposed classification and wage rate (including the amount designated for fringe benefits, where appropriate), HUD or its designee shall refer the questions, including the views of all interested parties and the recommendation of HUD or its designee, to the Administrator of the Wage and Hour Division for determination. The Administrator, or an authorized representative, will issue a determination within 30 days of receipt and so advise HUD or its designee or will notify HUD or its designee within the 30-day period that additional time is necessary.
- (iv) The wage rate (including fringe benefits where appropriate) determined pursuant to subparagraphs (a)(2)(ii) or (iii) of this clause shall be paid to all workers performing work in the classification under this contract from the first day on which work is performed in classification.
- (3) Whenever the minimum wage rate prescribed in the contract for a class of laborers or mechanics includes a fringe benefit which is not expressed as an hourly rate, the Contractor shall either pay the benefit as stated in the wage determination or shall pay another bona fide fringe benefit or an hourly cash equivalent thereof.
- (4) If the Contractor does not make payments to a trustee or other third person, the Contractor may consider as part of the wages of any laborer or mechanic the

amount of any costs reasonably anticipated in providing bona fide fringe benefits under a plan or program; provided, that the Secretary of Labor has found, upon the written request of the Contractor, that the applicable standards of the Davis-Bacon Act have been met. The Secretary of Labor may require the Contractor to set aside in a separate account assets for the meeting of obligations under the plan or program.

- (b) Withholding of funds. HUD or its designee shall, upon its own action or upon written request of an authorized representative of the Department of Labor, withhold or cause to be withheld from the Contractor under this contract or any other Federal contract with the same prime Contractor, or any other Federally-assisted contract subject to Davis-Bacon prevailing wage requirements, which is held by the same prime Contractor, so much of the accrued payments or advances as may be considered necessary to pay laborers and mechanics, including apprentices, trainees, and helpers, employed by the Contractor or any subcontractor the full amount of wages required by the contract. In the event of failure to pay any laborer or mechanic, including any apprentice, trainee, or helper, employed or working in the construction or development of the project, all or part of the wages required by the contract, HUD or its designee may, after written notice to the Contractor, take such action as may be necessary to cause the suspension of any further payment, advance, or guarantee of funds until such violations have ceased. HUD or its designee may, after written notice to the Contractor, disburse such amounts withheld for and on account of the Contractor or subcontractor to the respective employees to whom they are due.
- (c) Payrolls and basic records.
- (1) Payrolls and basic records relating thereto shall be maintained by the Contractor during the course of the work and preserved for a period of three years thereafter for all laborers and mechanics working in the construction or development of the project. Such records shall contain the name, address, and social security number of each such worker, his or her correct classification, hourly rates of wages paid (including rates of contributions or costs anticipated for bona fide fringe benefits or cash equivalents thereof of the types described in section 1(b)(2)(B) of the Davis-Bacon Act), daily and weekly number of hours worked, deductions made, and actual wages paid. Whenever the Secretary of Labor has found, under 29 CFR 5.5(a)(1)(iv), that the wages of any laborer or mechanic include the amount of costs reasonably anticipated in providing benefits under a plan or program described in section 1(b)(2)(B) of the Davis-Bacon Act, the Contractor shall maintain records which show that the commitment to provide such benefits is enforceable, that the plan or program is financially responsible, and that the plan or program has been communicated in writing to the laborers or mechanics affected, and records which show the costs anticipated or the actual cost incurred in providing such benefits. Contractors employing apprentices or trainees under approved programs shall maintain written evidence of the registration of apprenticeship programs and certification of trainee programs, the registration of the apprentices and trainees, and the ratios and wage rates prescribed in the applicable programs.

(2) (i) The Contractor shall submit weekly for each week in which any contract work is performed a copy of all payrolls to the Contracting Officer for transmission to HUD or its designee. The payrolls submitted shall set out accurately and completely all of the information required to be maintained under subparagraph (c)(1) of this clause. This information may be submitted in any form desired. Optional Form WH-347 (Federal Stock Number 029-005-00014-1) is available for this purpose and may be purchased from the Superintendent of Documents, U.S. Government Printing Office, Washington, D.C. 20402. The Contractor is responsible for the submission of copies of payrolls by all subcontractors. (Approved by the Office of Management and Budget under OMB Control Number 1214-0149.)

(ii) Each payroll submitted shall be accompanied by a "Statement of Compliance," signed by the Contractor or subcontractor or his or her agent who pays or supervises the payment of the persons employed under the contract and shall certify the following:

- (A) That the payroll for the payroll period contains the information required to be maintained under paragraph (c) (1) of this clause and that such information is correct and complete;
  - (B) That each laborer or mechanic (including each helper, apprentice, and trainee) employed on the contract during the payroll period has been paid the full weekly wages earned, without rebate, either directly or indirectly, and that no deductions have been made either directly or indirectly from the full wages earned, other than permissible deductions as set forth in 29 CFR Part 3; and
  - (C) That each laborer or mechanic has been paid not less than the applicable wage rates and fringe benefits or cash equivalents for the classification of work performed, as specified in the applicable wage determination incorporated into the contract.
- (iii) The weekly submission of a properly executed certification set forth on the reverse side of Optional Form WH-347 shall satisfy the requirements for submission of the "Statement of Compliance" required by subparagraph (c)(2)(ii) of this clause.
- (iv) The falsification of any of the above certifications may subject the Contractor or subcontractor to civil or criminal prosecution under Section 1001 of Title 18 and Section 3729 of Title 31 of the United States Code.

(3) The Contractor or subcontractor shall make the records required under subparagraph (c)(1) available for inspection, copying, or transcription by authorized representatives of HUD or its designee, the Contracting Officer, or the Department of Labor and shall permit such representatives to interview employees during working hours on the job. If the Contractor or subcontractor fails to submit the required records or to make them available, HUD or its designee may, after written notice to the Contractor, take such action as may be necessary to cause the suspension of any further payment, advance, or guarantee of funds. Furthermore, failure to submit the required records upon request or to

make such records available may be grounds for debarment action pursuant to 29 CFR 5.12.

- (d) (1) Apprentices. Apprentices will be permitted to work at less than the predetermined rate for the work they performed when they are employed pursuant to and individually registered in a bona fide apprenticeship program registered with the U.S. Department of Labor, Employment and Training Administration, Office of Apprenticeship and Training, Employer and Labor Services (OATELS), or with a State Apprenticeship Agency recognized by OATELS, or if a person is employed in his or her first 90 days of probationary employment as an apprentice in such an apprenticeship program, who is not individually registered in the program, but who has been certified by OATELS or a State Apprenticeship Agency (where appropriate) to be eligible for probationary employment as an apprentice. The allowable ratio of apprentices to journeymen on the job site in any craft classification shall not be greater than the ratio permitted to the Contractor as to the entire work force under the registered program. Any worker listed on a payroll at an apprentice wage rate, who is not registered or otherwise employed as stated in this paragraph, shall be paid not less than the applicable wage rate on the wage determination for the classification of work actually performed. In addition, any apprentice performing work on the job site in excess of the ratio permitted under the registered program shall be paid not less than the applicable wage rate on the wage determination for the work actually performed. Where a contractor is performing construction on a project in a locality other than that in which its program is registered, the ratios and wage rates (expressed in percentages of the journeyman's hourly rate) specified in the Contractor's or subcontractor's registered program shall be observed. Every apprentice must be paid at not less than the rate specified in the registered program for the apprentice's level of progress, expressed as a percentage of the journeyman hourly rate specified in the applicable wage determination. Apprentices shall be paid fringe benefits in accordance with the provisions of the apprenticeship program. If the apprenticeship program does not specify fringe benefits, apprentices must be paid the full amount of fringe benefits listed on the wage determination for the applicable classification. If the Administrator of the Wage and Hour Division determines that a different practice prevails for the applicable apprentice classification, fringes shall be paid in accordance with that determination. In the event OATELS, or a State Apprenticeship Agency recognized by OATELS, withdraws approval of an apprenticeship program, the Contractor will no longer be permitted to utilize apprentices at less than the applicable predetermined rate for the work performed until an acceptable program is approved.
- (2) Trainees. Except as provided in 29 CFR 5.16, trainees will not be permitted to work at less than the predetermined rate for the work performed unless they are employed pursuant to and individually registered in a program which has received prior approval, evidenced by formal certification by the U.S. Department of Labor, Employment and Training Administration. The ratio of trainees to journeymen on the job site shall not be greater than permitted under

the plan approved by the Employment and Training Administration. Every trainee must be paid at not less than the rate specified in the approved program for the trainee's level of progress, expressed as a percentage of the journeyman hourly rate specified in the applicable wage determination. Trainees shall be paid fringe benefits in accordance with the provisions of the trainee program. If the trainee program does not mention fringe benefits, trainees shall be paid the full amount of fringe benefits listed in the wage determination unless the Administrator of the Wage and Hour Division determines that there is an apprenticeship program associated with the corresponding journeyman wage rate in the wage determination which provides for less than full fringe benefits for apprentices. Any employee listed on the payroll at a trainee rate who is not registered and participating in a training plan approved by the Employment and Training Administration shall be paid not less than the applicable wage rate in the wage determination for the classification of work actually performed. In addition, any trainee performing work on the job site in excess of the ratio permitted under the registered program shall be paid not less than the applicable wage rate in the wage determination for the work actually performed. In the event the Employment and Training Administration withdraws approval of a training program, the Contractor will no longer be permitted to utilize trainees at less than the applicable predetermined rate for the work performed until an acceptable program is approved.

- (3) Equal employment opportunity. The utilization of apprentices, trainees, and journeymen under this clause shall be in conformity with the equal employment opportunity requirements of Executive Order 11246, as amended, and 29 CFR Part 30.
- (e) Compliance with Copeland Act requirements. The Contractor shall comply with the requirements of 29 CFR Part 3, which are hereby incorporated by reference in this contract.
- (f) Contract termination; debarment. A breach of this contract clause may be grounds for termination of the contract and for debarment as a Contractor and a subcontractor as provided in 29 CFR 5.12.
- (g) Compliance with Davis-Bacon and related Act requirements. All rulings and interpretations of the Davis-Bacon and related Acts contained in 29 CFR Parts 1, 3, and 5 are herein incorporated by reference in this contract.
- (h) Disputes concerning labor standards. Disputes arising out of the labor standards provisions of this clause shall not be subject to the general disputes clause of this contract. Such disputes shall be resolved in accordance with the procedures of the Department of Labor set forth in 29 CFR Parts 5, 6, and 7. Disputes within the meaning of this clause include disputes between the Contractor (or any of its subcontractors) and the PHA, HUD, the U.S. Department of Labor, or the employees or their representatives.
- (i) Certification of eligibility.
  - (1) By entering into this contract, the Contractor certifies that neither it (nor he or she) nor any person or firm who has an interest in the Contractor's firm is a person or firm ineligible to be awarded contracts by the United States Government by virtue of section 3(a) of the Davis-Bacon Act or 29 CFR 5.12(a)(1).

- (2) No part of this contract shall be subcontracted to any person or firm ineligible for award of a United States Government contract by virtue of section 3(a) of the Davis-Bacon Act or 29 CFR 5.12(a)(1).
- (3) The penalty for making false statements is prescribed in the U. S. Criminal Code, 18 U.S.C. 1001.
- (j) Contract Work Hours and Safety Standards Act. As used in this paragraph, the terms "laborers" and "mechanics" include watchmen and guards.
  - (1) Overtime requirements. No contractor or subcontractor contracting for any part of the contract work which may require or involve the employment of laborers or mechanics, including watchmen and guards, shall require or permit any such laborer or mechanic in any workweek in which the individual is employed on such work to work in excess of 40 hours in such workweek unless such laborer or mechanic receives compensation at a rate not less than one and one-half times the basic rate of pay for all hours worked in excess of 40 hours in such workweek.
  - (2) Violation; liability for unpaid wages; liquidated damages. In the event of any violation of the provisions set forth in subparagraph (j)(1) of this clause, the Contractor and any subcontractor responsible therefor shall be liable for the unpaid wages. In addition, such Contractor and subcontractor shall be liable to the United States (in the case of work done under contract for the District of Columbia or a territory, to such District or to such territory), for liquidated damages. Such liquidated damages shall be computed with respect to each individual laborer or mechanic (including watchmen and guards) employed in violation of the provisions set forth in subparagraph (j)(1) of this clause, in the sum of \$27 for each calendar day on which such individual was required or permitted to work in excess of the standard workweek of 40 hours without payment of the overtime wages required by provisions set forth in subparagraph (j)(1) of this clause. DOL posts current fines at: <https://www.dol.gov/whd/govcontracts/cwhssa.htm#cmp>
  - (3) Withholding for unpaid wages and liquidated damages. HUD or its designee shall upon its own action or upon written request of an authorized representative of the Department of Labor withhold or cause to be withheld, from any moneys payable on account of work performed by the Contractor or subcontractor under any such contract or any Federal contract with the same prime Contractor, or any other Federally-assisted contract subject to the Contract Work Hours and Safety Standards Act, which is held by the same prime Contractor, such sums as may be determined to be necessary to satisfy any liabilities of such Contractor or subcontractor for unpaid wages and liquidated damages as provided in the provisions set forth in subparagraph (j)(2) of this clause.
- (k) Subcontracts. The Contractor or subcontractor shall insert in any subcontracts all the provisions contained in this clause, and such other clauses as HUD or its designee may by appropriate instructions require, and also a clause requiring the subcontractors to include these provisions in any lower tier subcontracts. The prime Contractor shall be responsible for the compliance by any subcontractor or lower tier subcontractor with all these provisions.

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#### 47. Non-Federal Prevailing Wage Rates

(a) Any prevailing wage rate (including basic hourly rate and any fringe benefits), determined under State or tribal law to be prevailing, with respect to any employee in any trade or position employed under the contract, is inapplicable to the contract and shall not be enforced against the Contractor or any subcontractor, with respect to employees engaged under the contract whenever such non-Federal prevailing wage rate exceeds:

(1) The applicable wage rate determined by the Secretary of Labor pursuant to the Davis-Bacon Act (40 U.S.C. 3141 et seq.) to be prevailing in the locality with respect to such trade;

(b) An applicable apprentice wage rate based thereon specified in an apprenticeship program registered with the U.S. Department of Labor (DOL) or a DOL-recognized State Apprenticeship Agency; or

(c) An applicable trainee wage rate based thereon specified in a DOL-certified trainee program.

#### 48. Procurement of Recovered Materials.

(a) In accordance with Section 6002 of the Solid Waste Disposal Act, as amended by the Resource Conservation and Recovery Act, the Contractor shall procure items designated in guidelines of the Environmental Protection Agency (EPA) at 40 CFR Part 247 that contain the highest percentage of recovered materials practicable, consistent with maintaining a satisfactory level of competition. The Contractor shall procure items designated in the EPA guidelines that contain the highest percentage of recovered materials practicable unless the Contractor determines that such items: (1) are not reasonably available in a reasonable period of time; (2) fail to meet reasonable performance standards, which shall be determined on the basis of the guidelines of the National Institute of Standards and Technology, if applicable to the item; or (3) are only available at an unreasonable price.

( ) Paragraph (a) of this clause shall apply to items purchased under this contract where: (1) the Contractor purchases in excess of \$10,000 of the item under this contract; or (2) during the preceding Federal fiscal year, the Contractor: (i) purchased any amount of the items for use under a contract that was funded with Federal appropriations and was with a Federal agency or a State agency or agency of a political subdivision of a State; and (ii) purchased a total of in excess of \$10,000 of the item both under and outside that contract.



## SPECIAL CONDITIONS

### SPECIAL CONDITIONS

The following conditions modify the "General Conditions of the Contract for Construction/Public and Indian Housing Programs", Form HUD-5370. Where a portion of the General Condition is modified or deleted by these Special Conditions, the unaltered portions of the General Conditions shall remain in effect.

#### PROJECT MEETINGS

Project meetings shall be held **(Weekly, Bi-Weekly, or other?)** at the site followed by a site inspection. Appropriate representation from the Architect, Contractor, major Sub-contractors and Owner shall be in attendance.

#### CHANGE ORDERS

An itemized breakdown showing cost and mark up must be submitted with each proposal for change order

Maximum allowable markup (includes indirect cost and profit) on "*direct cost*" will be eight percent (8%).

Maximum allowable markup (includes indirect cost only) on "*amounts proposed from any tier Subcontractor*" will be five percent (5%).

Markup will not be allowed on more than one-tire Subcontractor.

#### SUPERVISION

The Contractor shall provide a full-time Superintendent who shall be responsible for all phases of work performed under this Contract. The Superintendent shall not perform work with tools except in specific instances when approved by the Housing Authority of the City of Tampa.

#### INSPECTION

The Housing Authority of the City of Tampa may appoint an Inspector as deemed proper to inspect the work performed under this

Contract for compliance with the Specifications.

The Contractor shall furnish all reasonable assistance required by the Inspector for the proper inspection and examination of the work.

The Contractor shall follow the directions and instructions of the Contract. Should the Contractor object to any order given by any Inspector, the Contractor shall make written appeal to the Contracting Officer for a decision.

The Inspector and other authorized representatives of the Housing Authority of the City of Tampa shall be free at all times to perform their duties and any attempted intimidation of an inspector by the Contractor or by any of his employees shall be sufficient reason, if the Housing Authority of the City of Tampa so decided, to terminate the Contract. Furthermore, such field inspections shall not relieve the Contractor from any obligation to perform said work strictly in accordance with the contract documents. Any work not so constructed shall be removed and made good by the Contractor at Contractor's own expense.

#### ON-SITE STORAGE

If, during the course of the contract, the Contractor finds it necessary to place temporary storage trailers containing materials and/or equipment on the Housing Authority property, an on-site area will be designated by the Housing Authority. However, the Housing Authority assumes no responsibility for such stored material, equipment, buildings or trailers.

#### RIGHTS OF ENTRY

The right to enter on any site of construction or material storage area is reserved by the Housing Authority and all Government agencies involved in any way with the project. Furthermore, a 48 hr advance notice need not be given by the Housing Authority of the City of Tampa for such entry right.



## **SPECIAL CONDITIONS**

### **COMPETENCE OF WORKMEN**

Every worker on any part of this Contract shall be competent to perform the task to which he/she is assigned. Supervision for each crew shall be done by a Foreman or Superintendent that is capable of directing the work. Conditions which require the constant presence of a Housing Authority of the City of Tampa Inspector to assure the quality of the work will not be tolerated. Any worker who does not produce quality workmanship through lack of cooperation or incompetence shall be promptly removed from the job upon written order by the Authority. The judge of quality of workmanship shall be the Housing Authority of the City of Tampa.

### **AFFIRMATIVE ACTION REQUIREMENT**

Under Executive Order 11246, as amended, the Housing Authority shall advise all construction-related Contractors and contracts over \$10,000 to document affirmative actions taken to ensure equal opportunity in employment. This documentation is subject to review by the Regional Office of the Department of Labor. As a part of normal contract administration, the Housing Authority will determine compliance with the equal opportunity clause or written affirmative action requirements and will review Contractor performance to ensure that these responsibilities are met.

### **RESPONSIBILITIES OF CONTRACTORS AND SUBCONTRACTORS**

All Contractors and Subcontractors on modernization activities are required to take affirmative action to comply with the equal employment opportunity provisions of Executive Order 11246, as amended.

### **CONTRACT PERIOD**

The Contractor shall complete all work required under this contract within **(INSERT DAYS)** calendar days of the effective date of

the contract or within the time schedule established in the notice to proceed issued by the Contracting Officer.

The Contractor shall make all specified areas of work available for the Owner's use on the effective date of the Certificate of Substantial Completion. The Contractor will complete and/or correct all of the Work on the Punch List items developed by Owner and/or the Architect within **(INSERT DAYS)** days from the completion date or liquidated damages shall apply.

### **LIQUIDATED DAMAGES**

If the Contractor fails to complete the work within the time specified in the contract, or any extension, as specified in the clause entitled Default of this contract, the Contractor shall pay to THA as liquidated damages, the sum of **\$INSERT AMOUNT** for each day of delay. If different completion dates are specified in the contract for separate parts or stages of the work, the amount of liquidated damages shall be assessed on those parts or stages which are delayed. To the extent that the Contractor's delay or nonperformance is excused under another clause in this contract, liquidated damages shall not be due to THA. The Contractor remains liable for damages caused other than by delay.

### **MINORITY BUSINESS ENTERPRISE OPPORTUNITY**

#### **MBE REQUIREMENTS**

Under Executive Orders 11625 and 12432, the Housing Authority, as part of its Affirmative Action Program, provides every feasible opportunity for minority and women business enterprises to participate in bidding for work. In accordance with the Department of HUD regulation, the Authority is required to establish a goal of awarding at least 20 percent (20%) of the dollar value of construction contracts to Minority Business Enterprises or General Contractors with 20% MBE participation. The contractor shall make regular reports as required by the



Housing Authority to demonstrate that this goal is being met.

**DEFINITIONS**

**MBE** means a business that is owned or controlled by one or more socially or economically disadvantaged persons. Such persons include African-Americans, Puerto Ricans, Spanish-Speaking Americans, Native Americans, Eskimos, Aleuts, Hasidic Jewish persons, Asian Pacific Americans, and Asian Indians.

**Owned or controlled** by one or more socially and economically disadvantaged person(s), or a for-profit business or nonprofit organization controlled by such person(s), possess at least 51 percent (51%) of the ownership of the business and its management and daily business operations are controlled by such person(s).

**Section 3 business concern** means a business concern, defined as:

- (1) That is 51 percent or more owned by section 3 residents; or
- (2) Whose permanent, full-time employees include persons, at least 30 percent of whom are currently section 3 residents, or within three years of the date of first employment with the business concern were section 3 residents; or
- (3) That provides evidence of a commitment to subcontract in excess of 25 percent of the dollar award of all subcontracts to be awarded to business concerns that meet the qualifications set forth in paragraphs (1) or (2) in this definition of a section 3 business concerns.

**Section 3 resident** means:

- (1) A Housing Authority of the City of Tampa public housing resident; or
- (2) An individual who resides within the City of Tampa and who is:
  - i) *A low-income person*, as this term is defined in section 3(b)(2) of the 1937 Act (42 U.S.C. 1437a(b)(2)). Section 3(b)(2) of the 1937 Act defines this term to mean families (including single persons) whose incomes do not

- exceed 80 per centum of the median income for the area, as determined by the Secretary, with adjustments for smaller and larger families, except that the Secretary may establish income ceilings higher or lower than 80 per centum of the median for the area on the basis of the Secretary's findings that such variations are necessary because of prevailing levels of construction costs or unusually high or low-income families; or
- ii) *A very low-income person*, as this term is defined in section 3(b)(2) of the 1937 Act (42 U.S.C. 1437a(b)(2)). Section 3(b)(2) of the 1937 Act (42 U.S.C. 1437a(b)(2) defines this term to mean families (including single persons) whose incomes do not exceed 50 per centum of the median family income for the area, as determined by the Secretary with adjustments for smaller and larger families, except that the Secretary may establish income ceilings higher or lower than 50 per centum of the median for the area on the basis of the Secretary's findings that such variations are necessary because of unusually high or low family incomes.

**Section 3 Cause**

This contract is subject to the following conditions under Section 3 of the Housing and Urban Development Act of 1968, as amended, 12 U.S.C. 1701u (Section 3):

- A. The work to be performed under this contract is subject to the requirements of Section 3 of the Housing and Urban Development Act of 1968, as amended, 12 U.S.C. 1701u (Section 3). The purpose of Section 3 is to ensure that employment and other economic opportunities generated by HUD assistance or HUD-assisted projects

- covered by Section 3, shall, to the greatest extent feasible, be directed to low- and very low-income persons, particularly persons who are recipients of HUD assistance for housing.
- B. The parties to this contract agree to comply with HUD's regulations in 24 CFR part 135, which implement Section 3. As evidenced by their execution of this contract, the parties to this contract certify that they are under no contractual or other impediment that would prevent them from complying with the part 135 regulations.
- C. The Contractor agrees to send to each labor organization or representative of workers with which the contractor has a collective bargaining agreement or other understanding, if any, a notice advising the labor organization or workers representative of the Contractor's commitments under this Section 3 clause, and will post copies of the notice in conspicuous places at the work site where both employees and applicants for training and employment positions can see the notice. The notice shall describe the Section 3 preference, shall set forth minimum number and job titles subject to hire, availability; of apprenticeship and training positions, the qualifications for each; and the name and location of the person(s) taking applications for each of the positions; and the anticipated date the work shall begin.
- D. The Contractor agrees to include this Section 3 clause in every subcontract subject to compliance with regulations in 24 CFR part 135, and agrees to take appropriate action, as provided in an applicable provision of the subcontract or in this Section 3 clause, upon a finding that the subcontractor is in violation of the regulations in 24 CFR part 135. The contractor will not subcontract with any subcontractor where the Contractor has notice or knowledge that the Subcontractor has been found in violation of the regulations in 24 CFR part 135.
- E. The Contractor will certify that any vacant employment positions, including training positions, that are filled (1) after the Contractor is selected but before the contract is executed, and (2) with persons other than those to whom the regulations of 24 CFR part 135 require employment opportunities to be directed, were not filled to circumvent the Contractor's obligations under 24 CFR part 125.
- F. Noncompliance with HUD's regulations in 24 CFR part 135 may result in sanctions, termination of this contract for default, and debarment or suspension from future HUD-assisted contracts.
- G. With respect to work performed in connection with Section 3 covered Indian housing assistance, Section 7(b) of the Indian Self-Determination and Education Assistance Act (25 U.S.C. 450e) also applies to the work to be performed under this contract. Section 7(b) requires that to the greatest extent feasible (i) preference and opportunities for training and employment shall be given to Indians, and (ii) preference in the award of contracts and subcontracts shall be given to Indian organizations and Indian-owned Economic Enterprises. Parties to this contract that are subject to the provisions of Section 3 and Section 7(b) agree to comply with Section 3 to the maximum extent feasible, but not in derogation of compliance with Section 7(b).
- H. Pursuant to 24 CFR 905.170(b), compliance with Section 3 requirements shall be to the maximum extent consistent with, but not in derogation of compliance with section 7(b) of the Indian Self-





## **SPECIAL CONDITIONS**

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Determination and Education Assistance, 25 U.S.C. section 450e(b) when this law is applicable.

### **INDEMNIFICATION**

Contractor agrees to save, indemnify, and hold harmless the Authority, its directors, officer, agents, and employees from any and all claims, losses, and expenses (including reasonable attorney's fees), or liability on account of damage of property or injury to or death of persons accruing or resulting to any and all Contractors. Sub-contractors, material men, laborers, and any other person, firm, or corporation furnishing or supplying work, services, materials, or supplies in connection with the negligent performance of this Agreement and from any and all claims and losses accruing or resulting to any person, firm, or corporation who may be injured or damaged by the Contractor in the negligent performance of this Agreement.

### **END OF SPECIAL CONDITIONS**

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"General Decision Number: FL20230208 01/13/2023

Superseded General Decision Number: FL20220208

State: Florida

Construction Type: Building

County: Hillsborough County in Florida.

**BUILDING CONSTRUCTION PROJECTS** (does not include single family homes or apartments up to and including 4 stories).

Note: Contracts subject to the Davis-Bacon Act are generally required to pay at least the applicable minimum wage rate required under Executive Order 14026 or Executive Order 13658.

Please note that these Executive Orders apply to covered contracts entered into by the federal government that are subject to the Davis-Bacon Act itself, but do not apply to contracts subject only to the Davis-Bacon Related Acts, including those set forth at 29 CFR 5.1(a)(2)-(60).

If the contract is entered into on or after January 30, 2022, or the contract is renewed or extended (e.g., an option is exercised) on or after January 30, 2022:	Executive Order 14026 generally applies to the contract.	The contractor must pay all covered workers at least \$16.20 per hour (or the applicable wage rate listed on this wage determination, if it is higher) for all hours spent performing on the contract in 2023.
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If the contract was awarded on or between January 1, 2015 and January 29, 2022, and the contract is not renewed or extended on or after January 30, 2022:	Executive Order 13658 generally applies to the contract.	The contractor must pay all covered workers at least \$12.15 per hour (or the applicable wage rate listed on this wage determination, if it is higher) for all hours spent performing on that contract in 2023.
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The applicable Executive Order minimum wage rate will be adjusted annually. If this contract is covered by one of the Executive Orders and a classification considered necessary for performance of work on the contract does not appear on this

wage determination, the contractor must still submit a conformance request.

Additional information on contractor requirements and worker protections under the Executive Orders is available at <http://www.dol.gov/whd/govcontracts>.

Modification Number	Publication Date
0	01/06/2023
1	01/13/2023

ASBE0067-003 01/01/2021

Rates Fringes

ASBESTOS WORKER/HEAT & FROST  
INSULATOR.....\$ 30.12 13.11

\* ELEV0074-001 01/01/2023

Rates Fringes

ELEVATOR MECHANIC.....\$ 47.51 37.335+a+b

FOOTNOTE:

a. Employer contributions 8% of regular hourly rate to vacation pay credit for employee who has worked in business more than 5 years; Employer contributions 6% of regular hourly rate to vacation pay credit for employee who has worked in business less than 5 years.

b. Paid Holidays: New Year's Day; Memorial Day; Independence Day; Labor Day; Veterans' Day, Thanksgiving Day; The Friday after Thanksgiving Day; and Christmas Day.

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ENGI0487-021 07/01/2016

Rates Fringes

OPERATOR: Crane  
All Cranes 160 Ton  
Capacity and Over.....\$ 33.05 9.20  
All Cranes Over 15 Ton  
Capacity.....\$ 32.05 9.20  
OPERATOR: Forklift.....\$ 23.25 9.20  
OPERATOR: Mechanic.....\$ 32.05 9.20  
OPERATOR: Oiler.....\$ 23.50 9.20

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IRON0397-007 07/01/2022

Rates Fringes

IRONWORKER, STRUCTURAL.....\$ 32.60 16.97

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IRON0397-008 07/01/2022

Rates Fringes

IRONWORKER, REINFORCING.....\$ 32.60 16.97

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IRON0402-001 10/01/2021

Rates Fringes

IRONWORKER, ORNAMENTAL.....\$ 25.50 14.66

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PLUM0123-002 05/01/2022

Rates Fringes

PIPEFITTER (Includes HVAC  
Pipe and Unit Installation).....\$ 25.30 17.24

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PLUM0123-003 05/01/2022

Rates Fringes

PLUMBER.....\$ 25.30 17.24

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\* SUFL2014-017 08/16/2016

Rates Fringes

CARPENTER, Includes Drywall  
Hanging, Form Work, and Metal  
Stud Installation (Excludes  
Carpet and Vinyl Floor Laying)...\$ 17.37 3.85

CEMENT MASON/CONCRETE FINISHER...\$ 15.69 \*\* 0.00

ELECTRICIAN, Includes Low  
Voltage Wiring.....\$ 22.48 7.76

FLOOR LAYER: Carpet and Vinyl...\$ 17.64 0.00

LABORER: Pipelayer.....\$ 14.00 \*\* 1.40

LABORER: Common or General,  
Includes Carpenter Tending  
and Cement Mason Tending.....\$ 11.84 \*\* 1.95

OPERATOR:  
Backhoe/Excavator/Trackhoe.....\$ 22.07 8.80

OPERATOR: Bulldozer.....\$ 15.40 \*\* 1.90

OPERATOR: Grader/Blade.....	\$ 18.97	0.00
OPERATOR: Loader.....	\$ 14.00 **	1.40
OPERATOR: Roller.....	\$ 14.43 **	4.78
PAINTER: Brush, Roller and Spray.....	\$ 14.72 **	2.13
ROOFER.....	\$ 19.00	1.17
SHEET METAL WORKER, Includes HVAC Duct Installation.....	\$ 18.17	4.24
SPRINKLER FITTER (Fire Sprinklers).....	\$ 20.70	8.84
TILE SETTER.....	\$ 18.01	0.00
TRUCK DRIVER: Dump Truck.....	\$ 13.22 **	2.12
TRUCK DRIVER: Lowboy Truck.....	\$ 14.24 **	0.00

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WELDERS - Receive rate prescribed for craft performing operation to which welding is incidental.

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\*\* Workers in this classification may be entitled to a higher minimum wage under Executive Order 14026 (\$16.20) or 13658 (\$12.15). Please see the Note at the top of the wage determination for more information.

Note: Executive Order (EO) 13706, Establishing Paid Sick Leave for Federal Contractors applies to all contracts subject to the Davis-Bacon Act for which the contract is awarded (and any solicitation was issued) on or after January 1, 2017. If this contract is covered by the EO, the contractor must provide employees with 1 hour of paid sick leave for every 30 hours they work, up to 56 hours of paid sick leave each year. Employees must be permitted to use paid sick leave for their own illness, injury or other health-related needs, including preventive care; to assist a family member (or person who is like family to the employee) who is ill, injured, or has other health-related needs, including preventive care; or for reasons resulting from, or to assist a family member (or person who is like family to the employee) who is a victim of, domestic violence, sexual assault, or stalking. Additional information on contractor requirements and worker protections under the EO is available at <https://www.dol.gov/agencies/whd/government-contracts>.

Unlisted classifications needed for work not included within

the scope of the classifications listed may be added after award only as provided in the labor standards contract clauses (29CFR 5.5 (a) (1) (ii)).

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The body of each wage determination lists the classification and wage rates that have been found to be prevailing for the cited type(s) of construction in the area covered by the wage determination. The classifications are listed in alphabetical order of ""identifiers"" that indicate whether the particular rate is a union rate (current union negotiated rate for local), a survey rate (weighted average rate) or a union average rate (weighted union average rate).

#### Union Rate Identifiers

A four letter classification abbreviation identifier enclosed in dotted lines beginning with characters other than ""SU"" or ""UAVG"" denotes that the union classification and rate were prevailing for that classification in the survey. Example: PLUM0198-005 07/01/2014. PLUM is an abbreviation identifier of the union which prevailed in the survey for this classification, which in this example would be Plumbers. 0198 indicates the local union number or district council number where applicable, i.e., Plumbers Local 0198. The next number, 005 in the example, is an internal number used in processing the wage determination. 07/01/2014 is the effective date of the most current negotiated rate, which in this example is July 1, 2014.

Union prevailing wage rates are updated to reflect all rate changes in the collective bargaining agreement (CBA) governing this classification and rate.

#### Survey Rate Identifiers

Classifications listed under the ""SU"" identifier indicate that no one rate prevailed for this classification in the survey and the published rate is derived by computing a weighted average rate based on all the rates reported in the survey for that classification. As this weighted average rate includes all rates reported in the survey, it may include both union and non-union rates. Example: SULA2012-007 5/13/2014. SU indicates the rates are survey rates based on a weighted average calculation of rates and are not majority rates. LA indicates the State of Louisiana. 2012 is the year of survey on which these classifications and rates are based. The next number, 007 in the example, is an internal number used in producing the wage determination. 5/13/2014 indicates the survey completion date for the classifications and rates under that identifier.

Survey wage rates are not updated and remain in effect until a new survey is conducted.

## Union Average Rate Identifiers

Classification(s) listed under the UAVG identifier indicate that no single majority rate prevailed for those classifications; however, 100% of the data reported for the classifications was union data. EXAMPLE: UAVG-OH-0010 08/29/2014. UAVG indicates that the rate is a weighted union average rate. OH indicates the state. The next number, 0010 in the example, is an internal number used in producing the wage determination. 08/29/2014 indicates the survey completion date for the classifications and rates under that identifier.

A UAVG rate will be updated once a year, usually in January of each year, to reflect a weighted average of the current negotiated/CBA rate of the union locals from which the rate is based.

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## WAGE DETERMINATION APPEALS PROCESS

1.) Has there been an initial decision in the matter? This can be:

- \* an existing published wage determination
- \* a survey underlying a wage determination
- \* a Wage and Hour Division letter setting forth a position on a wage determination matter
- \* a conformance (additional classification and rate) ruling

On survey related matters, initial contact, including requests for summaries of surveys, should be with the Wage and Hour National Office because National Office has responsibility for the Davis-Bacon survey program. If the response from this initial contact is not satisfactory, then the process described in 2.) and 3.) should be followed.

With regard to any other matter not yet ripe for the formal process described here, initial contact should be with the Branch of Construction Wage Determinations. Write to:

Branch of Construction Wage Determinations  
Wage and Hour Division  
U.S. Department of Labor  
200 Constitution Avenue, N.W.  
Washington, DC 20210

2.) If the answer to the question in 1.) is yes, then an interested party (those affected by the action) can request



review and reconsideration from the Wage and Hour Administrator  
(See 29 CFR Part 1.8 and 29 CFR Part 7). Write to:

Wage and Hour Administrator  
U.S. Department of Labor  
200 Constitution Avenue, N.W.  
Washington, DC 20210

The request should be accompanied by a full statement of the interested party's position and by any information (wage payment data, project description, area practice material, etc.) that the requestor considers relevant to the issue.

3.) If the decision of the Administrator is not favorable, an interested party may appeal directly to the Administrative Review Board (formerly the Wage Appeals Board). Write to:

Administrative Review Board  
U.S. Department of Labor  
200 Constitution Avenue, N.W.  
Washington, DC 20210

4.) All decisions by the Administrative Review Board are final.

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END OF GENERAL DECISIO"